

**PLANNING COMMISSION MEETING AGENDA**

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES  
Meeting Minutes of July 23, 2024
3. CONSIDERATION OF NEW BUSINESS
  - a Public Hearing and Action on a requested Sign Variance for Uplands Filing No.1, Tract A, Block 4; Tract D, Block 5; and Tract M, Block 7.

*Prepared by: Carson Byerhof, Planner*

- b. Public Hearing and Recommendation of an Official development Plan for Uplands Filing 1, Block 3 (PA-3)

*Prepared by: Jacob Kasza, Principal Planner*

- c. Public Hearing and Recommendation: Clean- Up amendments to the 2040 Comprehensive Plan

*Prepared by: Andrew Spurgin AICP, Principal Planner*

4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

**PLEASE NOTE**

The following are the procedures used by the Planning Commission for in-person meetings.

**For participation guidelines please visit [www.cityofwestminster.us/pc](http://www.cityofwestminster.us/pc)**

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers. **PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS IF YOU WISH TO SPEAK.**
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
  - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
  - b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.

**NOTE:** Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please call 303-658-2092/TTY711 or State Relay or email [jbaden@westminsterco.gov](mailto:jbaden@westminsterco.gov) to make a reasonable accommodation request.





WESTMINSTER

CITY OF WESTMINSTER  
PLANNING COMMISSION  
Meeting Minutes  
July 23, 2024

1. ROLL CALL

The meeting was called to order at 7:00 pm by Acting Chair David Carpenter. Present were Commissioners, Kevin Kinnear, Rick Mayo, Timothy Pegg, Larry Dunn, Tracy Colling, and Chennou Xiong. Excused from attendance were Chair Jim Boschert and Commissioner David Tomecek. Also present: Staff members, Associate Planner Jennifer Baden, Planning Aide Dawn Aguilar, Senior Planner Jacob Kasza, Planning Manager John McConnell, Assistant City Engineer Development and Mobility Heath Klein and Deputy City Attorney Greg Graham. With the roll called, Acting Chair Carpenter stated that a quorum was present and that the alternates would be voting.

2. CONSIDERATION OF MINUTES

Meeting Minutes from July 9, 2024.

Commissioner Mayo made a motion to accept the minutes from the July 9, 2024, Planning Commission meeting. Commissioner Dunn seconded the motion. The minutes were unanimously accepted (7-0).

3. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

3a) Public Hearing and Recommendation on an Official Development Plan for Uplands Filing 3, Block 4 / PA-C(1-D)

Acting Chair Carpenter opened the public hearing at 7:02 pm.

Mr. Klein informed the Commission and the audience that the Uplands contractor is in violation of stormwater regulations. He stated that a stop work order has been issued for the site and once the site is no longer in violation, the stop work order would be vacated.

Mr. McConnell informed the Commission and audience that staff has prepared several alternative motions for the Commission to consider regarding the public hearing item. These motions were intended to provide additional conditions on the public hearing items if the Planning Commission determined that the outstanding stormwater violations were a concern relative to the applications on the agenda.

Jacob Kasza, Senior Planner, entered into the record the agenda memorandum, attachments, PowerPoint presentation, certification of mailed notice, certification of posted notice, and public notice affidavit of publication from the *Westminster Window* on July 11, 2024. Mr. Kasza narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend that The Planning Commission recommend City Council approve the Official Development Plan for Uplands Filing 3, Block 4.

The applicant team gave a presentation.

Commissioner Colling asked the applicant if pedestrian traffic would ever be crossing between the two schools (Crowne Point Academy grades 3-8 is across the street). The applicant stated

there has been significant discussion about this and there are controls in place to prevent movement between the two schools, staggered start and end times and controlled traffic flow. Commissioner Colling stated there is a need for a crosswalk to be constructed between the two schools for safety concerns.

Commissioner Carpenter echoed Commissioner Colling's statement about the need for a crosswalk. He asked staff how this development may affect the need for the traffic signal at 86<sup>th</sup> & Federal. Mr. Klein stated he has spoken to the Colorado Department of Transportation (CDOT) and there will be improvements including a signal at this location likely within the next calendar year.

Commissioner Colling asked staff if on street parking will be allowed on 86<sup>th</sup> Avenue. Mr. Klein responded no.

Acting Chair Carpenter opened the public testimony at 7:25 pm.

There was public testimony about concerns about a conflict of interest with a Commissioner being on the board of a group that has connections with the Uplands, concerns that the project is being referred to as the Uplands yet the applicant's presentation refers to the project as Crowne Point Academy expansion, concerns with parking on 86<sup>th</sup> Avenue, concerns with infrastructure responsibilities, concerns about the signal at 86<sup>th</sup> & Federal and asked for confirmation of the forthcoming signal.

At the conclusion of the public testimony, Acting Chair Carpenter closed the public hearing at 7:28 pm.

Commissioner Carpenter addressed the concern about a possible conflict of interest. He stated that he is a member of the Westminster Chamber of Commerce, he does not receive remuneration for being a member, he has no financial interest in the Uplands project, has never discussed any project or application that may come before the Planning Commission and that he is able to evaluate this project/application fairly.

Commissioner Carpenter asked the applicant to clarify how they are related to the Uplands Development. The applicant stated that the subdivision and the plat fall under the Uplands name until the sale is final and that this project is not tied to the Uplands development. They also stated that there is no dedicated on-street parking on 86<sup>th</sup> Avenue. Mr. Klein stated once the Civil Drawings are approved, no parking signs will be installed on 86<sup>th</sup> Avenue.

Commissioner Colling asked staff to provide more details about the light on 86<sup>th</sup> Avenue. Mr. Klein responded there are three intersections tied to the Uplands development, 84<sup>th</sup> and Federal Blvd, 86<sup>th</sup> & Federal Blvd and 88<sup>th</sup> and Federal Blvd; two of these already exist as signalized intersections and the Uplands will be reconstructing those, and a brand-new signalized intersection is proposed to be installed on 86<sup>th</sup> & Federal Blvd. The construction of this intersection is under consideration with the Colorado Department of Transportation (CDOT) and has not been finalized.

Commissioner Mayo made a motion recommending that the Planning Commission recommend City Council approve the Official Development Plan for Uplands Filing 3, Block 4. This recommendation is based on a finding that the Official Development Plan is supported by the criteria set forth in Sections 11-5-15 of the Westminster Municipal Code. Commissioner Colling seconded the motion.

The motion passed (7-0).

3b) Public Hearing and Recommendation of three separate Official Development Plans for Uplands Filing 1, Block 1, Block 5, and Block 7 (PA-A1, A5, and A7) Located at the Southwest Corner of West 88th Avenue and Irving Street

Acting Chair Carpenter opened the public hearing at 7:36 pm.

Commissioner Carpenter addressed the concern about a possible conflict of interest. He stated that he is a member of the Westminster Chamber of Commerce, he does not receive remuneration for being a member, he has no financial interest in the Uplands project, has never discussed any project or application that may come before the Planning Commission and that he is able to evaluate this project/application fairly.

Jacob Kasza, Senior Planner, entered into the record the agenda memorandum, attachments, PowerPoint presentation, certification of mailed notice, certification of posted notice, and public notice affidavit of publication from the *Westminster Window* on July 11, 2024. Mr. Kasza narrated a PowerPoint presentation for the proposal to:

- c. Hold a public hearing.
- d. Recommend that City Council approve the Official Development Plan for Uplands Filing 1, Block 1 / PA-A1, subject to the condition set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Section 11-5-15 of the Westminster Municipal Code

Recommend that City Council approve the Official Development Plan for Uplands Filing 1, Block 5 / PA-A5, subject to the condition set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Section 11-5-15 of the Westminster Municipal Code.

Recommend that City Council approve the Official Development Plan for Uplands Filing 1, Block 7 / PA-A7, subject to the condition set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Section 11-5-15 of the Westminster Municipal Code.

The applicant team gave a presentation.

Commissioner Kinnear asked the applicant about the Block 1 exceptions request for a reduction in the number of units. The applicant responded that due to the housing diversity, the plan works better with a reduced number of lots than had originally been anticipated.

Commissioner Colling asked staff to clarify what the shortage of parking on each block really is. Mr. Kasza stated Block 1 is sixty (60) spaces short, Block 5 is two hundred fifty-seven (257) spaces short, and Block 7 is two hundred twenty-nine (229) spaces short.

Commissioner Colling expressed concerns over the lack of parking, the volume of documents being hard to understand and how the staff report was presented. The applicant team stated that the parking at this site is the exact same as the other Uplands sites and explained how the parking counts were determined for each block.

Commissioner Colling asked for an explanation about enhanced architectural elevations and masonry on corner lots and what the definition of corner lot is. The applicant responded a corner lot is anytime a side elevation is exposed to a street or alley.

Commissioner Colling asked for clarification about the exception for patios. The applicant responded that for the A1 neighborhood, Single Family Detached, the code requires a 400 square foot rear yard and since they are alley loaded products by definition with no rear yard, the lots will have 408 square feet of combined porches, deck and front yard space.

Commissioner Mayo stated his appreciation for the applicant and the transparency about the storm event and the responsibility the applicant has taken. He also expressed concerns about parking.

The applicant team responded that alley loaded products live differently and homes are designed smaller and are more sustainable. They also explained that in other high-density neighborhoods they have built they have been successful with reduced on-street parking. The applicant went on to explain that another way to mitigate parking issues will be deed restrictions through a sub-HOA that will be managed by the HOA which is a subdistrict to the Uplands community. These deed restrictions will require home buyers to agree to use the garage for parking and not storage, thus reducing on-street parking in the neighborhoods.

Commissioner Pegg asked the applicant if they were required to add in the missing parking spaces, what kind of changes would have to be made to the site.

The applicant responded they would likely have to reduce the number of units.

Commissioner Pegg asked staff about how the reduction in the number of units to gain more parking and how this aligns with the Comprehensive Plan designation for this site.

Mr. Kasza stated the cornerstone being referred to is broad and large reaching across many different aspects of planning and that the goals can be accomplished regardless of the specific unit count.

Commissioner Pegg asked staff how the reduction in the number of units to gain more parking aligns with Strategic Priority One.

Mr. Kasza responded that a reduction in the number of units to gain more parking would possibly decrease compliance with Strategic Priority One.

Commissioner Xiong expressed concerns with the lack of parking at the site. He also asked staff and the applicant to provide additional details about the storm event and what is being done to mitigate this in the future.

The applicant stated they will be installing substantial berms and additional performing grading at the detention pond.

Mr. Klein stated that the City is working with the developer on creative ways to mitigate these kinds of storms. Mr. Klein stated the City has received concerns and comments from residents about the storm and that the City is working closely with the Uplands to get creative on how to prevent future damage.

Commissioner Dunn asked if there was any damage to homes from the storm event. Mr. Klein responded the City has not received any report of damage to homes and no reports of property damage.

Commissioner Dunn asked the applicant to provide the parking shortage numbers for each lot and overall.

The applicant responded that in neighborhood A1, they are providing the required parking just in a different way. He acknowledged that neighborhoods A5 and A7 are under the required amounts by code because of the alley loaded product and the proximity to Federal Blvd.

Commissioner Dunn stated that he understands this development is more of an urban setting and that he believes the proposal is trying to bridge a gap between urban living and suburban living.

Commissioner Mayo asked staff regarding parking counts in other developments, if on street parking means parking provided by the developer. Mr. Kasza responded under the current parking regulations in Title 11, the regulations do not count on street spaces as counting towards the minimum required parking for both commercial and residential. He went on to state that the regulations require parking generally to be on lot unless they are required as a shared amenity in which they can be in a shared space.

Commissioner Xiong asked what the projected timeline is for the stormwater violations to be rectified. The applicant responded there is a meeting with the City on Wednesday morning, and they believe that by Wednesday morning all required work will be completed and the stop work order will be lifted.

Commissioner Colling stated her understanding of the stormwater event and that the reason this event was so catastrophic for this area because the detention pond was in the middle of being constructed. She asked Mr. Klein what type of event this was. Mr. Klein responded he did not know the type of event. He also stated that the stormwater management plans were in place but the build up of pressure caused the silt fence to fail and that is something that is going to be addressed. He went on to state that these temporary measures that were in place while the permanent detention facility is being constructed were not designed for a large event but once the permanent detention facility is built and ultimately completed, this should eliminate further events. Mr. Klein stated the developer and the City are working together with homeowners that sustained damage.

Acting Chair Carpenter opened the public testimony at 9:04 pm.

There was public testimony about concerns of a sitting Commissioner and a possible conflict of interest, heights for the A1 and A5 site not being compatible with adjacent sites, concerns with parking, concerns about the Bus Rapid Transit (BRT) coming to fruition, concerns about the number of stormwater events at the site.

Acting Chair Carpenter closed the public hearing at 9:11 pm.

The applicant responded to the public testimony comments. They stated that the stormwater event is a construction process that does not have anything to do with the application being heard by the Commission. They stated the construction site is being well governed by the City and that construction detention areas are designed for two-year storm events. They stated the measures that are in place are inspected on a weekly basis by the City and that concerns are addressed quickly. The detention facility is expected to be completed in the next two months.

The applicant addressed the parking counts.

In the A1 neighborhood, there are 78 units, and is four spaces over the required amount, and 3.2 parking spaces per unit.

In the A5 neighborhood, there are 166 units, the plan is 64 spaces deficient but still parking at 2.9 parking spaces per unit.

In the A7 neighborhood, there are 180 units, the plan is 118 spaces deficient but still parking at 272 parking spaces per unit.

Commissioner Carpenter asked if the stop work order means that the applicant is in default or has an outstanding obligation to the City. Mr. Graham responded yes; the applicant is in default with city code.

Commissioner Colling asked the applicant if the total parking numbers in the A7 neighborhood considers the option for a one-car garage and if there is an option to reduce to one-car garages on the other two parcels and how much of a reduction for each parcel. The applicant responded there is no option for a one car garage in A1 or A5, only the option to increase to a three-car garage in some cases. The parking counts in A7 were based on the 28 one-car garages which is the lowest parking quantity deficit for A7. Commissioner Colling responded the deficiency could be changed by 28 bring the deficiency down to 190 if this option was eliminated thus being 90 deficient instead of 118. The applicant agreed. The applicant also stated the one-car garage allows for housing diversity in different price points.

Commissioner Colling asked the applicant to address the public comment about building height exceptions. The applicant responded that on A1 and A5, the single family are under 40 feet and three stories which is what the code allows. A7 is the same and the plan is under 35 feet and three stories. They stated there are no requests for building height exceptions for single family but their exception requests for the townhomes on A1 and A5 to be over 40 feet to allow for roof top decks.

Commissioner Xiong asked staff if the applicant was different for this site (different developer), would the staff recommendation be the same. Mr. Kasza responded yes.

Commissioner Pegg asked staff to explain what the stop work order means and what needs to be done to lift the stop work order on site. Mr. Klein explained that the stop work order prevents further grading to prepare for utilities, prevents further installation of utilities, and only allows work to be done that remedies the storm damage. He went on to state the work order was issued due to sediment discharge from the Uplands site, improper sediment control measures and pump discharges without sediment control. The remedy will be the addition of an earthen berm and the further construction of the detention basin will improve the sediment control measures. He stated the City Stormwater team is working with the Uplands contractor to make sure these measures move forward; once the City Engineer is satisfied, the stop work order may be lifted.

Commissioner Xiong asked staff to explain why denial of the application is not recommended. Mr. Kasza explained that the application should be recommended for approval with conditions and the applications are supported by the standards for approval and exceptions have been identified.

Commissioner Colling expressed concern for the need for two car garages. The applicant explained that the concept of a one car only garage is geared towards affordability of the house. She asked staff to explain how the recommendation with conditions will work. Mr. Graham stated that the recommendation with conditions will be included with the packet that is presented to City Council and then City Council would then decide on what, if any, conditions would apply.

Commissioner Dunn requested a short break at 9:31 pm.

Acting Chair Carpenter called the meeting back to order at 9:41 pm.

Commissioner Kinnear stated that the storm water event will rectify itself as the detention pond is built. He stated that he is not as concerned with parking and cited other cities that have successful alley loaded garage neighborhoods, and the application offers variety for residents.

Commissioner Colling agreed with Commissioner Kinnear's statements about variety but expressed concerns with lack of parking.

Commissioner Colling made a motion that the Planning Commission recommend to City Council the approval of the Official Development Plan for the Uplands Filing 1, Block 1, PA-A1, subject to the conditional approval listed in the agenda (memo) and conditioned that they (the applicant) come into compliance with the items associated with the stop work authority related to the storm damage that occurred. This recommendation is based on the finding that the Official Development Plan is supported by the criteria set forth in section 11-5-15 of the Westminster Municipal Code.

Commissioner Pegg seconded the motion.

The motion passed (7-0).

Commissioner Colling made a motion that the Planning Commission recommend to City Council approval of the Official Development Plan for Uplands, Filing 1, Block 5, PA-A5, subject to the conditions listed in the agenda memo and upon the condition that they (the applicant) come into compliance with the items associated with the stop work authority (order) associated with the storm; and that the applicant review the northeast corner of the area in question specifically along 88<sup>th</sup> Avenue to either add additional parking in the form of five guest parking spaces or mandate that additional tandem garage parking be required for 30% of single family homes fronting onto 88<sup>th</sup> Avenue. This recommendation is based on the finding that the Official Development Plan is supported by the criteria set forth in section 11-5-15 of the Westminster Municipal Code.

Commissioner Xiong seconded the motion.

Commissioner Carpenter asked Commissioner Colling to repeat the motion.

Commissioner Colling motioned that the Planning Commission recommend to City Council approval of the Official Development Plan for Uplands, Filing 1, Block 5, PA-A5, subject to the conditions listed in the agenda memo and that they (the applicant) come into compliance with the items associated with the city stop work authority (order) items associated with the storm and that they (the applicant) increase parking in the northeast corner of this area to either add additional five guest parking spaces or mandate additional tandem garage parking for 30% of the single family homes fronting onto 88<sup>th</sup> Avenue.

She clarified the motion is meant for Irving Street east.

Commissioner Pegg stated disappointment for the motion and that he believes the lack of parking is in alignment with the 2040 Comprehensive Plan and particularly the focus on providing a mix of housing opportunities for a range of incomes and lifestyle choices and he believes the application is also consistent with sustainable design practices and will provide a variety of neighborhood types with a diversity of housing choices. He stated he will not support this motion and would prefer to see a motion with no requirement for additional parking.

Commissioner Kinnear expressed confusion with the original motion and the restated motion. The original motion stated "the applicant review the northeast corner of the area in question" for parking and the restated motion was a requirement and not a review.

Commissioner Colling stated her intent was a condition of approval and increase parking in one of two different ways.

Commissioner Carpenter asked if the intent of her motion was not review but mandate and Commissioner Colling responded yes, there is a parking shortage.

Mr. Graham stated that since Commissioner Colling's original motion and restated motion had changed, he asked Commissioner Colling if her intent was to consider or mandate and Commissioner Colling responded mandate. Mr. Graham asked if Commissioner Xiong agreed with the changes. Commissioner Xiong responded yes. Mr. Graham clarified for the record that the motion is to recommend to the City Council in addition to everything stated in the original motion and mandate that the applicant increase parking in the northeast corner.

The motion failed 2-5.

Commissioners Pegg, Kinnear, Carpenter, Mayo and Dunn were not in favor.  
Commissioners Xiong and Colling were in favor.

Commissioner Mayo made a motion that the Planning Commission recommend to City Council the approval of the Official Development Plan for Uplands Filing 1, Block 5, PA-A5, subject to the condition(s) listed in the agenda memo further conditioned upon City Council understanding the Planning Commission's concerns with the parking methodology and conditioned upon the applicant correcting outstanding violations. This recommendation is based on the finding that the applicant is in default to the city due to violations of stormwater regulations but that the Official Development Plan is otherwise supported by the criteria set forth in section 11-5-15 of the Westminster Municipal Code.

Commissioner Xiong asked Commissioner Mayo to repeat the portion about parking. Commissioner Mayo stated the parking is conditioned upon City Council understanding the Planning Commission's concern with the parking methodology. He clarified that the intent of his motion is not making any mandates but just highlighting to the City Council that the Commission does have concerns with the way the parking spaces were counted.

Commissioner Dunn seconded the motion.

Commissioner Colling stated she feels the motion does not have enough teeth in it because there is a particular area in Block 5 that is particularly short of parking in the northeast corner adjacent to 88<sup>th</sup> Avenue and that additional parking should be considered because what is being shown is not sufficient.

Commissioner Xiong asked if the word considered would suffice and Commissioner Colling responded yes.

Commissioner Carpenter stated he was conflicted on the motion but leaning towards supporting the motion and he feels maybe there is an opportunity for additional parking in the commercial areas.

Commissioner Kinnear stated he does not share the concern about parking and wondered if the item/motion should be tabled.

Mr. Graham advised that the Commission could motion to table and the motion to table would take precedence over the motion at hand and advised the Commission on how, if desired, to table the motion.

Commissioner Xiong stated he's not as concerned with stronger language and would be agreeable with adding language asking Council to consider the concerns that have been stated by himself and Commissioner Colling.

The Commission discussed tabling the item or continuing and agreed their intention is not to delay the hearing, just need to get the motion wording correct.

Commissioner Colling asked Commissioner Mayo to state the motion again for the record.



Commissioner Mayo restated this portion of the motion: that the Planning Commission recommend to City Council the approval of the Official Development Plan for Uplands Filing 1, Block 5, PA-A5, subject to the condition(s) listed in the agenda memo further conditioned upon City Council understanding the Planning Commission's concerns with the parking methodology.

For the record, the Secretary asked Commissioner Mayo to read the motion in its entirety.

Commissioner Mayo made a motion that the Planning Commission recommend City Council the approval the Official Development Plan for Uplands Filing 1, Block 5, PA-A5, subject to the condition(s) listed in the agenda memo and conditioned upon City Council understanding the Planning Commission's concerns with the parking methodology and conditioned upon the applicant correcting outstanding violations. This recommendation is based on the finding that the applicant is in default to the city due to violations of stormwater regulations but that the Official Development Plan is otherwise supported by the criteria set forth in section 11-5-15 of the Westminster Municipal Code.

Commissioner Kinnear clarified this motion is for Block 5.  
Commissioner Dunn agreed.

Commissioner Xiong stated that this concern is the deficit of parking for the area but will support the motion.

Commissioner Colling agreed with Commissioner Xiong's concern.

Commissioner Carpenter agreed there is a parking deficit but feels this is due to driveway parking versus garage parking and that the site has deed restrictions he is less concerned about and will support the motion.

The motion passed 6-1.  
Commissioner Colling was not in favor.

Commissioner Pegg made a motion that the Planning Commission recommend to City Council the approval of the Official Development Plan for Uplands Filing 1, Block 7, PA-A7 subject to the condition listed in the agenda memo and conditioned upon the applicant correcting outstanding violations. This recommendation is based on the finding that the applicant is in default to the city due to violations of stormwater regulations but that the Official Development Plan is otherwise supported by the criteria set forth in section 11-5-15 of the Westminster Municipal Code.

Commissioner Kinnear seconded the motion.

Commissioner Colling stated that A7 was the neighborhood that is deficient by 108 parking spaces and without having any condition in the motion to alert City Council to the concerns, she cannot support this motion.

Commissioner Mayo agreed with Commissioner Colling's concern.

Commissioner Pegg stated he believes the motion supports the Comprehensive Plan of balanced mix of housing opportunities for a range of incomes, age groups and lifestyle choices. He stated this application may be different from other applications but that he believes this is exactly what the Comprehensive Plan means. He also stated a lack of parking is also consistent

with providing a variety of neighborhood types and is consistent with encouraging sustainable design practices.

Commissioner Xiong stated Commissioner Colling to explain her dissenting vote.

Commissioner Colling stated the deficit on A7 is 118 spaces short and 28 of those could request a one car garage and she would like for the applicant to remove the one car garage option so the deficit would be reduced to 90; she stated this does not need to be mandated but rather reviewed and that City Council should know this is important to the Commission and the community.

Commissioner Carpenter stated if the condition that was added to A5 when A7 has a higher deficit, is missing the point. He stated that he does not agree with Commissioner Pegg entirely.

Commissioner Dunn stated he agrees with Commissioner Pegg and is not concerned about the lack of parking and will support the motion.

Commissioner Mayo stated he believes if there was a condition on A5 there should be a condition on A7.

Commissioner Pegg stated that A7 is not adjacent to a residential tract and as such spillover parking is not as much of a concern.

Commissioner Kinnear acknowledged this site does have a deficit but is still consistent with a variety of housing and sustainability.

The motion failed 3-4.

Commissioners Xiong, Carpenter, Mayo and Colling were not in favor.

Commissioners Pegg, Kinnear and Dunn were in favor.

Commissioner Colling made a motion that the Planning Commission recommend to City Council the approval of the Official Development Plan for Uplands Filing 1, Block 7, PA-A7 subject to the conditions listed in the agenda memo and conditioned upon the applicant correcting outstanding violations and condition on the City Council understanding that the Planning Commission has concerns about the parking deficit for this area. This recommendation is based on the finding that the applicant is in default to the city for violations of stormwater regulations but that the Official Development Plan is otherwise supported by the criteria set forth in section 11-5-15 of the Westminster Municipal Code.

Commissioner Mayo seconded the motion.

The motion passed 6-1.

Commissioner Kinnear was not in favor.

#### 4. ADJOURNMENT

The meeting was adjourned at 10:21 p.m.

THE WESTMINSTER PLANNING COMMISSION

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David Carpenter, Acting Chairperson

A full recording of the meeting can be viewed on the The City of Westminster website.  
[www.cityofwestminster.us/pc](http://www.cityofwestminster.us/pc)



WESTMINSTER

Agenda Memorandum

Agenda Item 3a

Planning Commission Meeting  
January 14, 2025

**SUBJECT:** Public Hearing and Action on a requested Sign Variance for Uplands Filing No.1, Tract A, Block 4; Tract D, Block 5; and Tract M, Block 7.

**PREPARED BY:** Carson Byerhof, Planner

**RECOMMENDED ACTION:**

1. Hold a public hearing.
2. Deny a Sign Variance for the Uplands Subdivision Entry Signs located at the Uplands Filing No.1, Tract A, Block 4; Tract D, Block 5; and Tract M, Block 7.

**SUMMARY STATEMENT:**

- Owners of property within Planned Unit Development (PUD) zoned districts may apply for a variance to the Sign Regulations by making an application to the Planning Commission pursuant to Westminster Municipal Code (W.M.C.) Section 11-11-13 (E). VPDF Uplands, LLC, has applied for a sign variance for the location of three of the five Uplands Subdivision Entry Signs. The other two Subdivision Entry Signs meet the location definition for the Subdivision Entry Sign and are not a part of the requested variance.
- The locations of the properties for which this sign variance is requested are Uplands Filing No.1, Tract A, Block 4; Tract D, Block 5; and Tract M, Block 7, see Attachment 1.
- Per Section 11-11-9 (D), W.M.C., Subdivision Entry Signs are defined as, "A *subdivision entry sign* is a monument sign located along the entry to a subdivision from a collector or arterial street.
- The applicant is requesting to deviate from the Sign Regulations to allow for:
  - The placement of three of the five Subdivision Entry Signs to be located on the perimeter corners of the Uplands development; located on the intersections of collector and arterial streets, not at the entries to the subdivision.

**POLICY ISSUE(S):**

Should Planning Commission approve a Sign Variance for the Subdivision Entry Signs located at Uplands Filing No.1, Tract A, Block 4; Tract D, Block 5; and Tract M, Block 7?

**ALTERNATIVE(S):**

1. Planning Commission could choose to approve the requested variance. Staff does not recommend this option because the application does not meet the criteria in Section 11-11-13 (E), W.M.C.

**BACKGROUND INFORMATION:**Overview of Sign Variance Process

Section 11-11-13, W.M.C. provides that the Planning Commission shall hear and decide sign variance requests. Sign Variances may be requested from any of the dimensional standards within Chapter 11, Title XI of the W.M.C. There has not been precedence for variances being used to deviate from the definition of location requirements as is requested with this Sign Variance.

Section 11-11-13 (E), W.M.C. specifies that there are six criteria that must be met before the Planning Commission may grant a variance. These criteria, as they apply to this application, are addressed in detail below. The Planning Commission may only grant a variance if it finds that all six criteria are adequately addressed and satisfied; otherwise the variance request must be denied. Section 2-2-8(C) of the W.M.C. provides that decisions of the Planning Commission are final subject only to an appeal to district court.

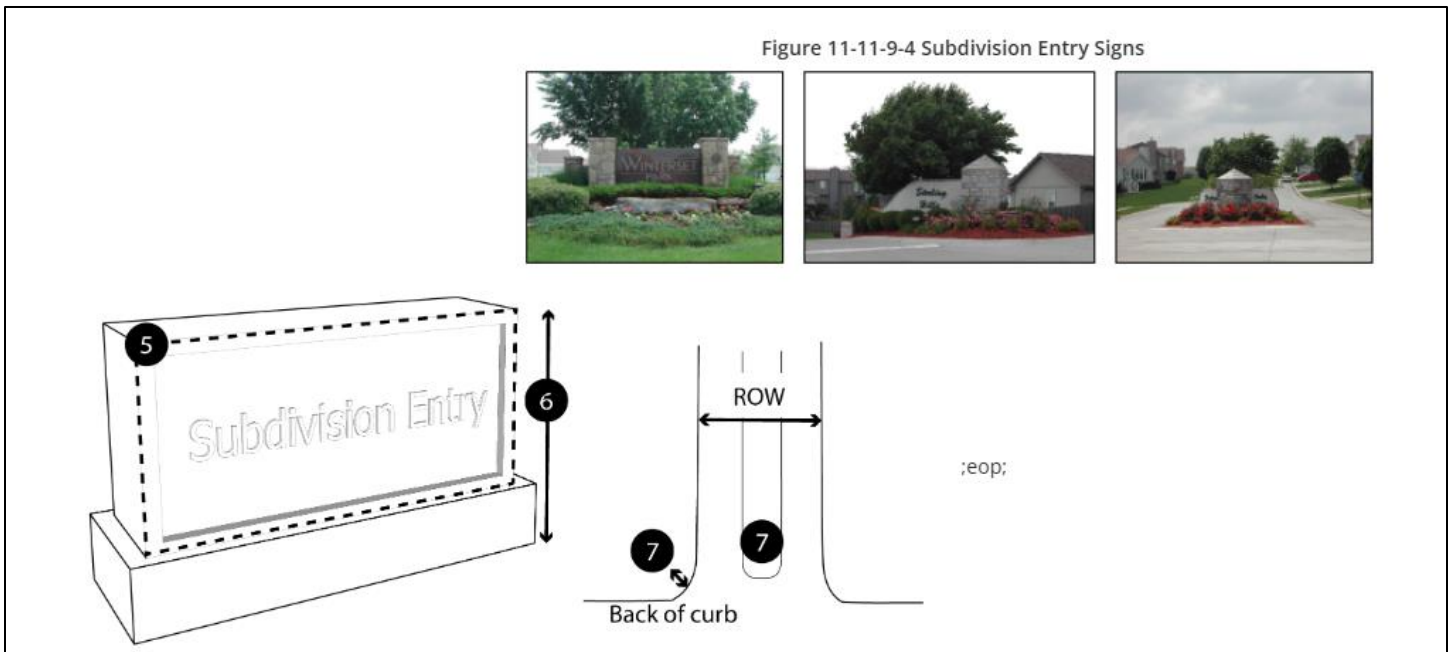
Nature of Request

The applicant has provided an analysis of the sign criteria with supporting graphics in Attachment 2.

The applicant is requesting to vary from the Sign Regulation's definition of Subdivision Entry Signs, which require Subdivision Entry Signs to be located along the entry to a subdivision from a collector or arterial street. This Sign Variance Request is for the consideration to allow three of the five Subdivision Entry Signs to be located on the corners of the collector and arterial roads (W 88<sup>th</sup> Avenue, Federal Boulevard, and West 84<sup>th</sup> Avenue) on the perimeter of the larger Uplands A parcel.

The definition and location criteria of Subdivision Entry Signs is codified in Section 11-11-9 (D), W.M.C. Table 11-11-9-4 in Section 11-11-9 (D) has been provided in Attachment 3. A copy of the location criteria is also included below:

Figure 11-11-9-4 Subdivision Entry Signs



The intent of the Subdivision Entry Sign classification is to provide wayfinding for vehicular traffic. A Subdivision Entry Sign is a type of sign in the Freestanding Sign category. Section 11-11-9, W.M.C., sets criteria standards and identifies the various types in the Freestanding Sign category.

The City of Westminster Comprehensive Plan identifies Gateway points where “a traveler gains of sense a entering the City or a particular part of the City.” Signage is one of the elements considered in Gateways. However, this has been applied as a unique and public sign that does not speak to a particular business or neighborhood. These sign types, owned and maintained by the City of Westminster, are not regulated by the Sign Code and have been used to create a sense of arrival by identifying the City perimeter, crossings of major roads, or specific points of interest such as historical properties and natural viewsheds.

Attachment 3 includes examples of these various sign types and information on their relative criteria and consideration standards.

### History of Subject Property

The subject property is within the original town limits. The property is currently zoned Planned Unit Development (PUD) with the PDP having been approved in December 2021. The property is vacant land and has been used for agricultural uses for approximately 100 years.

### Public Notification

Section 11-5-13(A), of the W.M.C. requires the following three public notification procedures for Planning Commission Public Hearings:

- **Published Notice:** Notice of the public hearing shall be published at least ten days prior to such hearing. Notice was published in the *Westminster Window* by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted and maintained on the property at least ten days prior to the hearing with a minimum of one sign in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City’s Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall mail individual notices by first-class mail to property owners within 300 feet of the subject properties. The

applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

Applicant/Property Owner

VPDF UPLANDS LLC  
 CHAD ELLINGTON  
 1480 HUMBOLDT STREET  
 DENVER, CO 80218  
 303.503.1016  
CHAD@PEAKDEVGRP.COM

Location

The proposed signs are located on Uplands Filing No.1, Tract A, Block 4; Tract D, Block 5; and Tract M, Block 7. Attachment 1 includes a visual representation of these sites as they relate to the overall Uplands development.

Surrounding Land Uses and Designations

<b>Direction</b>	<b>Development Name</b>	<b>Zoning</b>	<b>Comp Plan Designation</b>	<b>Current Use</b>
<b>North</b>	- Unincorporated Adams County Shaw Heights - Cottonwood Village	- Adams County - PUD/C-1	- Residential Low Density - Residential Medium Density & Commercial	- Residential - Residential and Commercial
<b>East</b>	- Uplands - Crown Point Academy - Summit Square Shopping Center	- PUD - C-1 - C-1	- Commercial Mixed Use - Public/Quasi Public - Commercial	- Vacant - Institutional - Commercial
<b>South</b>	- Westminster 1891 (including a portion in unincorporated Adams County)	- Adams/R-1	- Public/Quasi - Public & Residential Low Density	- Residential, Vacant, and Institutional
<b>West</b>	- Shaw Heights	- R-A	- Residential Low Density	- Residential

Site Plan Information

The applicant has provided a site plan and elevations in Attachment 4. An exhibit showing the general location of the proposed signs is in Attachment 1. Information on the sign criteria and classifications is in Attachment 3.

Site Design

Not applicable

Traffic and Transportation

Not applicable

### Landscape Design

Not applicable

### Public Land Dedication/School Land Dedication

Not applicable

### Architectural/Building Materials

The applicant has provided elevations and details including materiality and design elements of proposed signs in Attachment 4.

### Westminster Municipal Code Analysis

*Section 11-11-13(E)(2) - Criteria. In considering a request for a variance to the Sign Regulations, the Planning Commission shall determine that:*

*(a) There are special circumstances or conditions, such as the existence of buildings, topography, vegetation, sign structures, or other matters on adjacent lots or within the adjacent public right-of-way that would substantially restrict the effectiveness of the sign in question. However, those circumstances or conditions must be peculiar to the particular entity to which the applicant desires to draw attention, not apply generally to all entities in the applicable Comprehensive Plan land use designation or zone district, and are not conditions created by the property owner, and*

### Applicant Justification

See Attachment 5.

### Staff Analysis

There are no special circumstances or conditions which would substantially limit the effectiveness of the signs in question. On each side of the considered parcels, the development includes entries into the neighborhood from collector and arterial streets. Staff has identified locations for Subdivision Entry Signs, which meet the definition within the Code. Staff determines that this criteria item has not been satisfied.

*(b) The variance, if granted, would not weaken the general purpose of the Sign Regulations, the Comprehensive Plan policies, or zoning regulations prescribed for the land use designation or zoning district in which the sign is located, and*

### Applicant Justification

See Attachment 5.

### Staff Analysis

Deviation from the definition and location specified for in the Sign Code would weaken the general purpose of the Sign Regulations. Allowing variances from definitions sets precedence to allow future variances beyond quantifiable and numerical standards. Staff determines that this criteria item has not been satisfied.

*(c) The variance, if granted, would not alter the essential character of the land use designation or zoning district in which the sign is located...*

Applicant Justification

See Attachment 5.

Staff Analysis

Staff finds that the proposed signs would not alter the essential character of the land use designation or zoning district.

*(d) The variance, if granted, would not be detrimental to any abutting properties, and*

Applicant Justification

See Attachment 5.

Staff Analysis

Staff finds that the proposed signs would not be detrimental to any abutting properties.

*(e) The variance, if granted, would not pose a threat to public health, safety, or welfare, and*

Applicant Justification

See Attachment 5.

Staff Analysis

Staff finds that the proposed signs would not pose a threat to public health, safety, or welfare.

*(f) The variance, if granted, would not authorize a type of sign that is not otherwise permitted by this Code.*

Applicant Justification

See Attachment 5.

Staff Analysis

Staff finds that the variance would not authorize a sign type that is not otherwise permitted by this Code. The proposed signs are intended as Subdivision Entry Signs.

*Any application not meeting such criteria shall be denied. In approving an application meeting the above criteria, the commission may attach such reasonable conditions and safeguards as it may deem necessary to implement the purpose of Title XI or the various adopted codes.*

Project Meeting(s) and Public Comments

A project meeting is not required for a sign variance. No public comments have been received.



Summary of Staff Recommendation

Staff recommends denial of the variance requests as the application has not shown that all six criteria are met.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "John McConnell".

John McConnell, AICP

Planning Manager

**ATTACHMENTS:**

Attachment 1 – Vicinity Map

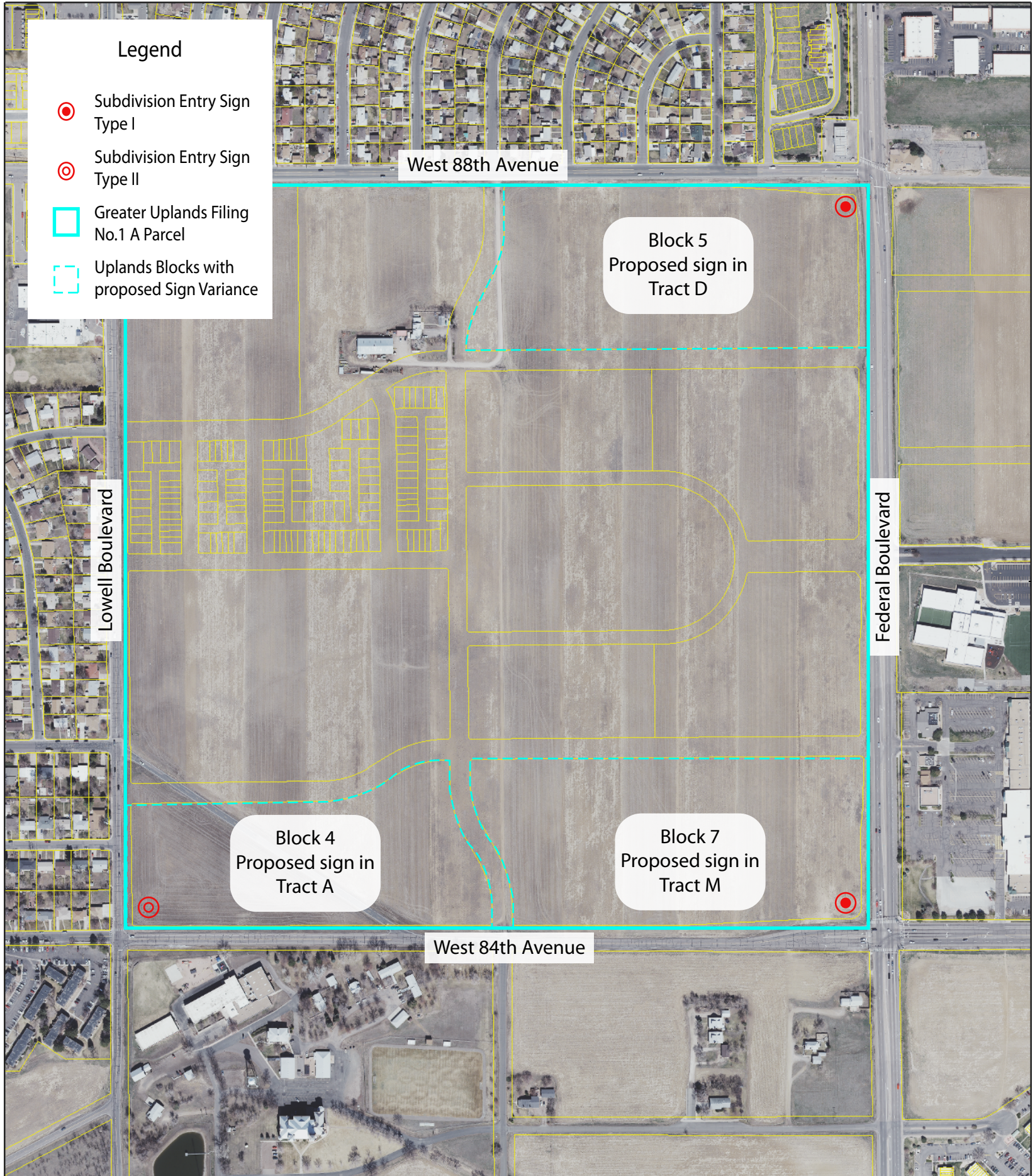
Attachment 2 – Applicant Analysis

Attachment 3 – Sign Classifications and Criteria

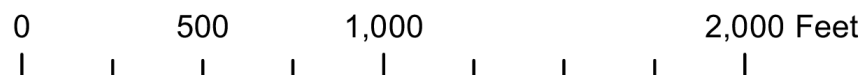
Attachment 4 – Site Plan and Elevations

Attachment 5 – Applicant Criteria Responses





Vicinity Map  
Uplands Filing No.1, Tract A, Block 4; Tract D,  
Block 5; and Tract M, Block 7







September 26, 2024

City of Westminster Community Services  
4800 W. 92nd Avenue  
Westminster, CO 80031

Re: Uplands Sign Variance Request

On behalf of the Uplands ownership and design team, we would like to formally request a sign variance to allow for subdivision entry signage at the three key locations within Uplands:

- the northwest corner of West 84th Avenue and Federal Boulevard,
- the southwest corner of West 88th Avenue and Federal Boulevard, and
- the northeast corner of West 84th Avenue and Lowell Boulevard

### SUMMARY AND REQUEST

The first two signs (located on Federal Boulevard) are requested as primary entry signage (Subdivision Entry Sign (Type I), as shown in images below) to further comply with the 'Primary Gateway' locations identified in the 2040 Comprehensive Plan for the Westminster Heights Transition Area. The third sign (located on Lowell Boulevard) reflects a scaled back version of the primary entry sign (Subdivision Entry Sign (Type II), as shown in the images below) that creates a comprehensive entry feature package for the four main intersections around Uplands (the fourth intersection being the public land dedication at the southeast corner of West 88th Avenue and Lowell Boulevard, which will create its own unique entry into the community once developed).

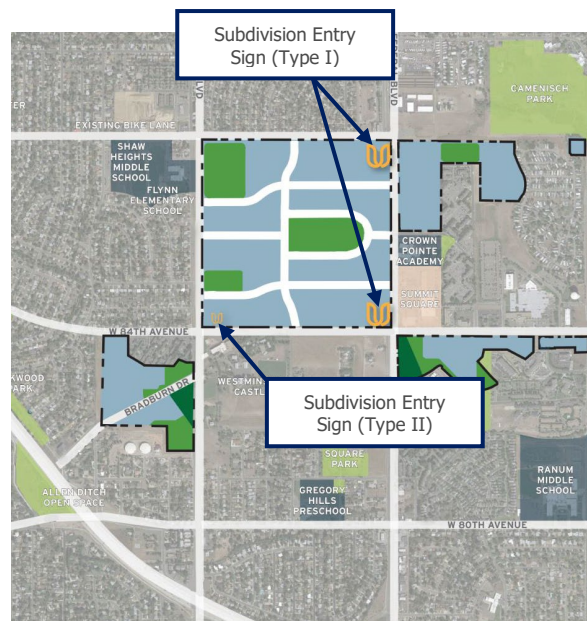


Image: Uplands Signage Master Plan: The three requested entry signs are shown above in dark yellow.



Image: Conceptual Subdivision Entry Sign (Type I), located at northwest corner of West 84<sup>th</sup> Avenue and Federal Boulevard and southwest corner of West 88<sup>th</sup> Avenue and Federal Boulevard

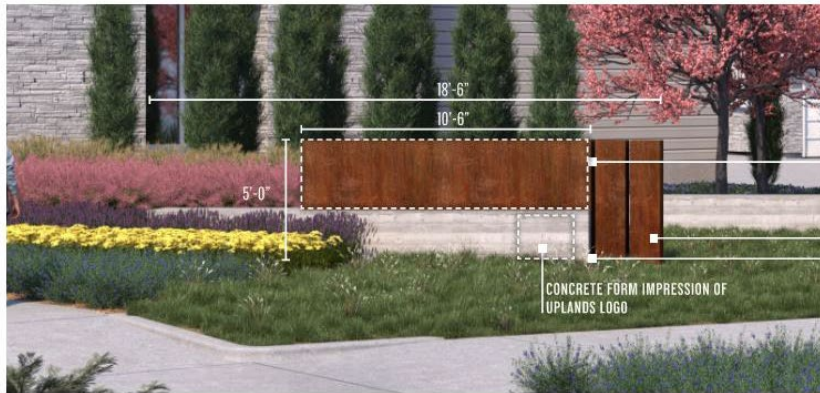


Image: Conceptual Subdivision Entry Sign (Type II), located at northeast corner of West 84<sup>th</sup> Avenue and Lowell Boulevard

The images below show the impact signage will have for residents, visitors and guests along the Federal Boulevard corridor, establishing a clear and welcoming entry into the City of Westminster. These two locations along Federal Boulevard were identified in early discussions with City staff during the PDP and MODP processes due to their location at key access points and overall unique design considerations along Federal Boulevard.



Image: Proposed view at northwest corner of West 84th Avenue and Federal Boulevard with gateway signage (ground level view)



Image: Existing view at northwest corner of West 84th Avenue and Federal Boulevard

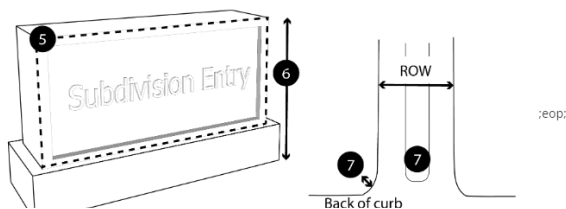
The Westminster Municipal Code (WMC) defines subdivision entry signs as *'a monument sign located along the entry to a subdivision from a collector or arterial street'*. All three requested locations meet this definition:

- West 88<sup>th</sup> Avenue is defined on the 'Master Street Network' plan as a collector
- West 84<sup>th</sup> Avenue is defined as a major arterial (east of Federal) and minor arterial (west of Federal).

(D) Subdivision Entry.

Definition: A "subdivision entry sign" is a monument sign located along the entry to a subdivision from a collector or arterial street.

Figure 11-11-9-4 Subdivision Entry Signs





In summary, the sign variance:

- Relates to two special circumstances that apply to Uplands and not generally to all entities in the applicable Comprehensive Plan land use designation or zone district (Uplands' location within the City and how the proposed signs can establish entries (into both the City of Westminster and this particular area of the City) and its location relative to the Westminster Heights Transition Area).
- The variance complies with the purpose of the Sign Regulations and can assist Uplands and the City in meeting the goals of the Comprehensive Plan and intent of the zoning district.
- Does not alter the essential character of the land use designation or zoning district in which the sign is located.
- Is not detrimental to any abutting properties.
- Does not pose a threat to public health, safety, or welfare.

The Uplands PDP, MODP and site specific ODPs reflect the goals and intent of a variety of City planning documents, with plans that integrate parks and trails, have a diverse mix of living options and great access to existing and future schools. The plans were created to focus on this mix of uses and interconnected street network that further foster an active, walkable environment throughout the City. The proposed sign variance can assist in the success of the mixed-use nature of Uplands. A strong sense of place for Uplands, and this portion of Westminster in general, are needed to help activate the overall community. This can help support transit (and the future BRT along Federal Boulevard) and encourage commercial investment to create a true 20-minute neighborhood, complete with grocery stores and other support services.

We sincerely look forward to continuing to work with the City of Westminster through the sign variance process, as well as the overall Uplands community.

Sincerely,  
Norris Design

A handwritten signature in black ink, appearing to read "Brad Haigh".

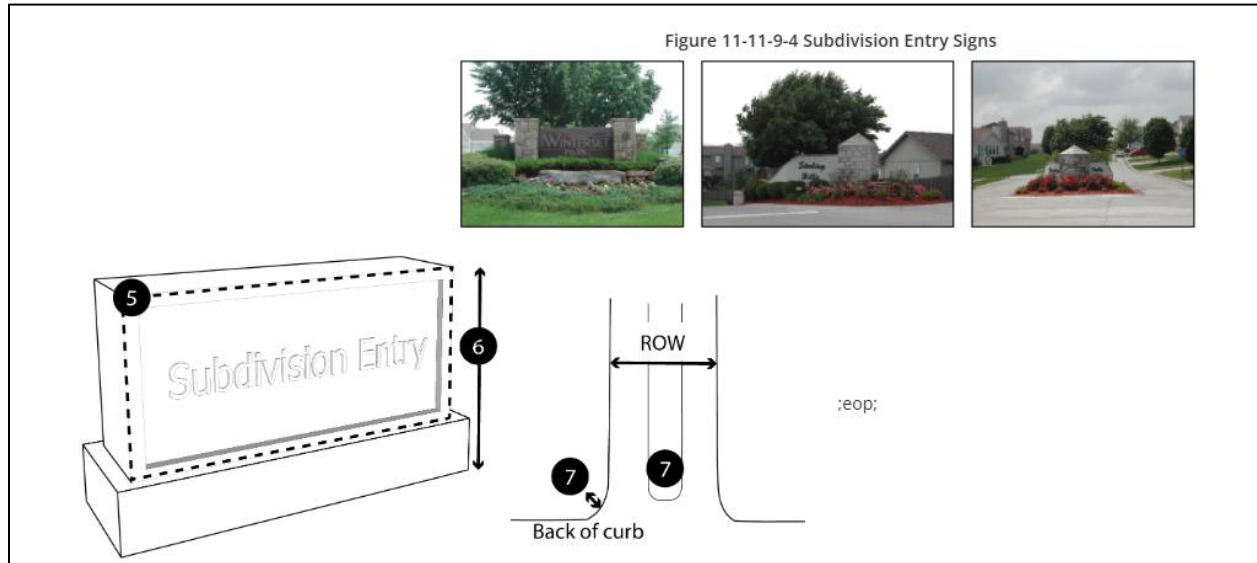
Brad Haigh  
Principal



Sign Classifications and Criteria

**11-11-9 (D), W.M.C. - Subdivision Entry**

*Definition:* A "subdivision entry sign" is a monument sign located along the entry to a subdivision from a collector or arterial street.



**Table 11-11-9-4, W.M.C. – Standards for Subdivision Entry Signs**

	↓Requirements Categories→	RLI/RLI
1	Permitted?	Yes
2	Permit required?	Yes
3	Number (per entrance up to the max. total sign area in row 5, below)	Up to 2 per arterial or collector street
4	Number-total (max.)	—
<i>Dimensions</i>		
5	Sign area (max-sf)	40 sf total per entrance

	<b>↓Requirements Categories→</b>	<b>RLI/RLI</b>
6	<i>Height (max-feet)</i>	7'
<i>Location*</i>		
7	<i>Setback (min-feet) All signs shall be located outside of existing or future utilities and any required sight triangle.</i>	•3' from the back of curb *
<i>Design Characteristics</i>		
11	<i>Digital</i>	No
12	<i>Illumination, Internal</i>	No
13	<i>Illumination, External</i>	Yes
14	<i>Illumination, Halo Lit</i>	Yes
15	<i>Channel Letters</i>	Yes
16	<i>Animated</i>	No

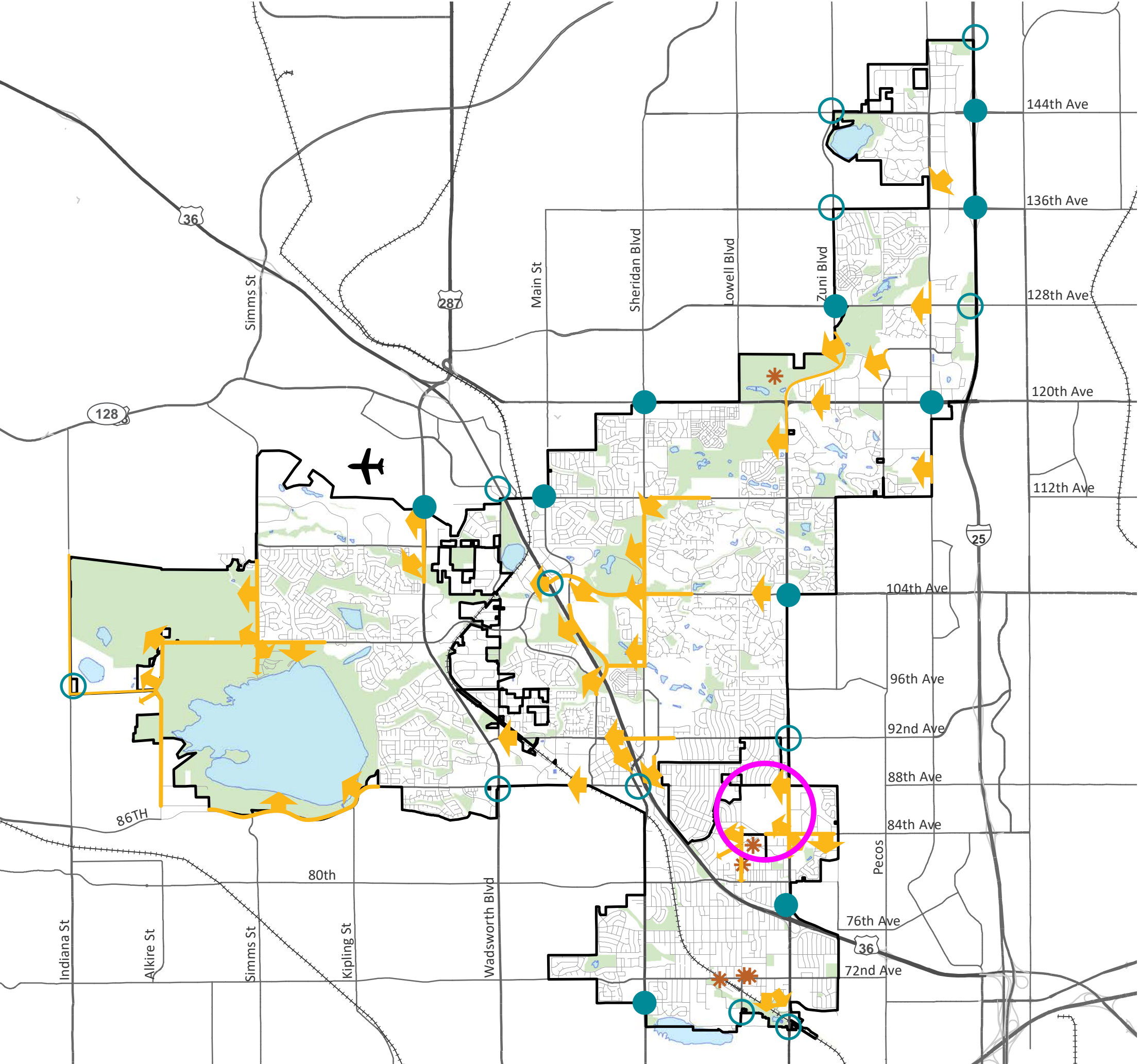
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### **Gateways – City of Westminster Comprehensive Plan**















*Definition:* A point along a roadway at which a traveler gains a sense of having entered the city or a particular part of the city. This impression can be imparted through such things as signs, monuments, landscaping, a change in development character, or a natural feature such as a creek.

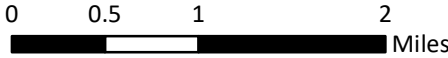


**Map 7-2. Viewshed, Gateways, and Historic Context**



**Legend**

-  National Register of Historic Places
-  Highway
-  Major roads
-  Local roads
-  Railroad
-  Water
-  Parks and Open Space
-  Westminster
-  Primary View
-  Secondary View
-  Tertiary View
-  View Corridor
-  Existing Gateway
-  Gateway Opportunity



**Westminster Heights Transition Area – Not a part of Parcel A – City of Westminster Comprehensive Plan**



**WESTMINSTER HEIGHTS TRANSITION AREA**

**Now:** Westminster Heights has dramatic views both to the west overlooking the Front Range and to the south with a view of the Downtown Denver skyline and even Pikes Peak far to the south. There is redevelopment potential within the St. Anthony property since transitioning many programs and services to the 144th Avenue “North” campus, leaving the 84th Avenue campus with an emergency room and services focused on senior needs. Some of the existing buildings are underutilized, and the expansive parking fields are no longer necessary to support the activities at the site. This creates opportunities for infill and redevelopment centered on access to healthy living. However, significant infrastructure improvements on- and off-site are necessary for future development of the area, including streets, drainage, water, and wastewater infrastructure. Convenient access along Federal Boulevard connects this Transition Area to US 36.

**Vision:** As with Westminster Station, this location will be informed by the Federal Boulevard Multimodal Transportation Study Development and form a built environment that creates a sense of place, connectivity, safety, and economic vitality. The Westminster Heights area is envisioned to locate residential densities along the east side of Federal Boulevard to help support transit lines and employment development at the St. Anthony campus. Behind the St. Anthony medical campus, potential extensions of Bryant, Clay, and Decatur Streets could connect future infill north to West 88th Avenue, and west to West 86th Avenue. New housing south of West 84th Avenue should take care in siting structures so as to both maximize view opportunities for residents, and also to minimize obstructions to the views from West 84th Avenue and Federal Boulevard.



*Pillar of Fire*

**AGRIHOOD**

Agrihoods are a type of neighborhood that enables farm-to-table living in a cooperative environment. Instead of being built around a pool or tennis court, these developments are centered around a significantly sized farm, often using the sweat-equity of residents to create a sustainable food system for the entire community. The Urban Land Institute has identified over 90 such developments in the U.S.





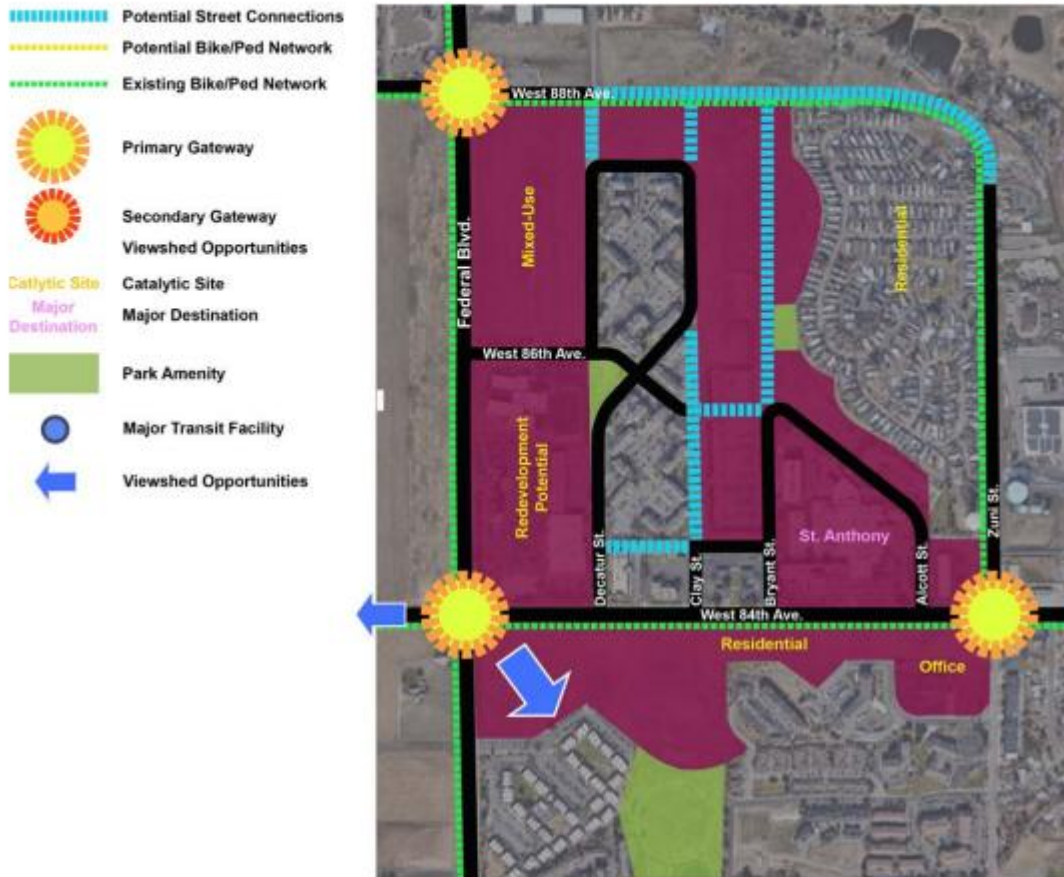
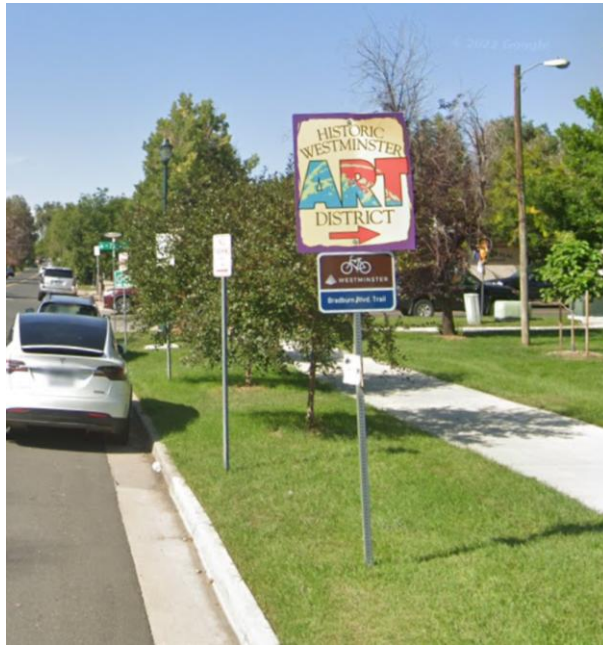


Figure 8-6. Westminster Heights Transition Area Framework

**Examples of Gateway Signs – Public Property, not regulated by Sign Code**



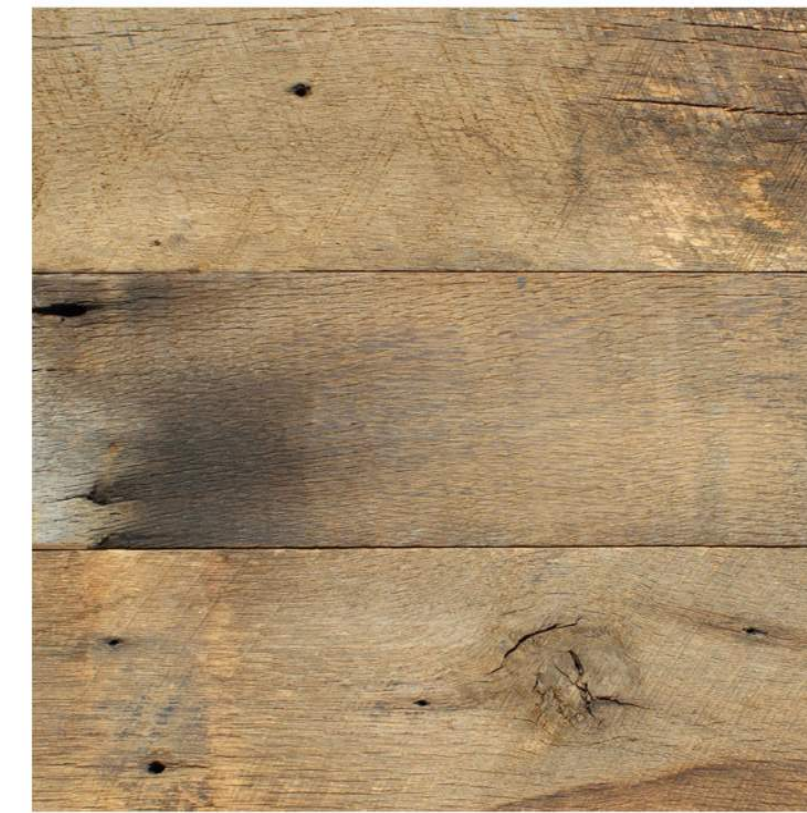
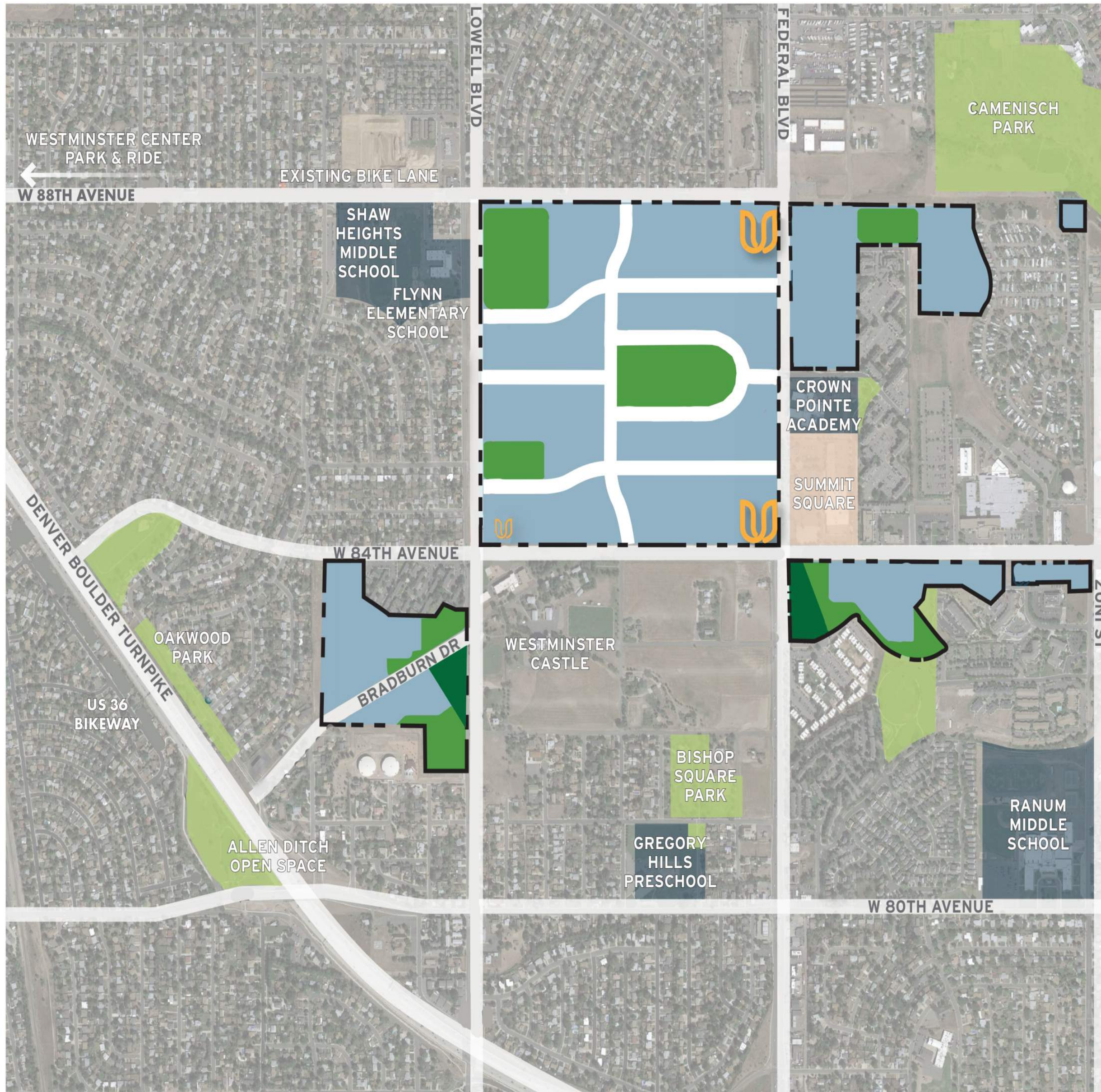
*Sign Demonstrating Specific District or Location – Public*



*Entry Signs Coming into the City of Westminster*



# Signage and Monumentation



**MATERIALITY**

 | Signs Requesting Variance





Subdivision Entry Sign Type I



Subdivision Entry Sign Type II





OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 4**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 49 OF 153

**UPLANDS**

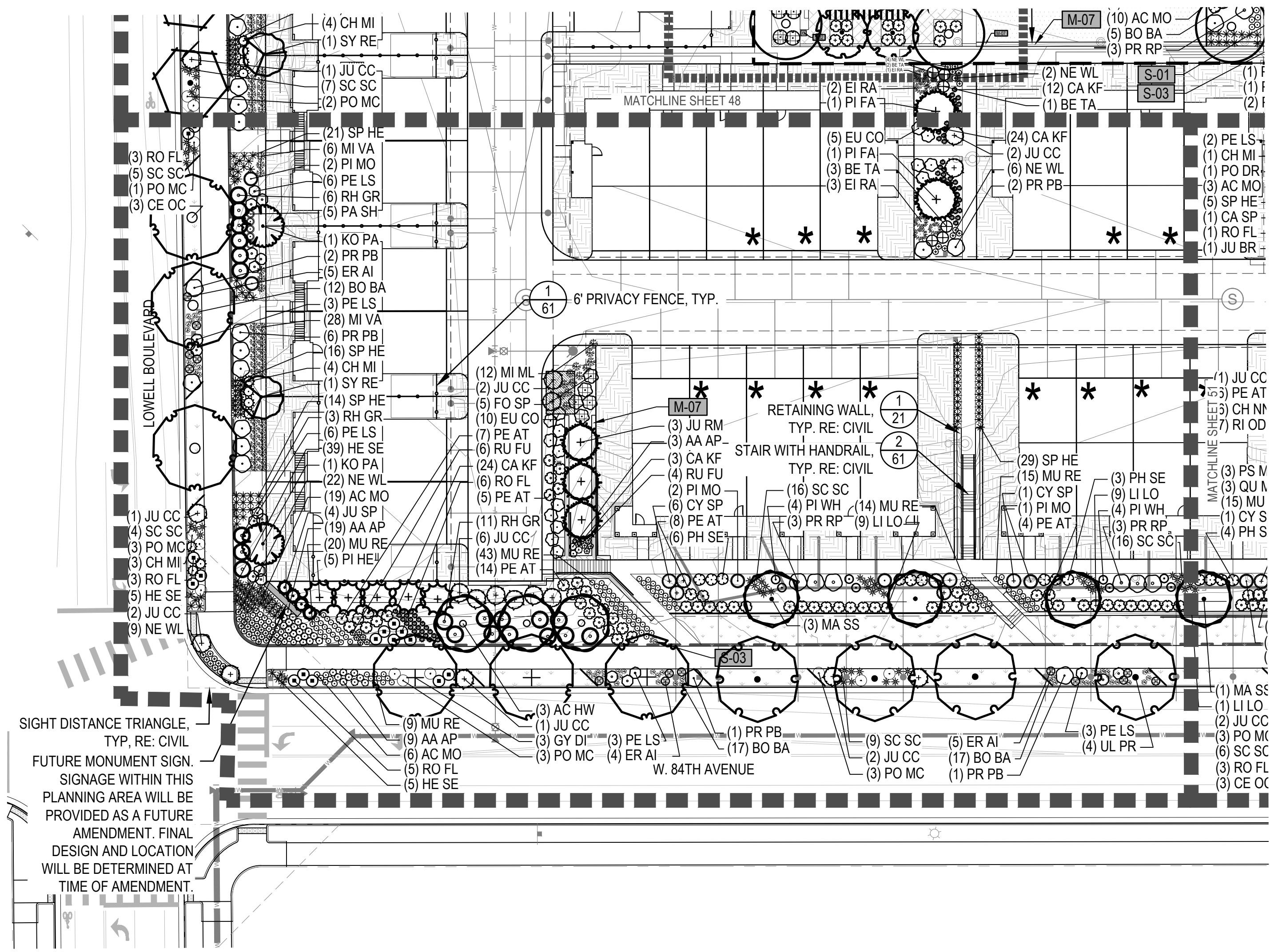
DATE: 05.03.2024

**UPLANDS FILING NO. 1**

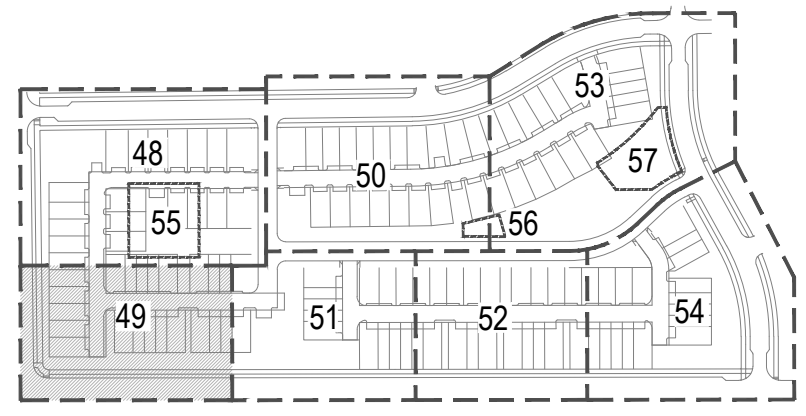
**BLOCK 4**

**OFFICIAL DEVELOPMENT PLAN**

WESTMINSTER, COLORADO



KEY MAP PA-A(4)



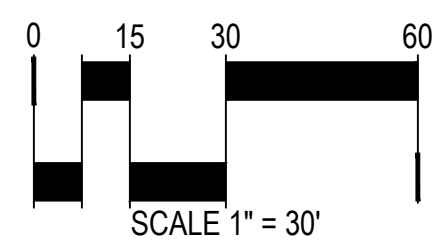
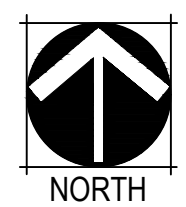
LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- BLUEGRASS SOD MIX - SOD
- COBBLE MULCH
- ENHANCED PAVING
- CRUSHER FINES
- ON-LOT LANDSCAPE
- PLAY SURFACE
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6' PRIVACY FENCE
- 3'-6" FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE, RE: CIVIL
- SANITARY LINE, RE: CIVIL
- GAS LINE, RE: CIVIL
- JOINT TRENCH, RE: CIVIL
- STORM LINE, RE: CIVIL
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- MATCHLINE
- ENLARGEMENT LINE
- PARK BOUNDARY
- VISITABLE UNIT

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 02.10.2023

REVISIONS

SUB-02: 07.26.23
SUB-03: 10.19.23
SUB-04: 03.28.24
SUB-05: 05.03.24





OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 5**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 63 OF 138

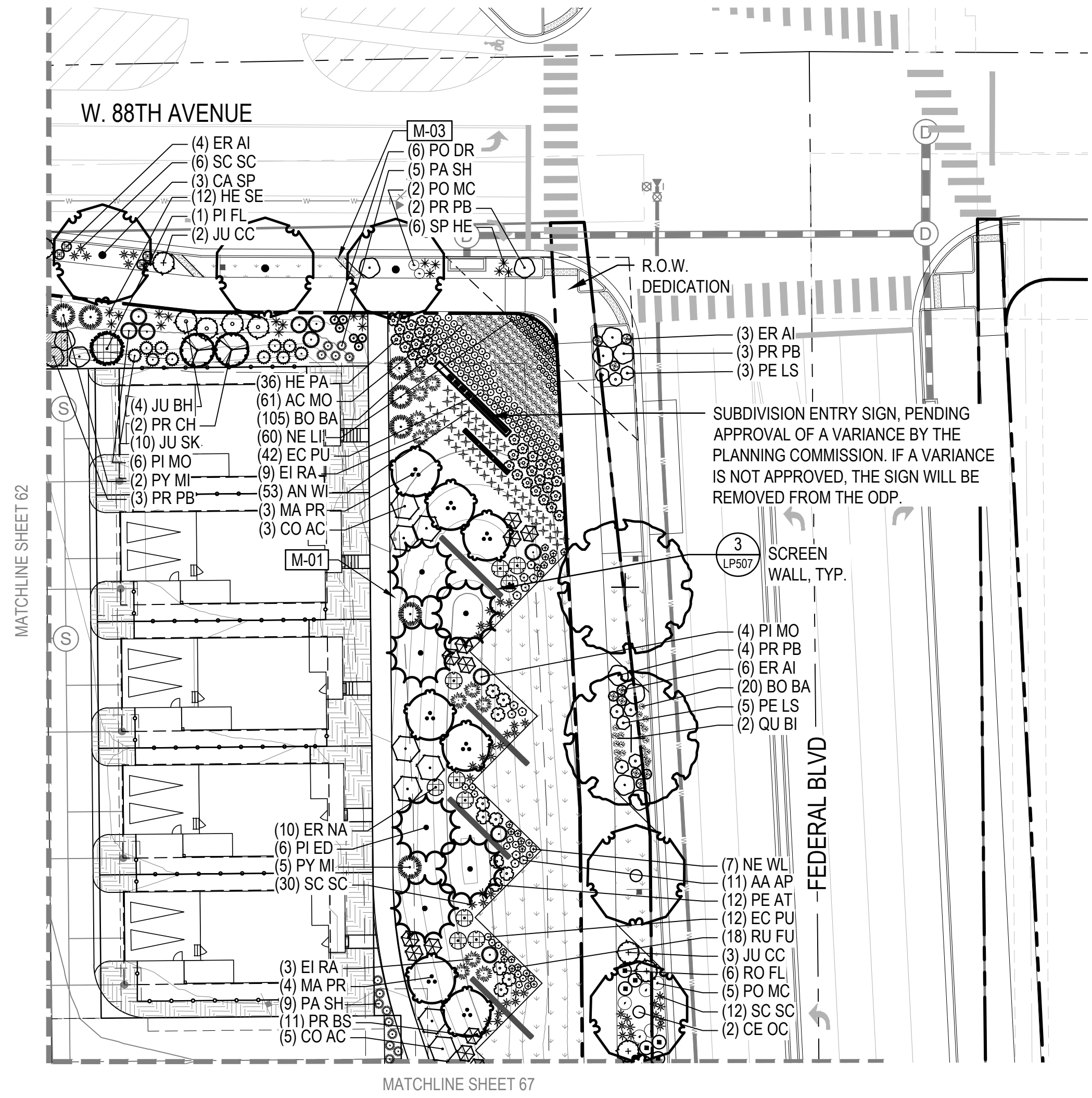
**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P. 303.862.1198

NORRIS-DESIGN.COM

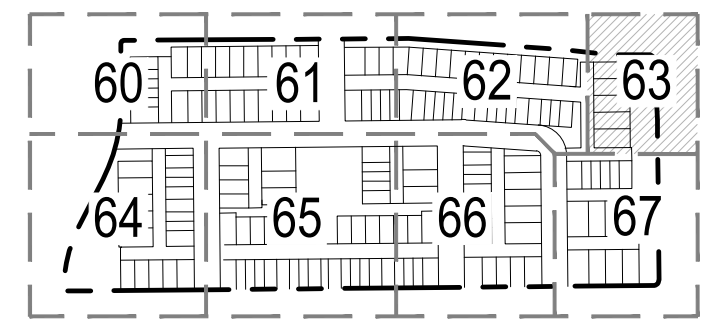
**UPLANDS**

DATE: 06.14.2024

**UPLANDS FILING NO. 1  
 BLOCK 5  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



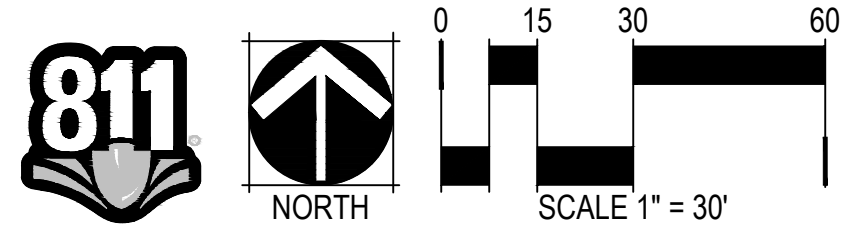
KEY MAP PA-A(5)



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH
- FARM TABLE
- PORCH SWING
- UMBRELLA
- ADA TABLE
- PLAYGROUND SURFACING
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- LANDSCAPE BED - ROCK MULCH
- LANDSCAPE BED - WOOD MULCH
- ENHANCED PAVING
- CRUSHER FINES
- ON-LOT LANDSCAPE
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6' PRIVACY FENCE
- 3'-6" FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- STONE STEPPERS
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- MATCHLINE
- ENLARGEMENT LINE
- PUBLICLY ACCESSIBLE
- PRIVATE PARK BOUNDARY
- PLAYGROUND FALL ZONE

NOTE:  
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH



OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	REVISIONS	SUB 01: 11.03.2023	SUB 02: 03.07.2024	SUB 03: 05.03.2024	SUB 04: 06.14.2024
<b>63 OF 138</b>					
LANDSCAPE PLAN					

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 62 OF 111

**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.862.1186

NORRIS-DESIGN.COM

**UPLANDS**

DATE: 09.11.2024

**UPLANDS FILING NO. 1**

**BLOCK 7**

**OFFICIAL DEVELOPMENT PLAN**

**WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24

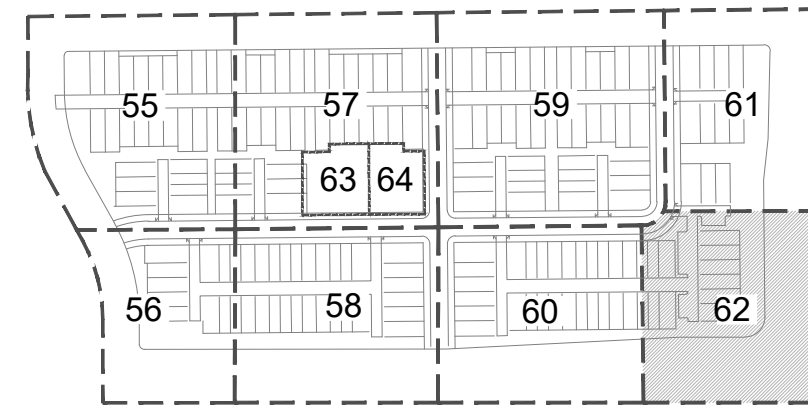
SUB03: 05/02/24

SUB04: 07/09/24

SUB05: 09/11/24

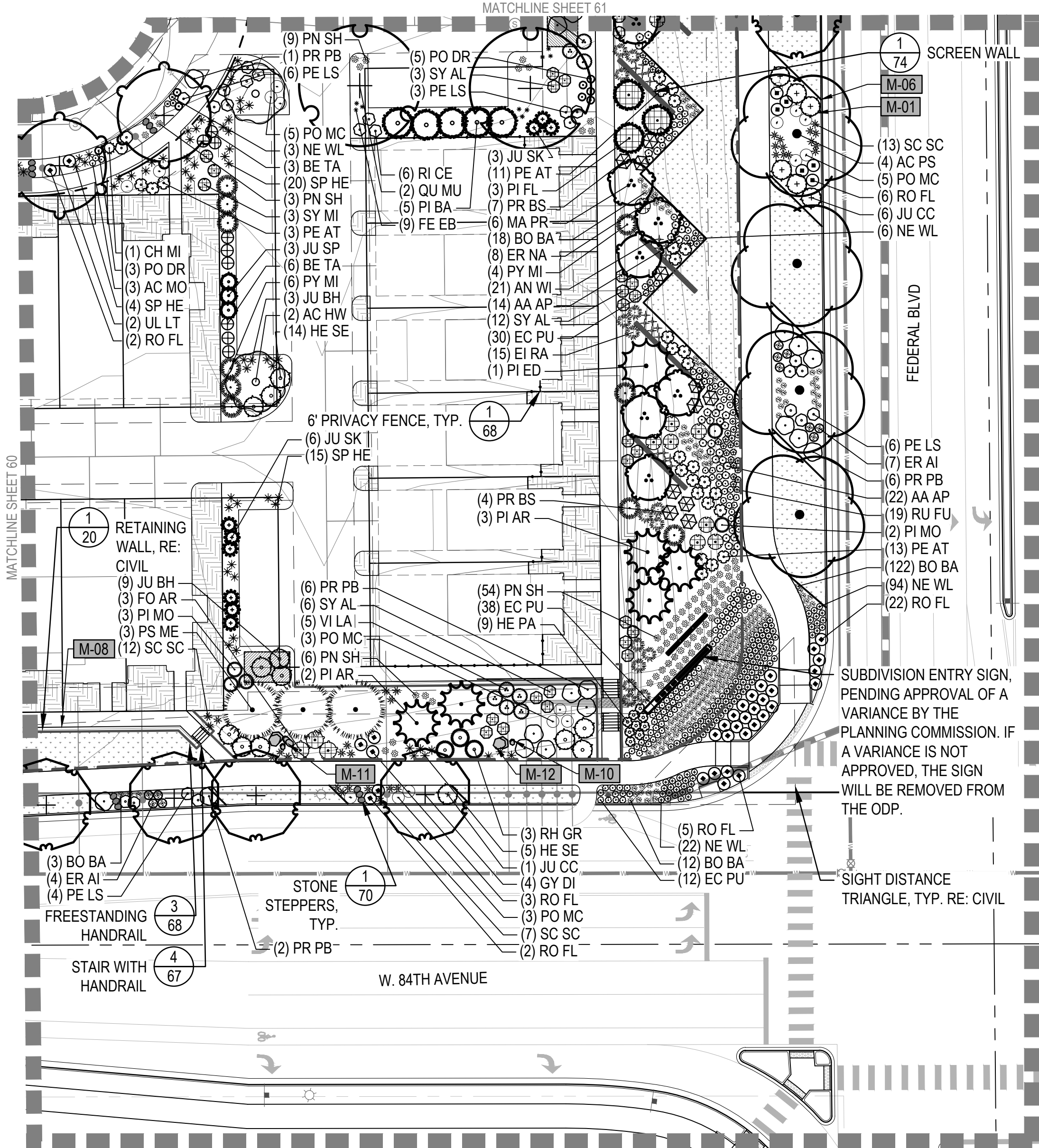
62 OF 111  
 LANDSCAPE PLAN

KEY MAP PA-A(7)

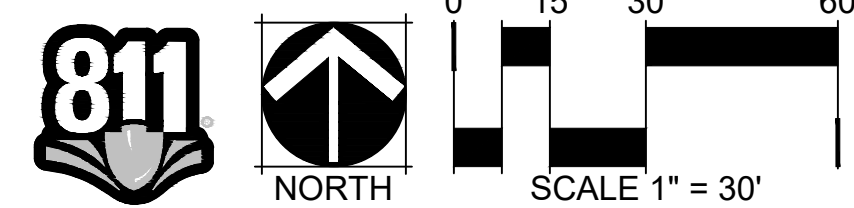


LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON-LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6' PRIVACY FENCE
- 3'-6" FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE, RE: CIVIL
- SANITARY LINE, RE: CIVIL
- GAS LINE, RE: CIVIL
- JOINT TRENCH, RE: CIVIL
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- MATCHLINE
- ENLARGEMENT LINE
- PARK BOUNDARY
- PLAYGROUND CURB



NOTE:  
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUNDCOVER EXCEPT WHERE SHOWN





## REQUIRED DETERMINATIONS (W.M.C. 11-11-13 (E))

- 1. There are special circumstances or conditions, such as the existence of buildings, topography, vegetation, sign structures, or other matters on adjacent lots or within the adjacent public right-of-way that would substantially restrict the effectiveness of the sign in question. However, those circumstances or conditions must be peculiar to the particular entity to which the applicant desires to draw attention, not apply generally to all entities in the applicable Comprehensive Plan land use designation or zone district, and are not conditions created by the property owner? If so, describe:**

There are two special circumstances that apply to this sign variance proposal and not generally to all entities in the applicable Comprehensive Plan land use designation or zone district, that are not created by the property owner. These relate to the site's location within the City and how the proposed signs can establish entries (into both the City of Westminster and this particular area of the City) as well as its location relative to the Westminster Heights Transition Area.

- Location within the City:

As described in additional detail in item 2 below, the requested sign variance helps enhance Westminster's positive image and character along key corridors and intersections within the City. Perimeter signage, as requested, can be used to reinforce the positive image, character and sense of arrival the 2040 Comprehensive Plan (Comprehensive Plan) planned for, which does not exist today:

- The West 84th Avenue corridor is a key entry into Westminster with an interchange off Interstate 25
- Federal Boulevard has been identified as a priority transit corridor, which is already one of the highest ridership transit corridors in the Denver region, with planned improvements for Bus Rapid Transit (BRT) from 120th Avenue in Westminster to southern Denver
- The three locations are part of key intersections:
  - West 88th Avenue at Federal Boulevard is a key re-entry point into the City of Westminster at a collector/multi-modal state highway intersection, shared with Federal Heights
  - West 84th Avenue at Federal Boulevard is a key major arterial/multi-modal state highway intersection
  - West 84<sup>th</sup> Avenue at Lowell Boulevard is a key re-entry point into the City of Westminster at a collector/collector intersection, shared with unincorporated Adams County

- Location relative to the Westminster Heights Transition Area:

The Comprehensive Plan identifies Transition Areas, which are areas that *'merit special considerations for future planning'*. These areas are further defined as areas *'where some degree of growth and change is expected from existing conditions'* and are considered *'important sub-areas that require unique consideration relative to use, site planning, amenities, and preservation of views'*. Each Transition Area includes a framework graphic that *'identifies gateways into the area, key view opportunities, and catalytic sites where future redevelopment may occur'*.





The Comprehensive Plan identifies the two eastern planning areas of Uplands (PA-C and PA-D) along with adjacent properties and street corridors as the Westminster Heights Transition Area.

### Westminster Heights Transition Area

The Comprehensive Plan notes the Westminster Heights Transition Area as an area with redevelopment potential tied to the transitioning of programs and services away from the St. Anthony's campus along with underutilized existing buildings and expansive surface parking fields that are not needed to support on-site activities. The Comprehensive Plan goes on to note that this area will be informed by the Federal Boulevard Multimodal Transportation Study.

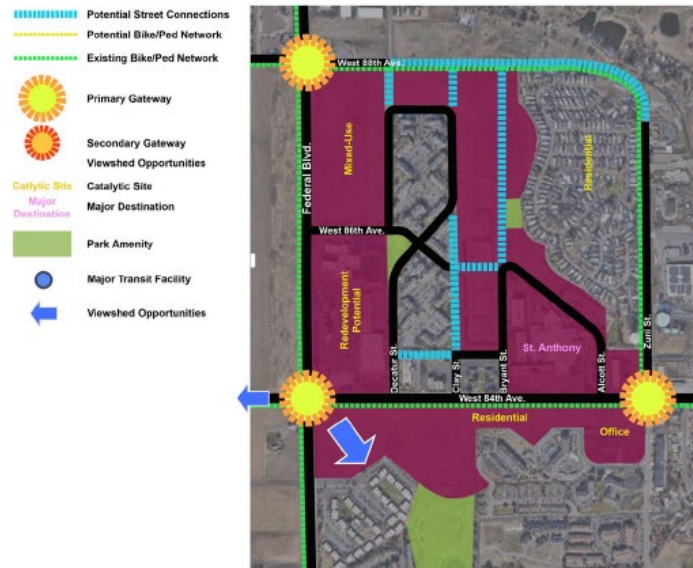


Image Source: 2040 Comp Plan, Westminster Heights Area Framework Graphic

The framework graphic identifies potential street connections, existing and potential bike/ped networks as well as gateways. In this location, the Comprehensive Plan identifies **Primary Gateways** at the intersections of West 88th Avenue and Federal Boulevard and West 84th Avenue and Federal Boulevard.

As a part of the Primary Gateway identification in this Transition Area, signage will play a key role in meeting the intent of a gateway. While 'Primary' and 'Secondary' Gateways are not uniquely defined, gateways are defined in the 'Glossary of Terms' section of the Comprehensive Plan as:

Gateway: A point along a roadway at which a traveler gains a sense of having entered the City or a particular part of the City. This impression can be impacted through such things as **signs, monuments**, landscape, a change in development character, or a natural feature such as a creek.

The Plan also describes how **'Established gateways and vibrant streetscapes can provide a clear and welcoming entry into the community by reflecting shared values and civic pride.'** and gives an example of signage as a gateway feature.

The existing conditions in and around this Transition Area do not currently give a traveler a sense of having entered either the City or a particular part of the City. This sign variance enhances the placemaking at key intersections and key entries into the City, helping create that distinct sense of place that gives the community an identity. This can help encourage commercial development not only within Uplands, but the Westminster Heights Transition Area in general.

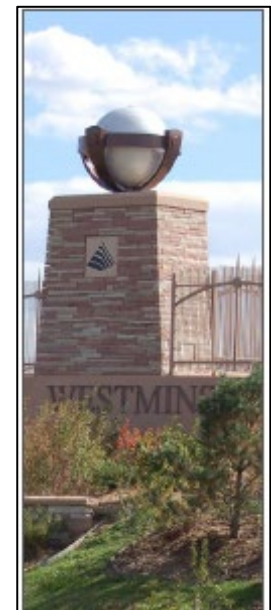


Image Source: 2040 Comp Plan, Example 'Gateway Feature'



**2. Will the variance, if authorized, weaken the general purpose of the Sign Regulations, the Comprehensive Plan policies, or zoning regulations prescribed for the land use designation or zoning district in which the sign is located? Why or why not?**

The variance does not weaken the general purpose of the Sign Regulations, the Comprehensive Plan policies, or zoning regulations prescribed for the land use designation or zoning district. The variance complies with the purpose of the Sign Regulations and can assist Uplands and the City in meeting the goals of the Comprehensive Plan and intent of the zoning district.

The variance complies with the purpose of the Sign Regulations by:

- Recognizing the business community’s need for effective, individualized identity and public awareness
- Regulating and reducing what might be confusing and objectional clutter
- Determining placement consistent with traffic safety by reducing traffic hazards caused by distractions to motorists and impairment of sight lines
- Protecting property values by facilitating harmony between the residential and commercial uses
- Complementing the character of the comprehensive land use designations and zoning districts
- Preserving the residential character of residential neighborhoods
- Facilitating the implementation of the City’s Comprehensive Plan and Zoning Districts
- Preserving, protecting and promoting the public health, safety and general welfare

The variance can assist Uplands and the City in meeting the goals of the Comprehensive Plan and intent of the zoning district, as described below.

Document	Designation/District	Key Descriptors
Comprehensive Plan	Mixed-Use Neighborhood	<ul style="list-style-type: none"> <li>• Intended for <i>inclusive neighborhoods</i> with a <i>mix of residential and supportive non-residential</i> uses in a walkable, pedestrian-oriented, village development pattern</li> <li>• <i>Mixed or non-residential uses shall be blended</i> with residential development</li> </ul>
Westminster Municipal Code	Planned Unit Development (PUD)	<ul style="list-style-type: none"> <li>• Provide the means and guidelines through which tracts are developed through an overall <i>development plan that integrates land uses and site considerations for the land as a unit rather than</i> traditional standard treatment of land uses in other so-called <i>Euclidian districts</i> in this code</li> <li>• Intended to <i>reflect maximum design freedom</i> to...<i>encourage mixed-use developments</i></li> <li>• It is the intent the property will be developed with a <i>unified design</i> providing continuity between the various elements</li> </ul>

**Comprehensive Plan** – the Comprehensive Plan identifies much of Uplands as Mixed-Use Neighborhood, which is intended for inclusive neighborhoods with a mix of uses blended together in a walkable, pedestrian-oriented, village development pattern. The Uplands PDP and MODP were specifically laid out to create this inclusive, connected and mixed-use neighborhood. The sign variance unifies the commercial and residential design intent by creating coordinated entry features



welcoming residents and guests into the overall Uplands community, instead of only relying upon sub-neighborhood and/or commercial-specific entries. These entries help establish a strong sense of place for Uplands and this portion of Westminster in general, that is needed to encourage commercial reinvestment and create a more complete 20-minute neighborhood.

- **1.3 Vision and Plan Cornerstones: Great Neighborhoods:** Westminster is defined by its distinctive and varied neighborhoods and integrated network of parks and trails. The City's range of choices and character in neighborhoods provides a diverse mix of settings and environments. The Plan will continue to foster a range of high-quality living options that support the City's active lifestyle. Parks, recreation facilities, libraries, neighborhood shopping and services, schools and other community facilities will serve the needs of residents, reinforcing neighborhood character and cultural identity. Connections from residential neighborhoods to employment centers, transit, commercial centers, and the City's open space and trails system will be emphasized. Where new neighborhoods are planned, *a mix of uses and interconnected street network will further foster an active, walkable environment* throughout the City.
- **3.0 Land Use and Development: Goal LU-1:** Achieve a balance of uses in the City, including employment, residential, cultural, destination attractions, and retail, as well as a full range of amenities necessary to support a vibrant and resilient community.
- **3.0 Land Use and Development: Goal LU-5:** Cultivate activity centers that create sense of place and concentrated nodes to support transit per the Transportation and Mobility Plan.
  - 5.3: Create a sense of place both through placement of active uses and through the design of frontages, plazas and the public realm.
- **7.0 Housing and Neighborhoods: Goal HN-5:** Maintain and enhance Westminster's positive image and character through attractive streetscapes.
  - 5.3: Create a strong sense of entry into and passage through the City at key locations, identified on Map 7-2, through gateway elements, streetscape enhancements, development scale and orientation, lighting, signage and public art.

The Uplands PDP, MODP and site specific ODPs reflect the above cornerstone and goals with plans that integrate parks and trails, have a diverse mix of living options and great access to existing and future schools. The plans were created to focus on this mix of uses and interconnected street network that further foster an active, walkable environment throughout the City. The proposed sign variance can assist in the success of the mixed-use nature of Uplands. A strong sense of place for Uplands, and this portion of Westminster in general, are needed to help activate the overall community. This can help support transit (and the future BRT along Federal Boulevard) and encourage commercial investment to create a true 20-minute neighborhood, complete with grocery stores and other support services.

Chapter 7 of the Comprehensive Plan (Housing & Neighborhoods) goes on to describe Great Neighborhoods; it notes that bringing smaller neighborhood elements together is what creates a distinct sense of place that gives a community an identity. That it is often found that residents in vibrant, active neighborhoods are more likely to support local businesses, work together to solve neighborhood issues, and contribute more to the local community. This sign variance enhances the placemaking at key intersections and key entries into the City, helping create that distinct sense of place that gives the community an identity. This can help encourage commercial development not only within Uplands, but the Westminster Heights Transition Area in general.



The requested sign variance helps enhance Westminster's positive image and character along key corridors and intersections within the City. Perimeter signage, as requested, can be used to reinforce the positive image, character and sense of arrival the Comprehensive Plan planned for:

- The West 84th Avenue corridor is a key entry into Westminster with an interchange off Interstate 25
- Federal Boulevard has been identified as a priority transit corridor, which is already one of the highest ridership transit corridors in the Denver region, with planned improvements for Bus Rapid Transit (BRT) from 120th Avenue in Westminster to southern Denver
- The three locations are part of key intersections:
  - West 88th Avenue at Federal Boulevard is a key re-entry point into the City of Westminster at a collector/multi-modal state highway intersection, shared with Federal Heights
  - West 84th Avenue at Federal Boulevard is a key major arterial/multi-modal state highway intersection
  - West 84<sup>th</sup> Avenue at Lowell Boulevard is a key re-entry point into the City of Westminster at a collector/collector intersection, shared with unincorporated Adams County

**WMC PUD** – the Westminster Municipal Code specifically describes the intent of this zoning as providing a way to integrate land uses rather than using traditional standard treatment of land uses in so-called Euclidian districts of the code, which separate land uses. That it is intended to encourage mixed-use developments with a unified design providing continuity between the various elements.

The proposed sign variance creates a unified design intent that can help the mixed-use success of Uplands and the surrounding area. Instead of just placing individual entry signs at each unique neighborhood within Uplands, Uplands proposes establishing this sense of place and unified design intent at its key intersections and key entries into the City. This can help encourage commercial development not only within Uplands, but the Westminster Heights Transition Area in general.

**3. Will the variance, if authorized, alter the essential character of the land use designation or zoning district in which the sign is located? Why or why not?**

The variance does not alter the essential character of the land use designation or zoning district in which the sign is located. As described above, the variance:

- Can assist in the success of the mixed-use nature of Uplands. A strong sense of place for Uplands, and this portion of Westminster in general, are needed to encourage commercial investment to create a true 20-minute neighborhood, complete with grocery stores and other support services.
- The requested sign variance places signs at the main intersections of Uplands, helping to create a strong sense of place. This sense of place helps activate Uplands and the surrounding community, which can both support transit (the future BRT along Federal Boulevard) as well as encourage investment of much-needed commercial uses.
- The requested sign variance helps enhance Westminster's positive image and character along key corridors and intersections within the City.



- The proposed sign variance creates a unified design intent that can help the mixed-use success of Uplands and the surrounding area. Instead of just placing individual entry signs at each unique neighborhood within Uplands, Uplands proposes establishing this sense of place and unified design intent at its key intersections and key entries into the City. This can help encourage commercial development not only within Uplands, but the Westminster Heights Transition Area in general.

**4. Will the variance, if authorized, be detrimental to any abutting properties? Why or why not?**

The variance is not detrimental to any abutting properties. The signs are located in enhanced landscape tracts that create welcoming entry features into Uplands and this general area of Westminster. All sign locations are separated from abutting properties by collector and arterial/highway streets. As described above, the sign variance can benefit abutting properties by enhancing the placemaking at key intersections and key entries into the City, helping create that distinct sense of place that gives the community an identity. This can help encourage thoughtful development / redevelopment (as appropriate) not only within Uplands, but the Westminster Heights Transition Area in general.

**5. Will the variance, if authorized, pose a threat to public health, safety, or welfare? Why or why not?**

The variance does not pose a threat to public health, safety, or welfare. All signs are required to remain outside of sight distance triangles and do not pose a threat to traffic visibility and safety.

The sign locations can improve safety as they will give advance notice to visitors that they are entering the Uplands community prior to them attempting to turn into the community. Given Federal Boulevard is a major highway/major arterial, Uplands has limited access (mostly right-ins/right-outs) from Federal. The proposed cross section for Federal Boulevard includes a median extending from W 84th to W 88th Avenues, only breaking at the 86th Avenue intersection. It also includes two travel lanes and a future bus lane on both sides of the median. Locating subdivision entry signs at both W 84th and W 88th Avenues gives travelers notice to turn at either of those intersections and/or gives them additional time to get in the correct lane to turn into Uplands at W 86th Avenue. Similarly, for the sign located at W 84th Avenue and Lowell Boulevard, this sign gives visitors advance notice to either turn at W 84th Avenue to access the eastern portions of Uplands or that their turn is coming up along Lowell Boulevard. With Lowell being a two-lane street, this can help traffic move more smoothly.

All signs are also required to remain outside of public access and utility easements, ensuring both people and utilities have access through the community.

Finally, the proposed sign locations help establish overall placemaking for this area of Westminster, which is critical in attracting much needed amenities for south Westminster, including a grocer and other support services that have been lacking and are needed to complete the City's Neighborhood Unit concept, as defined in the Comprehensive Plan ("places where residents have easy, convenient access to many of the places and services they use daily including grocery stores, restaurants, schools, and parks. They are characterized by an accessible mix of commercial, recreational, civic, and residential uses that are generally within a one-mile walking distance.").

**6. Is the Planning Commission being asked to grant a variance for a type of sign that would not otherwise be permitted under the Westminster Municipal Code?**





The Planning Commission is not being asked to grant a variance for a type of sign that would not otherwise be permitted under the Westminster Municipal Code. The requested sign type (Subdivision Entry Sign) is permitted in this Comprehensive Plan land use designation, as noted in Table 11-11-9-4. We are simply asking for a revised, but logical, interpretation of where subdivision entry signs can be located within the community (at the entries to the overall Uplands subdivision instead of at the internal entries to the sub-neighborhoods within the overall Uplands subdivision). The requested locations are along the entry(ies) to a subdivision (Uplands) from a collector (W 88th Avenue and Lowell Boulevard) or arterial street (W 84th Avenue and Federal Boulevard).

Table 11-11-9-4  
Standards for Subdivision Entry Signs

[EXPAND](#)

	Requirements Categories→	RLI	RMI
1	Permitted?	Yes	
2	Permit required?	Yes	



## WESTMINSTER

Agenda Memorandum

Agenda Item 3b

### Planning Commission Meeting January 14, 2025



**Access to Opportunity:** Advance access to opportunity and prosperity for all in Westminster through diverse housing choices, increased mobility options, safe and walkable neighborhoods, and strong social networks.



**Economic Vitality:** Promote and support a resilient economy that attracts and retains a diversity of businesses, workers, and industries, expands living wage jobs, and diversifies the City's tax base.

**SUBJECT:** Public Hearing and Recommendation of an Official Development Plan for Uplands Filing 1, Block 3 (PA-A3)

**PREPARED BY:** Jacob Kasza, Principal Planner

#### **RECOMMENDED PLANNING COMMISSION ACTION:**

1. Hold a public hearing.
2. Recommend that City Council approve the Official Development Plan for Uplands Filing 1, Block 3 / PA-A3, subject to the condition set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Section 11-5-15 of the Westminster Municipal Code.

#### **SUMMARY STATEMENT:**

- The proposed development consists of one planning area of the Uplands development located southeast of the intersection of Lowell Boulevard and West 86th Avenue, see Attachment 1.
- The applicant is requesting approval of an Official Development Plan (ODP). The Block 3 ODP would allow for the development of 127 single family dwellings on 20.21 acres, see Attachment 2.

#### **FISCAL IMPACT:**

\$0 in expenditures

**SOURCE OF FUNDS:**

Not applicable.

**POLICY ISSUE(S):**

Should the Planning Commission recommend that City Council conditionally approve the ODP for the subject property known as Uplands Filing 1, Block 3 / PA-A3?

**ALTERNATIVE(S):**

The Planning Commission could choose to recommend City Council deny the ODP. Staff does not recommend this option because the ODP is generally supported by the criteria set forth in Section 11-5-15, Westminster Municipal Code (W.M.C.)

**BACKGROUND INFORMATION:**Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses, and identify allowed densities and intensities of use. The W.M.C. requires that all development be in compliance with the Comprehensive Plan.

If the City Council chooses to approve this ODP, the next steps in the development review process will be to secure the approval of civil construction and building construction documents prior to commencing construction on the site.

History of Subject Property

The subject property is within the original town limits. The property is currently zoned Planned Unit Development (PUD) with the PDP having been approved in December 2021. The property is vacant land and has been used for agricultural uses for approximately 100 years.

Nature of Request

The applicant is seeking approval of an ODP for Uplands Filing 1, Block 3, / PA-A3. The proposed ODP allows for the construction of 41 single family detached dwelling units and 86 single family attached dwelling units. The proposal also includes the landscaping for the detention pond, two publicly accessible private parks, and other associated landscaping.

The applicant is requesting 12 exceptions with the ODP. The exceptions and justifications for them are provided on Sheets 5 and 6 of the ODP, see Attachment 2.

Applicant/ Property Owner

VPDF UPLANDS LLC  
CHAD ELLINGTON  
1480 HUMBOLDT STREET  
DENVER, CO 80218  
303.503.1016  
CHAD@PEAKDEVGRP.COM

Location

The proposed development is located southeast of the intersection of Lowell Boulevard and West 86th Avenue, see Attachment 1.

Surrounding Land Uses and Designations

<b>Direction</b>	<b>Development Name</b>	<b>Zoning</b>	<b>Comp Plan Designation</b>	<b>Current Use</b>
<b>North</b>	Uplands	PUD	Mixed Use Neighborhood	Vacant
<b>East</b>	Uplands	PUD	Mixed Use Neighborhood	Vacant
<b>South</b>	Uplands	PUD	Mixed Use Neighborhood	Vacant
<b>West</b>	Shaw Heights	R-A	Residential Low Density	Residential

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.

- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall mail individual notices by first-class mail to all addresses within 1,000 feet of the subject property. The mailing list to be used shall be provided to the applicant by City staff. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

## Westminster Municipal Code Analysis

*11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.*

*(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:*

- 1. The plan is in conformance with all City Codes, ordinances, and policies.*

The ODP generally meets all City Codes, ordinances, and policies. The applicant identifies several exceptions to codes and policies that are requested for approval on sheets 5-6 of Attachment 2.

- 2. The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

The proposed ODP meets all the standards of the Preliminary Development Plan (PDP).

- 3. The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The proposed design plan exhibits a creative new-urbanist community and incorporates efficient and innovative design principles. The site plan provides for easy pedestrian access across the development while managing the impacts of the fire aerial apparatus access roads.

- 4. For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

The applicant is requesting twelve exceptions with the ODP. The exceptions and justifications for the exceptions are provided on sheets 5-6 of Attachment 2. The exceptions either require City Council review and consideration or are being referred to the City Council for its review and consideration. The applicant has provided an additional narrative and justification in Attachment 4.

- 5. The plan is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the proposed ODP is generally compatible with existing public and private development in the surrounding area. The ODP conforms to the required perimeter setbacks and "Perimeter Sensitivity Zone" identified in the MODP.

- 6. The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Staff finds that the proposed ODP generally provides for protection from influences surrounding the development. Landscaping has been included in all setbacks and rights-of-ways.

- 7. The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

The proposed ODP has no significant adverse impacts on future land uses and future development. Setbacks are provided around the perimeter of the development and all access points are designed to City Standards.

- 8. The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The proposed ODP provides for a safe grouping of structures and uses. Where needed, the alleys have been designed to meet the requirements of fire access roads or fire aerial apparatus access roads. Homes will gain vehicular access via the alleys, and all have a direct pedestrian connection to either a private tract or the right-of-way.

- 9. Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The proposed residential lots are between 1,100 to 4,212 square feet. Setbacks are shown on sheet 7 of Attachment 2. The applicant is requesting exceptions to the design standards for setbacks, off street parking, and lot size as shown on sheets 5-6 of Attachment 2.

- 10. The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The proposed design of the houses is shown on sheets 84 through 152 of Attachment 2. The applicant is requesting exceptions to the MODP design standards for architecture as shown on sheets 5-6 of Attachment 2.

- 11. Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

Fencing within Block 3 is proposed only within side yards for the single family detached homes. Screening is largely accomplished through landscaping as the development is designed as a new urbanist community.

- 12. Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

The proposed landscaping is in conformance with the Code requirements and is both adequate and appropriate.

- 13. Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

Staff have reviewed the traffic study for this development and find that the streets are adequate for the proposed development.

- 14. Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

Staff finds that the proposed streets, parking, and access points have been designed to promote safety, accessibility, and minimum hazards and to meet the City's Engineering Standards and Specifications.

*15. Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

The proposed development includes new sidewalks and pedestrian connections. Each home will be accessible by a private walk. The site plan accommodates multiple pedestrian connections to limit the distance a pedestrian would need to walk. Staff finds that the ODP will accommodate increased safety, convenience, and accessibility.

*16. Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

The Public Works and Utilities Department (PWU) has reviewed the plans, Phase II Drainage Studies, and Utility Studies and found they can conform with the PDP and utility master plans associated with the Uplands development.

*17. The applicant is not in default or does not have any outstanding obligations to the City.*

The Uplands Master Developer is actively working to fulfill the obligations of the conditions of approval for the PDP. The applicant is not in default and does not have outstanding obligations to the City.

*(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.*

The applicant has provided a narrative regarding the standards of approval which may be viewed in Attachments 4.

#### Neighborhood Meeting(s) and Public Comments

A neighborhood meeting was held at Crown Pointe Academy on July 11, 2024. In advance of the neighborhood meeting, the applicant mailed notice of the meeting to property owners, occupants, and homeowners associations registered with the City within 1,000 feet of the subject property. The meeting was also advertised on the City's website. Several members of the public attended the neighborhood meeting. The applicant started the meeting with a presentation about the proposed development and staff gave an overview of the development review process.

Questions were raised about the site plan, traffic, access, and construction concerns. One community member raised concerns about the height change for the homes directly fronting onto Lowell Boulevard.

#### Summary of Staff Recommendation

Staff recommends that the Planning Commission recommend approval of the Uplands Filing 1, Block 3 ODP, subject to the Additional Condition.

"The Additional Condition" shall mean:

Prior to recordation of the ODP and issuance of a building permit, the applicant shall submit for staff review and approval the technical corrections outlined in Attachment 3.

**STRATEGIC PLAN PRIORITIES:**

The City's Strategic Plan priorities of Access to Opportunity and Economic Vitality is met by facilitating new and diverse housing opportunities and providing new publicly accessible park spaces.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "John McConnell".

John McConnell, AICP

Planning Manager

**ATTACHMENTS:**

Attachment 1: Vicinity Map

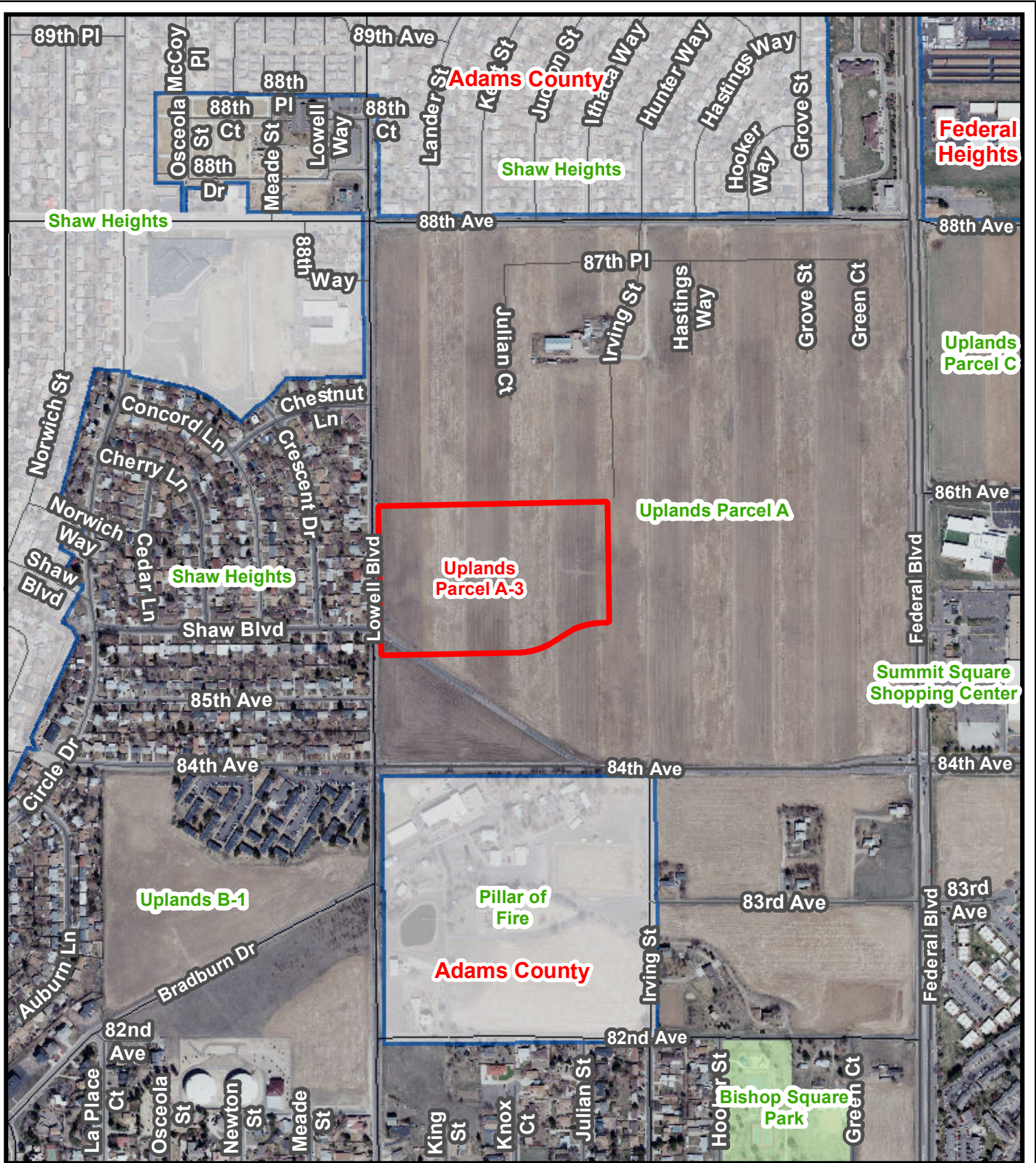
Attachment 2: Proposed Official Development Plan

Attachment 3: Outstanding Technical Corrections for Uplands Filing 1, Block 3 ODP

Attachment 4: Applicant's Narrative

Attachment 5: Public Comment





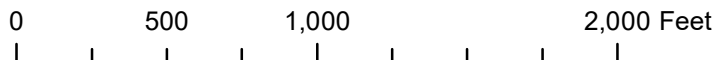
### Vicinity Map

### Uplands Parcel A-3

### SEC of W 86th Ave and Lowell Blvd



WESTMINSTER



**LEGAL DESCRIPTION**

FINAL PLAT FOR BLOCK 3 OF UPLANDS FILING NO. 1, REC NO. 202400027140, DATED 5/21/2024, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

**SURVEYOR'S CERTIFICATE**

I, \_\_\_\_\_, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE \_\_\_\_\_ REGISTERED LAND SURVEYOR & NO. \_\_\_\_\_

**PROJECT TEAM**

<b>PROPERTY OWNER / APPLICANT</b> VPDF UPLANDS LLC CHAD ELLINGTON 1480 HUMBOLDT STREET DENVER, CO 80218 CHAD@PEAKDEVGRP.COM	<b>CIVIL ENGINEER</b> HR GREEN RYAN LITTLETON 8310 S. VALLEY HIGHWAY, STE. 300 ENGLEWOOD, CO 80112 RLITTLETON@HRGREEN.COM
--	--

<b>PLANNER/LANDSCAPE ARCHITECT</b> NORRIS DESIGN BRAD HAIGH 1101 BANNOCK ST. DENVER, CO 80204 BHAIGH@NORRIS-DESIGN.COM	<b>ARCHITECT</b> GODDEN SUDIK ARCHITECTS PAUL BRADY 5975 SOUTH QUEBEC ST., STE. 250 CENTENNIAL, CO 80111 PBRADY@GODDENSUDIK.COM
---	--

**DEVELOPMENT TIMING & PHASING**

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT AS FOLLOWS:

- THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, SUBJECT TO MARKET CONDITIONS

**PERMITTED / PROHIBITED USES**

**PERMITTED USES:**

- SINGLE-FAMILY ATTACHED (PAIRED & TOWNHOME) RESIDENCES (ALLEY LOADED)
- SINGLE-FAMILY DETACHED RESIDENCES (ALLEY LOADED)
- PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES, PARKS AND OPEN SPACE
- TEMPORARY SALES OFFICE AND PARKING LOT
- TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE

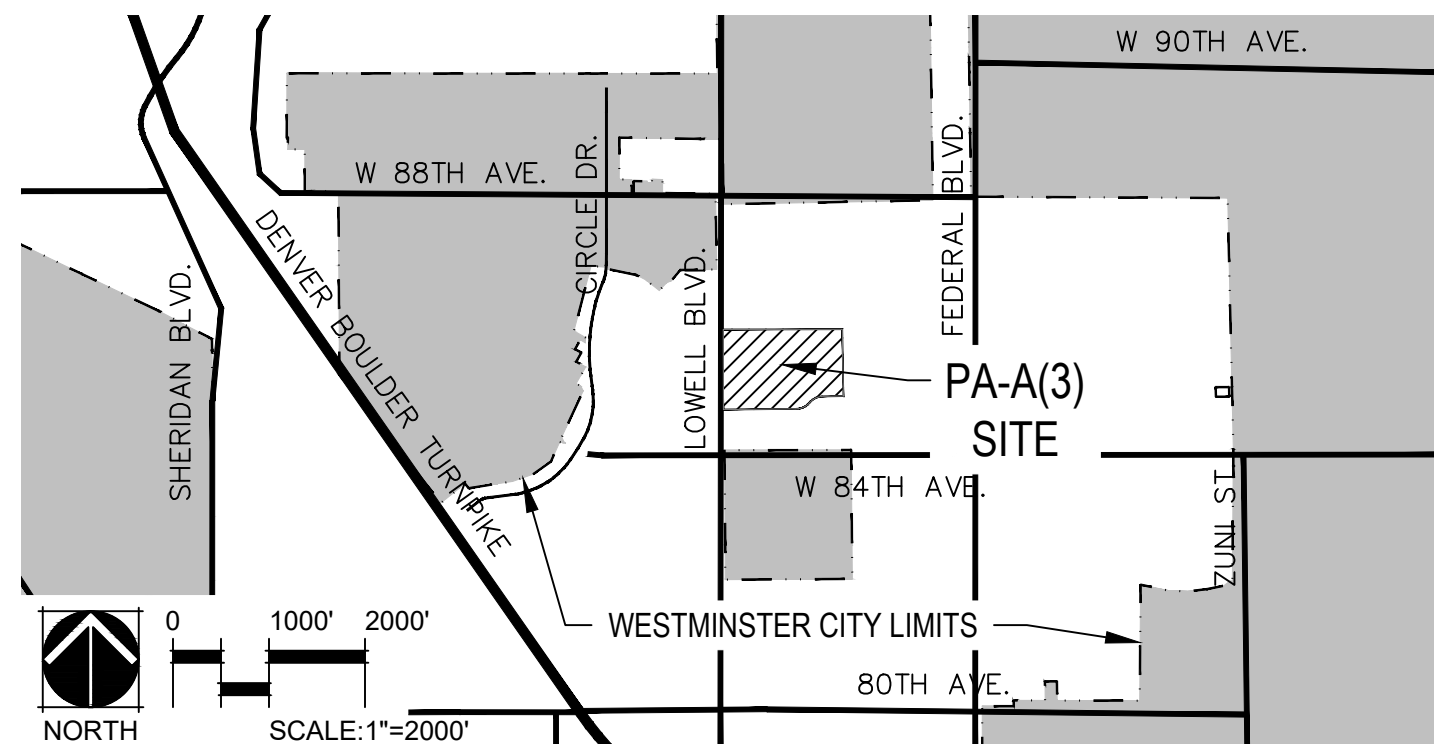
**PROHIBITED USES:**

- ACCESSORY STRUCTURES. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON PRIVATE LOTS.
- ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE NOT PROPOSED WITH THIS ODP.

**OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 1 OF 156**

**VICINITY MAP**



**ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS**

	ZONING	LAND USE	COMP. PLAN
PA-A(3):	PUD	VACANT	MIXED USE NEIGHBORHOOD
NORTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
SOUTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
EAST:	PUD	VACANT	MIXED USE NEIGHBORHOOD
WEST:	R-A	SINGLE FAMILY RESIDENCES	RESIDENTIAL LOW DENSITY

**SHEET INDEX**

1 COVER	62-69 ENLARGEMENT PLAN
2-3 SITE DATA	70 FENCING PLAN
4 NOTES	71-79 LANDSCAPE DETAILS
5-6 EXCEPTIONS	80-81 SFA CHARACTERISTICS TABLES
7-8 LOT TYPICALS	82-83 SFD CHARACTERISTICS TABLES
9 EXISTING CONDITIONS	84-86 2-STORY TOWNHOME STREETScape
10 OVERALL SITE PLAN	87 SFA PAIRED HOME & MAIL KIOSK STREETScape
11-18 SITE PLAN	88 SFD STREETScape
19 OVERALL GRADING PLAN	89 MAIL KIOSK STRUCTURE
20-27 GRADING PLAN	90 TOWNHOME LOT TYPICALS
28-29 GRADING SECTIONS	91-98 TOWNHOME 4-PLEX, 5-PLEX, 6-PLEX ELEVATIONS A, B, C
30-32 TYPICAL STREET SECTIONS	99 PAIRED HOME LOT TYPICALS
33 OVERALL UTILITY PLAN	100 PAIRED HOME GRADE SEPARATED ELEV.
34-41 UTILITY PLAN	101-111 PAIRED HOME LOT TYPICALS AND ELEVATIONS
42-45 FIRE TRUCK TURNING EXHIBIT	112-152 SFD LOT TYPICALS AND ELEVATIONS
46 LANDSCAPE NOTES AND SCHEDULES	153-155 PHOTOMETRIC
47-51 LANDSCAPE SCHEDULES	156 LIGHTING
52 OVERALL LANDSCAPE PLAN	
53 PEDESTRIAN CIRCULATION PLAN	
54 HYDROZONE PLAN	
55-61 LANDSCAPE PLAN	

**OWNER APPROVAL**

I, \_\_\_\_\_, AS \_\_\_\_\_ OF VARDE PARTNERS, INC., THE MANAGER OF VP FINDERS HOLDINGS LLC, THE SOLE MEMBER OF UPLANDS LLC, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**VPDF UPLANDS LLC,**  
A DELAWARE LIMITED LIABILITY COMPANY

BY: VP FINDERS 2 HOLDINGS LLC,  
A DELAWARE LIMITED LIABILITY COMPANY,  
ITS SOLE MEMBER

BY: VÄRDE PARTNERS, INC.,  
A DELAWARE CORPORATION, ITS MANAGER

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

ITS: \_\_\_\_\_

**CITY APPROVAL**

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

ATTEST: CITY CLERK \_\_\_\_\_

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MAYOR \_\_\_\_\_

ATTEST: CITY CLERK \_\_\_\_\_

**CLERK AND RECORDER'S CERTIFICATE**

RECEPTION NO. \_\_\_\_\_

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_ O'CLOCK \_\_\_\_M.

ADAMS COUNTY CLERK AND RECORDER \_\_\_\_\_

BY: DEPUTY CLERK \_\_\_\_\_



NORRIS-DESIGN.COM

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

1 OF 156  
COVER

CASE #: PLN24-0042



**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 2 OF 156



**LOTS & COVERAGE**

SURFACE TYPE WITHIN UPLANDS PA-A(3)	AREA (SF)	% OF SITE
BUILDING COVERAGE	134,510	17%
PAVING AND DRIVES (120,590 SF INTERNAL ROW)	281,878	37%
LANDSCAPED AREA	354,538	46%
PUBLICLY ACCESSIBLE PRIVATE PARK*	(42,202)	(5.5%)
NET TOTAL AREA*	771,926	100%
GROSS TOTAL AREA*	880,347	100%

\*GROSS AREA REFERS TO PDP/MODP PLANNING AREA ACREAGES, NET AREA REFERS TO PLATTED BLOCK ACREAGE.

\*LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY-ACCESSIBLE PRIVATE PARK, WHICH IS NOT SEPARATELY INCLUDED IN TOTALS.

**COMPLIANCE WITH MODP STANDARDS:**

	REQUIRED	PROVIDED
BUILDING FORM DIVERSITY REQUIREMENTS	MIN. THREE BUILDING FORM	THREE BUILDING FORMS
PERIMETER SENSITIVITY ZONE	MAX. TWO BUILDING FORMS	ONE BUILDING FORM (PAIRED HOME)
HOME TYPE DIVERSITY (SFA MIN / SFD MAX)	75% / 25%	68% / 32%**
SUBAREA A DIVERSITY*	SFA: 50% MIN - 70% MAX SFD: 30% MIN - 50% MAX	SFA: 73%** SFD: 27%**
SUBAREA B DIVERSITY*	SFA: 80% MIN - 100% MAX SFD: 0% MIN - 20% MAX	SFA: 62%** SFD: 38%**

\*SUBAREA DIVERSITY RANGES TAKEN FROM THE FIRST UPLANDS MODP AMENDMENT, PLN22-0090 APPROVED OCTOBER 2023.

\*\* SEE EXCEPTION INCLUDED ON SHEET 6

**PROJECT / SITE DATA**

GROSS PA-A(3) ODP BOUNDARY AREA:	880,347 SF / 20.21 AC
NET PA-A(3) ODP BOUNDARY AREA:	771,926 SF / 17.72 AC
RESIDENTIAL UNITS PROPOSED:	127 UNITS
GROSS DU PER ACRE:	6.28 DU/AC
NET DU PER ACRE:	7.17 DU/AC
MAXIMUM BUILDING HEIGHT(S) (FT):	40' (IRC)
MINIMUM LOT SIZE:	1,100 SF / 0.03 AC

**PERIMETER SITE SETBACKS**

PA-A(3)	BUILDING	
	REQUIRED	PROVIDED
<b>FROM RIGHT-OF-WAY (FT):</b>		
W. 85TH AVENUE	12	12
W. 86TH AVENUE	12	12
IRVING STREET	12	12
LOWELL BLVD	18	18

**NOTES**

- SETBACKS ARE MEASURED FROM PERIMETER PROPERTY LINE, ROW, OR PLD (WHICHEVER IS APPLICABLE) TO PRIMARY BUILDING.
- ENCROACHMENTS INCLUDING FENCES, WALLS, PEDESTRIAN-ORIENTED PORTIONS OF ROW (SUCH AS TREE LAWN AND WALK), AND ALLEYS ARE PERMITTED WITHIN ALL SETBACKS AS NOTED IN THE CHART ABOVE.
- PORCHES MAY ENCROACH INTO PERIMETER SETBACKS, BUT MUST COMPLY WITH LOT SETBACKS DEFINED ON SHEET 7.

**ACCESSIBLE HOUSING**

PER 2003 COLORADO STATE HOUSE BILL 03-1221, ARTICLE 5, STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 9-5-101 TO 9-5-106, A PROJECT SHALL BE ASSIGNED ACCESSIBILITY POINTS BASED ON THE NUMBER OF UNITS CONTAINED WITHIN THE PROJECT AS FOLLOWS:

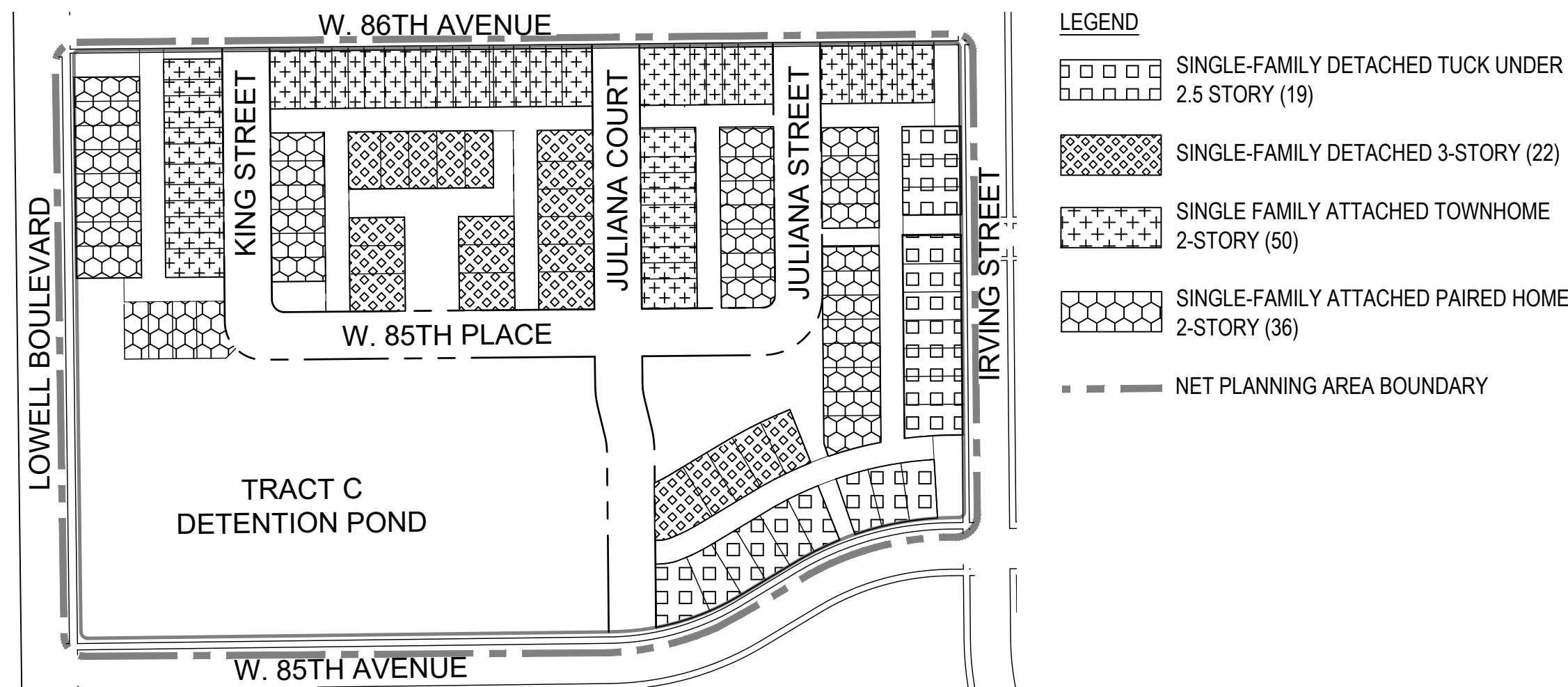
TOTAL # OF UNITS	POINTS REQUIRED	POINTS PROVIDED
50 (TOTAL)	24	28

**ACCESSIBLE UNITS PROVIDED**

UNIT TYPE	# OF UNITS PROVIDED	PER CRS 9-5	
		POINTS / UNITS	TOTAL POINTS
VISITABLE DWELLING UNIT	28	1	28
<b>TOTAL</b>	<b>28</b>	<b>-</b>	<b>28</b>

SEE GRADING PLAN FOR LOCATIONS OF ACCESSIBLE UNITS.

**BUILDING FORM DIVERSITY PLAN**



**OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE**

	TOTAL UNITS IN ODP	DETACHED UNITS IN ODP	ATTACHED UNITS IN ODP	MULTIFAMILY UNITS IN ODP	TOTAL UNITS IN PDP	TOTAL DETACHED UNITS IN PDP # / %	TOTAL ATTACHED UNITS IN PDP # / %	TOTAL MULTIFAMILY UNITS IN PDP # / %
PA-A(1)	78	39	39	0	2350	39/1.66% (12% OF PA-A)	39/1.66% (8% OF PA-A)	0/0.0% (0% OF PA-A)
PA-A(2)	135	25	110	0	2350	25/1.06% (7% OF PA-A)	110/4.68% (23% OF PA-A)	0/0.0% (0% OF PA-A)
<b>PA-A(3)</b>	<b>127</b>	<b>41</b>	<b>86</b>	<b>0</b>	<b>2350</b>	<b>41/1.74% (12% OF PA-A)</b>	<b>86/3.66% (18% OF PA-A)</b>	<b>0/0.0% (0% OF PA-A)</b>
PA-A(4)	125	28	97	0	2350	28/1.19% (8% OF PA-A)	97/4.13% (21% OF PA-A)	0/0.0% (0% OF PA-A)
PA-A(5)	166	93	73	0	2350	93/3.96% (28% OF PA-A)	73/3.11% (15% OF PA-A)	0/0.0% (0% OF PA-A)
PA-A(7)	180	112	68	0	2350	112/4.77% (33% OF PA-A)	68/2.89% (14% OF PA-A)	0/0.0% (0% OF PA-A)
PA-A TOTAL:	811	338	473	0	2350	338/14.38% (100% OF PA-A)	473/20.13% (100% OF PA-A)	0/0.0% (0% OF PA-A)
PA-B(1)	82	38	44	0	2350	38/1.62%	44/1.87%	0/0.0%
PA-B(2)	26	26	0	0	2350	26/1.11%	0/0.0%	0/0.0%
PA-C(1A)	70	0	0	70	2350	0/0.0%	0/0.0%	70/2.98%
PA-C(2)	247	0	0	247	2350	0/0.0%	0/0.0%	247/10.51%
PA-D(1)	94	38	56	0	2350	38/1.62%	56/2.38%	0/0%
<b>OVERALL UPLANDS TOTAL:</b>	<b>1330</b>	<b>440</b>	<b>573</b>	<b>317</b>	<b>2350</b>	<b>440/18.72%</b>	<b>573/24.38%</b>	<b>317/13.49%</b>

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**  
**BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

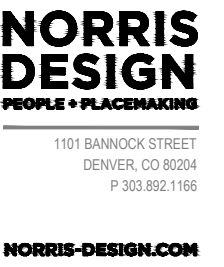
OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 4 OF 156



OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

THE GENERAL INTENT OF THIS ODP IS TO:

- 1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-5-5: OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-15: STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPS.

PROJECT SCOPE:

THE ODP CONTAINS 20.21 GROSS ACRES WITHIN UPLANDS FILING 1, BLOCK 3. PA-A(3) IS BOUNDED BY VACANT LAND WITHIN PA-A TO THE NORTH, EAST, AND SOUTH WITH SINGLE-FAMILY RESIDENCES TO THE WEST ACROSS LOWELL BOULEVARD.

THE ODP PROPOSES A TOTAL OF 41 SINGLE-FAMILY DETACHED (2 STORY TUCKUNDER AND 3-STORY) HOMES AND 86 SINGLE-FAMILY 2-STORY ATTACHED TOWNHOMES AND PAIRED HOMES, FOR A TOTAL OF 127 HOMES. THIS RESULTS IN A GROSS DENSITY OF 6.28 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN LAND USE DESIGNATION OF TMUND.

PERIMETER STREETS ABUTTING PA-A(3) ARE FRONTED BY HOMES TO CREATE ACTIVE AND PEDESTRIAN-FRIENDLY STREETSCAPES. FOR THE PORTION OF PA-A(3) THAT FACES TOWARDS LOWELL BOULEVARD AN ENHANCED LANDSCAPE BUFFER LOCATED IN FRONT OF THE UNITS IS PROVIDED WITHIN THE LARGER 18' SETBACK. OVERALL, THE PROPOSED HOMES IN THIS NEIGHBORHOOD MEET THE REQUIREMENTS OF THE PERIMETER SENSITIVITY ZONE WHILE MAINTAINING REQUIRED DENSITY THROUGHOUT PA-A(3). THE USE OF TUCK UNDERS AND WALKOUTS COMPLEMENT THE NATURAL TOPOGRAPHY OF THE SITE AND ALLOW FOR POSITIVE DRAINAGE TO OCCUR THROUGHOUT THE SITE. WHERE HOMES ARE NOT FRONTING ONTO PUBLIC STREETS, THE HOMES ARE ORGANIZED AROUND COMMON OPEN SPACE.

THE PROPOSED HOMES CONSIST OF A VARIETY OF 2- AND 3-STORY STRUCTURES:

- SINGLE-FAMILY DETACHED: 3-STORY
- SINGLE-FAMILY DETACHED TUCKUNDER: 2-STORY FRONT, 3-STORY REAR
- SINGLE-FAMILY ATTACHED PAIRED: 2-STORY
- SINGLE-FAMILY ATTACHED TOWNHOMES: 2-STORY

ALL THE PROPOSED HOMES OFFER AN ATTACHED 2-CAR GARAGE. ADDITIONAL PARKING IS PROVIDED ON-STREET ON THE ADJACENT INTERNAL STREETS INCLUDING 86TH AVENUE, IRVING STREET, 85TH AVENUE, AND DISPERSED IN OFF-STREET PARKING SPACES. ADDITIONAL ON-STREET PARKING IS LOCATED ON LOWELL BOULEVARD.

THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TMUND DESIGN GUIDELINES IN THE OVERALL RESIDENTIAL DESIGN. IN ORDER TO FULLY INTEGRATE TMUND PRINCIPLES, THERE ARE AREAS WHERE THIS SITE PLAN VARIES FROM THE QUANTITATIVE REQUIREMENTS IN RELEVANT CITY STANDARDS AND THE MASTER OFFICIAL DEVELOPMENT PLAN FOR THIS PROPERTY. PLEASE REFER TO ODP EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS ODP TO SEE SPECIFIC INSTANCES WHERE THESE PRINCIPLES DIFFER. IN GENERAL, THESE EXCEPTIONS ENSURE THAT THIS COMMUNITY CONTRIBUTES TO THE VIBRANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS NEIGHBORHOOD INCLUDES HOMES THAT TARGET A RANGE OF HOMEBUYERS, FROM ENTRY-LEVEL ATTACHED HOMES TO PAIRED AND DETACHED HOMES. THIS IS A GOAL NOT ONLY OF TMUND, BUT OF RECENT CITY PLANS AND VISIONS AS WELL.

THE OVERALL LAYOUT OF RESIDENTIAL LOTS WITHIN THIS NEIGHBORHOOD ALLOWS FOR HOMES TO FRONT ON TO STREETS AND PROVIDES AN ENGAGED FRONT PORCH EXPERIENCE. A RESULT OF THIS LAYOUT IS SMALLER FRONT YARD AREAS. SMALLER FRONT YARDS ARE BENEFICIAL, AS THEY REDUCE MAINTENANCE REQUIREMENTS FOR INDIVIDUAL HOMEOWNERS AND CRUCIALLY REDUCE POTENTIAL WATER USE IN FRONT YARDS WHEN COMPARED TO TRADITIONAL RESIDENTIAL DEVELOPMENT. REDUCED FRONT YARD SPACE ALLOWS FOR AMPLE PUBLIC PARK SPACE TO BE PROVIDED THROUGHOUT THE NEIGHBORHOOD FACILITATING A MORE COMMUNAL AND ACTIVE OPEN SPACE WITHIN THE NEIGHBORHOOD. PUBLICLY ACCESSIBLE PRIVATE PARKS ARE PROVIDED WITHIN THIS PLANNING AREA. THESE SPACES HAVE BEEN THOUGHTFULLY PLACED TO OFFER THE GREATEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THESE PARKS, ALONG WITH THE OTHER PARKS FOUND THROUGHOUT PARCEL A, ESTABLISH A RECOGNIZABLE IDENTITY TO THE COMMUNITY, WITH VARIED FOCUSES & THEMES BEING EXPLORED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER AMENITIES EXHIBIT SUBMITTED WITH THIS ODP FOR MORE DETAIL ON PARK PROGRAMMING ACROSS UPLANDS.

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL ALL STREET NAME SIGNS. DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS, EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.

STANDARD STATEMENTS, CONT.

- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS, A MINIMUM OF 76,000 LBS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.
- V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.
- W. THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLIES WITH CRS 9-5 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 656 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN THAT AMOUNT OR 13% OF THE ALLOWED UNITS.
- X. PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE ADA REGULATIONS.

UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

4 OF 156  
NOTES



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 5 OF 156



**EXCEPTIONS AND JUSTIFICATIONS**

THE FOLLOWING TEXT LISTS THE EXCEPTIONS IN UPLANDS FILING NO. 1 - BLOCK 3. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE, UPLANDS MODP AND LANDSCAPE REGULATIONS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE PUD ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO UPDATE THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER; THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. THIS PROPOSED ODP AND RELATED EXCEPTIONS HELP FURTHER THE TRADITIONAL MIXED USE NEIGHBORHOOD DEVELOPMENT PRINCIPLES, INCLUDING CREATING A COMPACT WALKABLE DEVELOPMENT THROUGH AN INTERCONNECTED STREET/BLOCK PATTERN WITH NARROWER STREETS. SUPPORTING DOCUMENTS INCLUDE:

- **2013 COMPREHENSIVE PLAN** - THE PLAN INCLUDES A NUMBER OF GUIDING PRINCIPLES THAT SUPPORT COMMUNITIES WITH A BALANCED MIX OF HOUSING OPPORTUNITIES THAT MAINTAIN DIVERSE HOUSING SUPPLY IN AN ACTIVE, WALKABLE ENVIRONMENT. THE UPLANDS PDP CONSISTED OF AN ITERATIVE, MULTI-YEAR DESIGN PROCESS THAT RESULTED IN THE ACCEPTED PDP ZONE DISTRICT THAT GOVERNS THIS PLANNING AREA. THE 2013 COMPREHENSIVE PLAN WAS A FOUNDATIONAL GUIDING DOCUMENT FOR MUCH OF THE PDP PROCESS AND SOME OF THOSE GUIDING PRINCIPLES, WHILE NOT IN CONFLICT WITH THE 2040 COMPREHENSIVE PLAN, REMAIN AS GUIDING PRINCIPLES FOR THE PDP AND ITS PLANNING AREAS.
- **2040 COMPREHENSIVE PLAN** - THIS PLAN INCLUDES A CORNERSTONE FOCUSED ON PROVIDING A BALANCED MIX OF HOUSING OPPORTUNITIES FOR A RANGE OF INCOMES, AGE GROUPS, AND LIFESTYLE CHOICES. IT GOES ON TO ENCOURAGE SUSTAINABLE DESIGN PRACTICES AND TO CONTINUE PROVIDING A VARIETY OF NEIGHBORHOOD TYPES WITH A DIVERSITY OF HOUSING CHOICES TO SERVE A RANGE OF HOUSEHOLD SIZES, COMPOSITIONS AND NEEDS.
- **2023 HOUSING NEEDS ASSESSMENT** - THIS STUDY INCLUDES RECOMMENDATIONS TO ENCOURAGE "MISSING MIDDLE" AND ALTERNATIVE HOUSING EXPANSION, WHICH INCLUDES ENCOURAGING TOWNHOMES AND PAIRED HOMES AS PART OF THE HOUSING MIX; ADDITIONALLY THE STUDY NOTES THAT MORE FLEXIBLE SITE DESIGN STANDARDS (SPECIFICALLY RELATED TO PARKING AND SETBACKS) WOULD LIKELY ENCOURAGE DEVELOPMENT; BUILDING SMALLER HOMES ON SMALLER LOTS CREATES AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE THEREBY LOWERING THE OVERALL COST; AND ENABLING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.
- **WESTMINSTER MUNICIPAL CODE (WMC)** - THE SITE IS ZONED PUD; PER CODE, THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE, TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL STANDARD ZONING REGULATIONS.
- **PRELIMINARY DEVELOPMENT PLAN (PDP)** - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES.
- **MASTER OFFICIAL DEVELOPMENT PLAN (MODP)** - THE VILLAGE RESIDENTIAL NEIGHBORHOOD WITHIN UPLANDS IS DESCRIBED IN THE MODP AS A MIX OF ALLEY LOADED SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL HOMES ORGANIZED IN A TRADITIONAL GRID FORMAT.

**OFF-STREET PARKING:**

AN EXCEPTION TO WMC 11-7-4(B)(2)

**STANDARD:** SFD DRIVEWAY PARKING (2 SPACES/UNIT) = 82 SPACES  
 SFA GUEST PARKING (1 SPACE/3 UNITS) = 29 SPACES

**EXCEPTION:** UPLANDS A(3) PROVIDES 41 SINGLE-FAMILY DETACHED HOMES AND 86 SINGLE-FAMILY ATTACHED TOWNHOMES AND PAIRED HOMES. ALL HOME TYPES FEATURE A 2 CAR GARAGE. UPLANDS A(3) HOMES DO NOT OFFER DRIVEWAY SPACES. 259 PARKING SPACES ARE PROVIDED THROUGH OFF-STREET ENCLOSED GARAGE SPACES, 5 PARKING SPACES ARE PROVIDED VIA OFF-STREET SURFACE PARKING

SPACES AND 185 PARKING SPACES ARE PROVIDED VIA INTERNAL ON-STREET PARALLEL SPACES, FOR A TOTAL OF 444 PARKING SPACES. 365 PARKING SPACES ARE REQUIRED TO BE PROVIDED. THE WMC REQUIRES 82 DRIVEWAY PARKING SPACES FOR SINGLE FAMILY DETACHED DWELLING UNITS AND 29 GUEST PARKING SPACES FOR SINGLE FAMILY ATTACHED UNITS. UPLANDS EXCEEDS THE REQUIRED NUMBER OF SPACES BY PROVIDING A COMBINATION OF OFF-STREET GARAGE SPACES, OFF-STREET SURFACE SPACES AND ON-STREET (INTERNAL LOCAL ROADS) PARALLEL SPACES.

**JUSTIFICATION:** PA-A(3) LAYOUT DOES NOT PROVIDE DRIVEWAYS, THUS THE REQUEST FOR AN EXCEPTION TO DRIVEWAY PARKING AS REQUIRED BY CODE. WITHOUT TRADITIONAL DRIVEWAY PARKING TO CONTRIBUTE TO PARKING TOTALS, THE TOTAL ON-LOT SPACES PROVIDED IS LOWER THAN CODE REQUIRES. WHILE DRIVEWAYS ARE NOT PROVIDED, THE PROPOSED LAYOUT ADDRESSES THIS POTENTIAL DEFICIT IN PARKING BY PROVIDING SUPPLEMENTAL PARKING THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS). AS ALL UNITS ARE ALLEY-LOADED AND DIRECTLY FRONTING THE STREET, PEDESTRIAN CONNECTIVITY IS IMPROVED THROUGH INCREASED CONNECTION TO PUBLIC STREETS AND SIDEWALKS THEREFORE ENHANCING PEDESTRIAN MOBILITY THROUGHOUT THE PLANNING AREA. OVERALL PARKING NUMBERS PROVIDED ARE SUPPORTIVE OF THE NEIGHBORHOOD.

**2013 COMP PLAN:** THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASE HOUSING DIVERSITY.

**2040 COMP PLAN:** THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND PROVIDES OPPORTUNITIES FOR A RANGE OF HOUSING TYPES AND AFFORDABILITY TO ACCOMMODATE ALL INCOMES, LIFESTYLE AND AGE GROUPS WITHIN THE CITY (LU-G-7). FURTHER, THE PROPOSED USE OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS) TO PROVIDE PARKING FOR THE PROPOSED TOWNHOMES COMPLIES WITH TABLE 3-5 OF THE URBAN MULTI-FAMILY DEVELOPMENT STANDARDS FOR TOWNHOMES WHICH INCLUDES "TUCK UNDER PARKING, WITH SOME ON-STREET OR SURFACE PARKING" AS A DEVELOPMENT CHARACTERISTIC, FORM AND GUIDELINE FOR TOWNHOMES.

**WMC:** THE PROPOSED PARKING SOLUTION ENCOURAGES 'ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING' (11-7-4(D)); PROVIDES FOR 'DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN' (11-4-7(B)) THROUGH THE USE OF ALLEY-LOADED HOMES ON SMALLER LOTS AND ON-STREET PARKING THAT ADDS NATURAL FRICTION TO THE STREET TO SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS. THE PROPOSED ALLEY-LOADED DESIGN IS CONSISTENT WITH A NEO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY RATHER THAN A STANDARD SUBURBAN NEIGHBORHOOD. WMC CODE (11-7-4(B)(2)(A)(I)) SPECIFICALLY NOTES PARKING MAY BE REDUCED FOR THIS TYPE OF NEIGHBORHOOD UPON A FINDING THAT LESS PARKING IS NEEDED BASED UPON THE DESIGN OF THE DEVELOPMENT.

**MODP:** THE EXCEPTION ALIGNS WITH THE MODP, WHICH NOTES ON-STREET PARALLEL PARKING, SHOULD BE PROVIDED THROUGHOUT THE COMMUNITY TO HELP SLOW TRAFFIC. THE MODP FURTHER NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THESE TWO DESIGN CONCEPTS INFLUENCE THE DESIGN AWAY FROM HOMES WITH TRADITIONAL DRIVEWAYS AND FRONT YARDS.

**TMUND:** THIS EXCEPTION ALIGNS WITH THE TMUND DESIGN GUIDELINES BY SLOWING TRAFFIC - THE INCLUSION OF ON-STREET PARKING ADDS NATURAL FRICTION TO THE STREET, WHICH HELPS SLOW TRAFFIC AND ENCOURAGES MORE PEDESTRIAN MOVEMENTS.

**ROOF DESIGN:**

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

**STANDARD:** SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED BUILDING FORMS SHALL PROVIDE ROOF PITCHES OF 5 IN 12 OR GREATER.

**EXCEPTION:** UPLANDS PROVIDES A MINIMUM ROOF PITCH OF 4 IN 12 FOR MINOR ROOFS ON ALL HOMES (THE 5 IN 12 MINIMUM IS MET ON ALL MAIN ROOFS).

**JUSTIFICATION:** THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY DETACHED AND ATTACHED BUILDING FORMS WITH A ROOF PITCH LESS THAN 5 IN 12. THIS LOWER ROOF PITCH ACCOMMODATES EGRESS WINDOW REQUIREMENTS ABOVE THE PORCHES, IN ADDITION TO HELPING CREATE A MORE DIVERSE STREETScape. MANY OF THESE SECONDARY ROOFS WILL BE LESS THAN 5 IN 12.

**WMC:** THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY...OVERALL DESIGN' (11-4-7(B)) THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS.

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

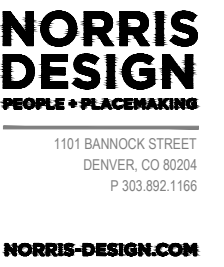
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**5 OF 156  
 EXCEPTIONS**

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 6 OF 156



**EXCEPTIONS AND JUSTIFICATIONS, CONT.**

**LOT SIZE:**

AN EXCEPTION TO MODP BUILDING FORM CHARACTERISTICS TABLES (SFD AND SFA TOWNHOME, SHEETS 17 & 18 OF 43)

**STANDARDS:** BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE BELOW.

**EXCEPTION:** THIS EXCEPTION APPLIES TO THE NOTED INTERNAL ON-LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW. WHERE REQUIREMENTS HAVE NOT BEEN MET, THE MINIMUM PROVIDED IS BOLDED AND DOUBLE-OUTLINED.

**JUSTIFICATION (LOT SIZE & SETBACKS):** ALL PERIMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UPLANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION.

**JUSTIFICATION (PRIVATE YARD AREA):** IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UPLANDS PROVIDES A MIX OF PORCHES/PATIOS, DECKS AND SIDE/FRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION.

**2013 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY, PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERIMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE, ALLOWING FOR LARGE ADJACENT PUBLIC LAND DEDICATION WITHIN PARCEL A. THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD THE PROPOSED HOMES AND ALLOW FOR LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

**2040 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL LU-6 WHICH "ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN". LU-6 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED HOMES, REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR

HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE, DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN. SPECIFICALLY, CRITERIA 4 ASKS IF "THE PROPOSED DEVELOPMENT PROVIDE[S] APPROPRIATE TRANSITIONS BETWEEN USES?" WHICH THIS PROPOSAL INTENTIONALLY DOES PROVIDE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERIMETER SETBACKS FURTHER IS SUPPORTED BY GOAL HN-2 OF THE COMPREHENSIVE PLAN.

**WMC:** THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR 'DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN' THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES). THE REDUCED SETBACKS 'ENCOURAGE HIGHER QUALITY DEVELOPMENT' BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES AND VARIETY OF PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

**2023 HOUSING NEEDS ASSESSMENT AND OTHER:** THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2023 HOUSING NEEDS ASSESSMENT IDENTIFIED THAT HOUSING IS CONTINUING TO BE MORE UNATTAINABLE FOR POTENTIAL HOMEOWNERS. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW 'MISSING MIDDLE' HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE CONSTRUCTION OF "MISSING MIDDLE" HOUSING, PROVIDE A VARIETY OF HOUSING TYPES (INCLUDING TOWNHOME AND PAIRED HOME UNITS), AND ALLOW FOR MORE FLEXIBLE DESIGN STANDARDS, INCLUDING PARKING AND SETBACKS.

**TMUND:** THIS EXCEPTION ALIGNS WITH TMUND BY MINIMIZING GARAGE VISIBILITY; ENCOURAGING CONSISTENT STREET FRONTAGES; CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BIKE AND PEDESTRIAN- SAFETY AND STREET ACTIVATION; AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES, INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN TMUND.

**MODP:** THIS EXCEPTION ALIGNS WITH THE MODP BY PROVIDING HOME AND LOT DESIGNS THAT ENHANCE THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS, INCLUDING AT-GRADE OR RAISED PORCHES/PATIOS, BUILDING ENTRIES, BALCONIES AND STOOPS; AND MINIMIZING VIEWS OF THE GARAGE FROM THE STREET. FURTHER, THE MODP NOTES FRONT SETBACKS SHOULD BE STUDIED AT SITE SPECIFIC ODP TO FORM PEDESTRIAN FRIENDLY STREETS CAPES.

**AMENDMENT TO MODP REQUIREMENTS:**

AN EXCEPTION TO MODP HOME TYPE DIVERSITY REQUIREMENT BY PLANNING AREA CHART (SHEET 10).

**STANDARDS:** THE MASTER ODP REQUIRES THAT PA-A(3) CONSIST OF A MINIMUM OF 75% SINGLE-FAMILY ATTACHED AND A MAXIMUM OF 25% SINGLE-FAMILY DETACHED HOME TYPES.

**EXCEPTION:** PA-A(3) CONSISTS OF A MINIMUM OF 65% SINGLE-FAMILY ATTACHED HOMES AND A MAXIMUM OF 35% SINGLE-FAMILY DETACHED HOMES. SEE AMENDED MODP TABLE BELOW.

**JUSTIFICATION:** THIS EXCEPTION ALLOWS FOR, WITHIN PA-A(3), THE MINIMUM % OF SINGLE-FAMILY ATTACHED HOMES TO BE 65%, LESS THAN THE ORIGINAL ALLOWED OF 75%, AND ALLOWS FOR THE MAXIMUM % OF SINGLE-FAMILY DETACHED HOMES TO BE 35%, LARGER THAN THE ORIGINAL ALLOWED 25%. THIS CHANGE IN PERCENTAGES ALLOWED VERSUS WHAT IS PROVIDED IS THE DIFFERENCE OF 9 UNITS, MEANING THERE ARE 9 MORE SINGLE-FAMILY DETACHED HOMES AND THAN PREVIOUSLY ALLOWED OR COULD BE VIEWED AS 9 LESS SINGLE-FAMILY ATTACHED HOMES THAN PREVIOUSLY ALLOWED. THIS DIFFERENCE IN NUMBER OF SINGLE-FAMILY ATTACHED AND DETACHED HOMES COMES FROM DESIGN CONSIDERATIONS NEEDED FOR PA-A(3). IN PARTICULAR, GRADING FOR THE SITE NECESSITATED THE USE OF SINGLE-FAMILY TUCKUNDER HOMES TO FACILITATE CHANGES OF GRADE ACROSS THE SITE AND WAS NECESSARY TO CREATE POSITIVE DRAINAGE WITHIN PA-A(3) AND THE LARGER PARCEL A. THE SITE LAYOUT PROPOSED ALSO COMPLIES WITH THE INTENT OF THE MODP BLOCK TYPICALS WHICH CALL FOR DIFFERENT BUILDING FORMS WITHIN A GIVEN BLOCK IN AN INDIVIDUAL PLANNING AREA. TO PROVIDE DIVERSITY WITHIN EACH BLOCK AS WELL AS THE OVERALL PA-A(3), THE AMOUNT OF SINGLE-FAMILY DETACHED WAS PROVIDED AT 35%. THE SITE LAYOUT PROVIDES A GOOD MIX OF HOUSING TYPES, KEEPING IN LINE WITH THE INTENT OF THE MODP TO PROVIDE HOME TYPE DIVERSITY. HOME TYPE DIVERSITY IS STILL MAINTAINED ACROSS THE SITE WITH THE PROPOSED LAYOUT AND THE INTENT OF THE MODP IS STILL MET.

**HOME TYPE DIVERSITY REQUIREMENTS BY PLANNING AREA:**

PLANNING AREA	MINIMUM % MULTI-FAMILY	MINIMUM % SINGLE-FAMILY ATTACHED	MAXIMUM % SINGLE-FAMILY DETACHED
PA-A(1)	N/A	30%	70%
PA-A(2)	N/A	65%	35%
PA-A(3)	N/A	65%	35%
PA-A(4)	N/A	60%	40%
PA-A(5)	N/A	25%	75%
PA-A(6)	N/A	0%	60%
PA-A(7)	N/A	0%	100%
PA-A(8)	45%	0%	0%
<b>OVERALL PARCEL A</b>	17%	30%	70%

	MAX. HEIGHT	MAX. STORIES	MIN. LOT SIZE	MIN. LOT DEPTH	MIN. LOT WIDTH	MIN. FRONT SETBACK TO MAIN STRUCTURE	MIN. SIDE SETBACK, INTERIOR LOT	MIN. SIDE SETBACK, CORNER LOT	MIN. REAR SETBACK	MIN. REAR YARD SPACE	MIN. REAR DECK DIMENSIONS
<b>SINGLE-FAMILY DETACHED (2.5- AND 3-STORY SFD) HOME</b>											
<b>UPLANDS MASTER ODP</b>	40'	3	-	90'	20'	14'	7'	14'	5'	20' X 20'	-
<b>UPLANDS FILING 1, BLOCK 3 ODP</b>	40'	3	-	<b>67'</b>	25'	<b>12'</b>	<b>5'</b>	<b>10'</b>	<b>3'</b>	<b>0 SF*</b>	-
<b>SINGLE-FAMILY ATTACHED (TOWNHOME) HOME</b>											
<b>UPLANDS MASTER ODP</b>	40'	3	-	80' W/ ATTACHED GARAGE	16'	12'	0'	8'	5'	15' MIN. DEPTH	8' X 15^A
<b>UPLANDS FILING 1, BLOCK 3 ODP</b>	40'	2	-	<b>69'</b>	20'	12'	0'	10'	<b>3'</b>	<b>0 SF*</b>	<b>0 SF*</b>

\*A MINIMUM OF 401 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFD HOMES.

\*A MINIMUM OF 140 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA TOWNHOMES.

^ 120 SF CLEAR IS PROVIDED IN LIEU OF THE 8' X 15' DECK

**UPLANDS**

DATE: 10.10.2024

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 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

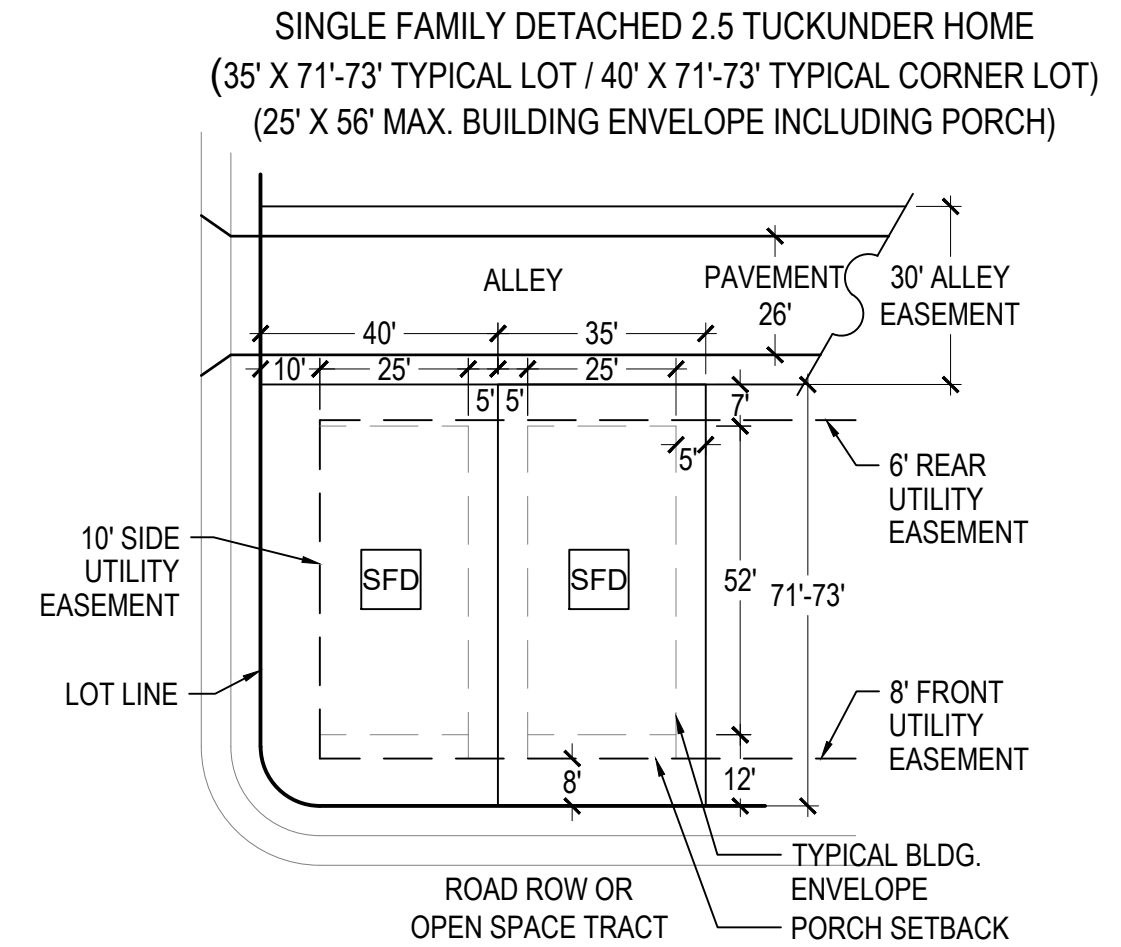
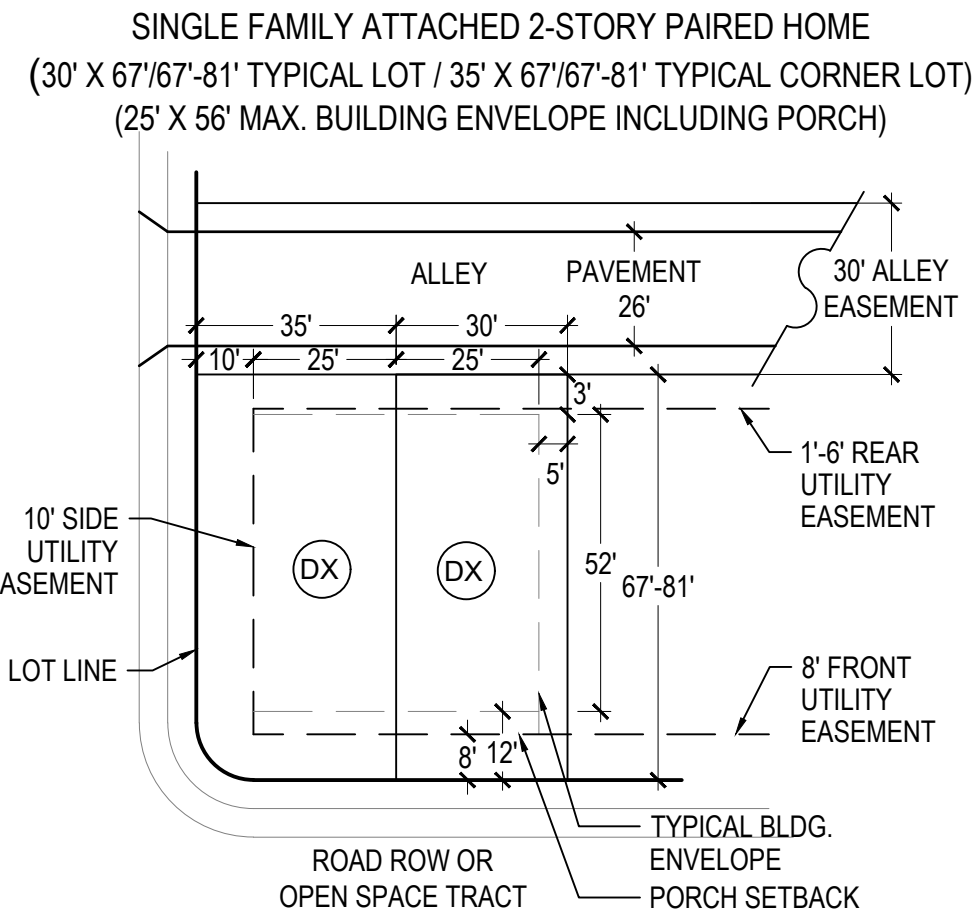
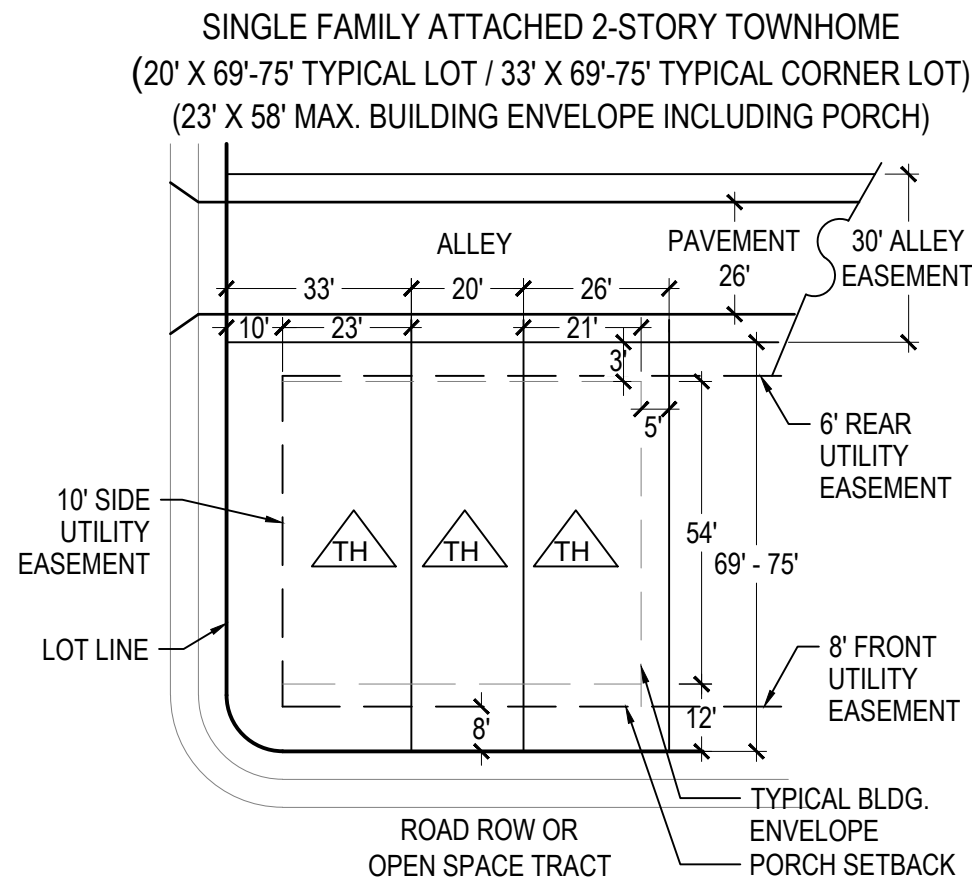
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08.08.2024  
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 7 OF 156



**LOT TYPICALS**



**LOT SETBACKS**

SINGLE FAMILY ATTACHED TOWNHOME		
	SFA MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	6'-12'	12'
FRONT TO PORCH:		8'
SIDE (INTERNAL)	0'	0/5'
SIDE (CORNER)		
SIDE (ABUTTING LOCAL STREET):	8'	10'
REAR:	5'	3' (4)

SINGLE FAMILY ATTACHED PAIRED HOME		
	SFA MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	10'	12'
FRONT TO PORCH:	5'	8'
SIDE (INTERNAL)	5' (10' B/T STRUCTURES)	0/5'
SIDE (CORNER)		
SIDE (ABUTTING LOCAL STREET):	10'	10'
REAR:	1'	3'

SINGLE FAMILY DETACHED (SFD) HOME		
	SFD MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	14'	12' (4)
FRONT TO PORCH:	6'	8'
SIDE (INTERNAL):	7'	5' (4)
SIDE (CORNER):		
SIDE (ABUTTING LOCAL STREET):	14'	10' (4)
REAR:	5'	3' (4)
REAR UPPER STORY	-	15**

**MAINTENANCE**

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

**HOMEOWNER MAINTENANCE:**

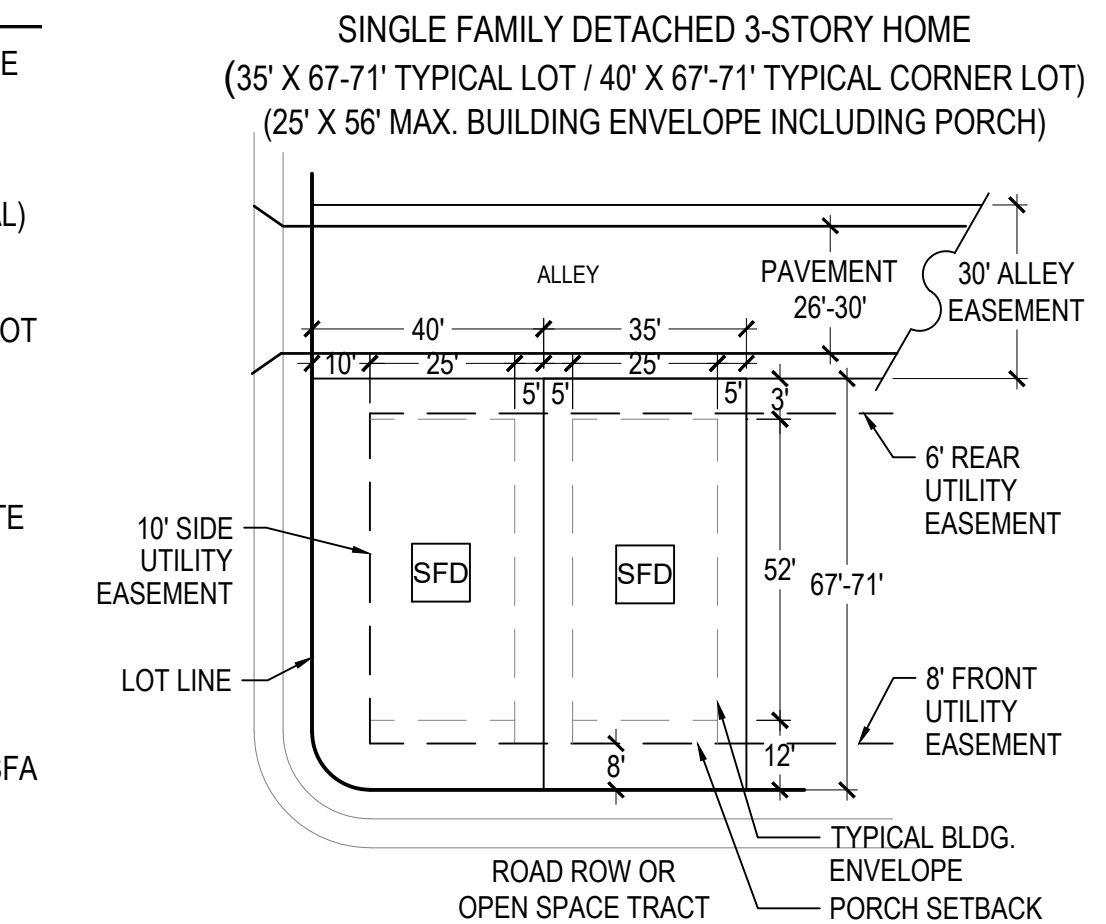
- DRIVEWAYS
- PORCHES, PATIOS & STEPS (INCLUDING SNOW REMOVAL)
- ON-LOT LEADER WALK TO COMMON SIDEWALK (INCLUDING SNOW REMOVAL)
- ON-LOT FENCES (SFD ONLY)
- ON-LOT LANDSCAPE AND IRRIGATION
- SIDE YARDS INSIDE PRIVATE FENCED AREA

**HOA MAINTENANCE:**

- ALLEYS (INCLUDING SNOW REMOVAL)
- COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS. COMMON SIDEWALKS MAY ALSO OCCUR ON-LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT) (INCLUDING SNOW REMOVAL)
- ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
- HOA-OWNED LANDSCAPE TRACTS/OUTLOTS
- OFF-SITE DETENTION POND
- RETAINING WALLS
- FENCING (INCLUDING ON-LOT FOR SFA ONLY)
- TREE LAWNS
- TRASH PICK-UP

**PROPOSED SETBACKS NOTES**

- (1) ALL SETBACKS SHOWN ARE MINIMUMS.
- (2) SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION.
- (3) CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW WELLS, OVERHANGS, OR SIMILAR ARCHITECTURE FEATURES MAY ENCROACH INTO A SETBACK A MAXIMUM OF 2 FT.
- (4) SEE EXCEPTIONS SHEETS 5-6.
- (5) SEE DETAILED LOT TYPICALS FOR EACH FLOOR PLAN, STARTING ON SHEET 90.



\*REAR UPPER STORY SETBACK IS APPLIED TO LOTS 73-77, LOTS 105-113, AND LOTS 114-121, ALL OF WHICH FEATURE BUILDINGS 30 FEET OR GREATER IN HEIGHT. TYPICAL ALLEY SECTIONS ARE PROVIDED WITH THIS ODP THAT DETAIL BUILDING SETBACKS (BUILDING TO PROPERTY LINE) AND FIRE SETBACKS (BUILDING TO PAVEMENT EDGE) TO BE USED FOR ALLEYS ADJACENT TO THE LOTS LISTED ABOVE. TYPICAL ALLEY SECTIONS ARE MORE LOCATION SPECIFIC THAN THE PROPOSED MINIMUM SETBACK TABLES AS THEY PROVIDE DIMENSIONS FOR BUILDINGS TO PAVEMENT LOCATION WHICH VARIES DEPENDING ON THE LOCATION OF THE ALLEY (ALLEY LOCATION DOES NOT IMPACT LOT DEPTH, THUS MINIMUM SETBACKS ARE MAINTAINED) AND PROVIDES INFORMATION SPECIFIC TO FIRE REQUIREMENTS.

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

**WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

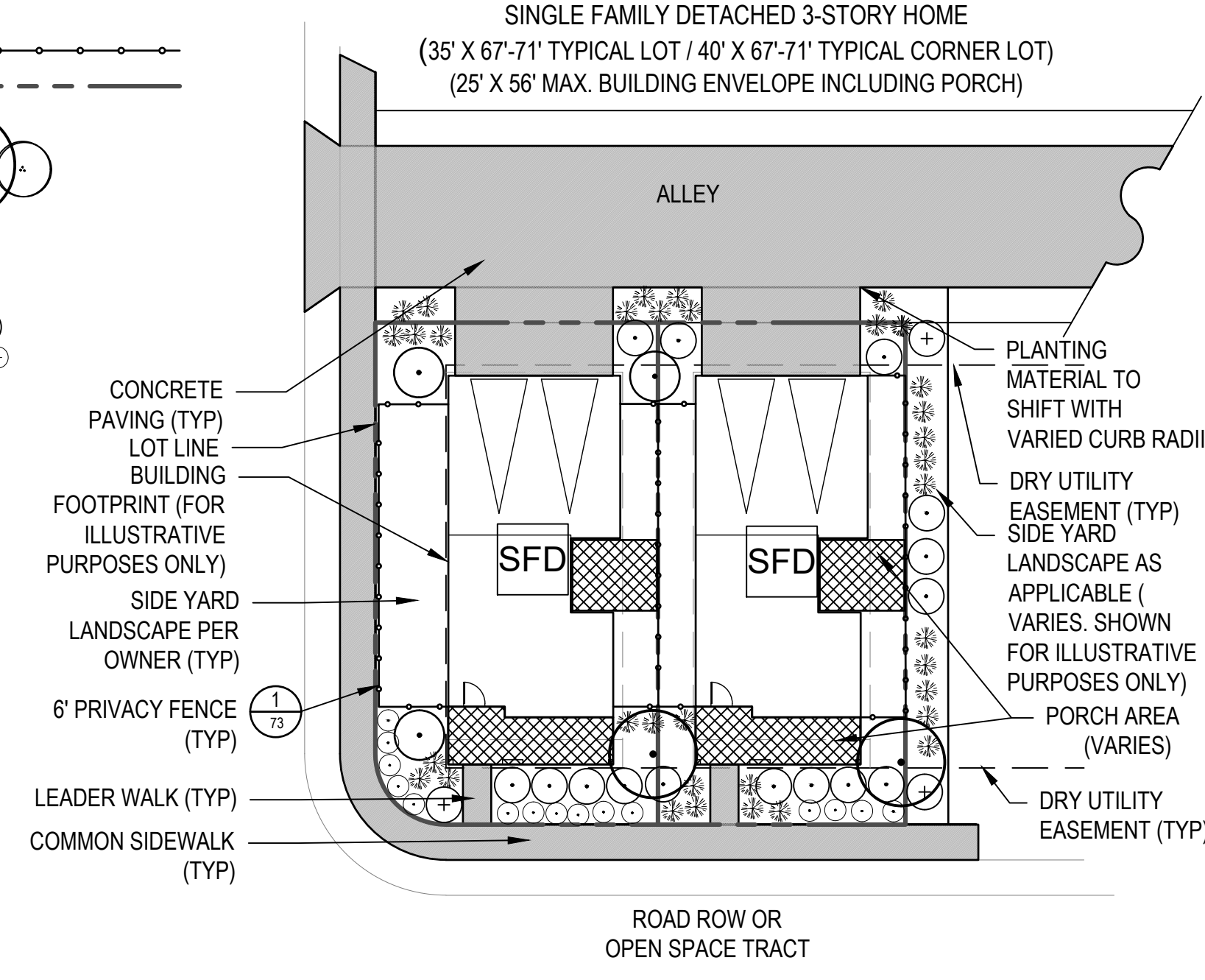
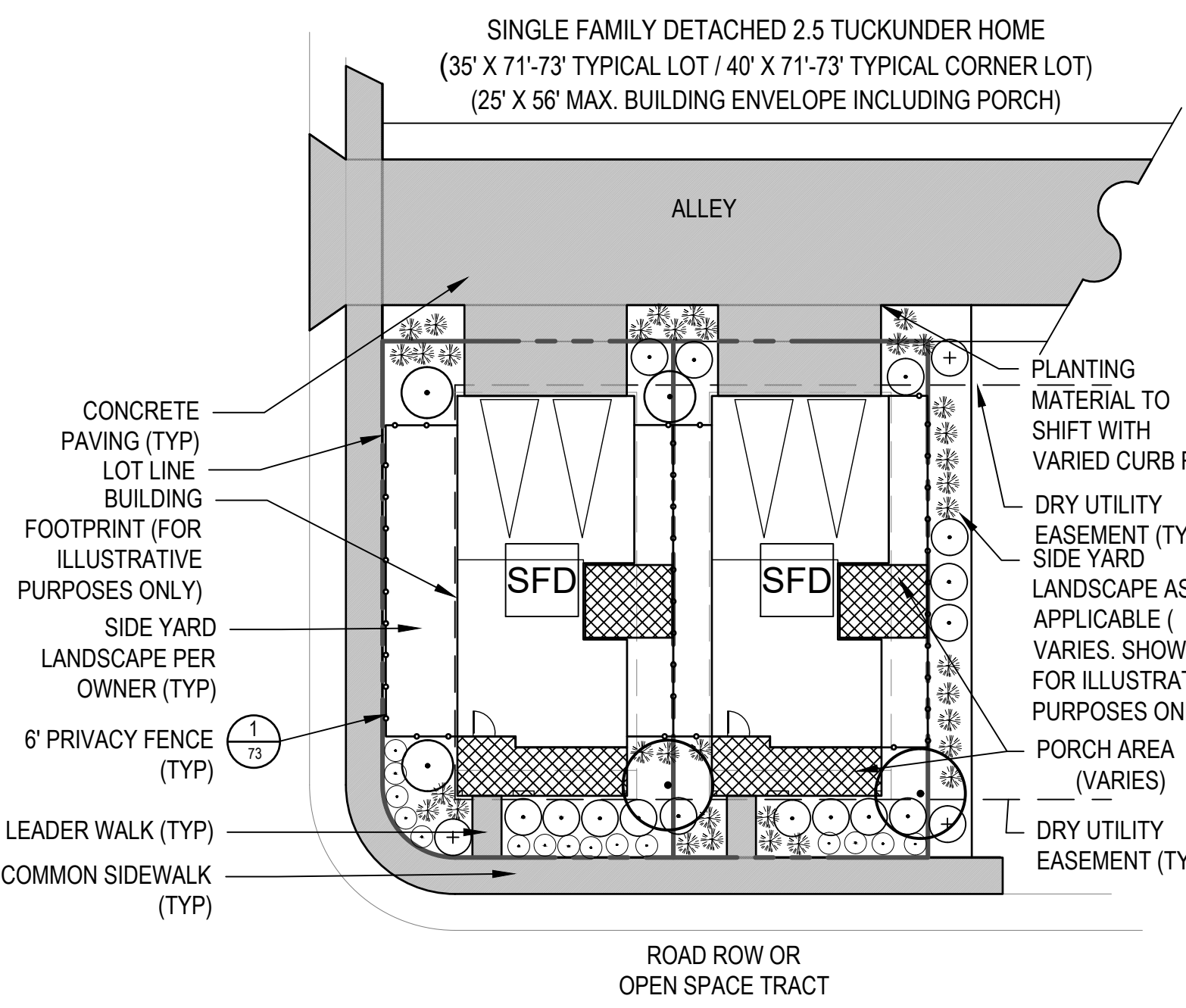
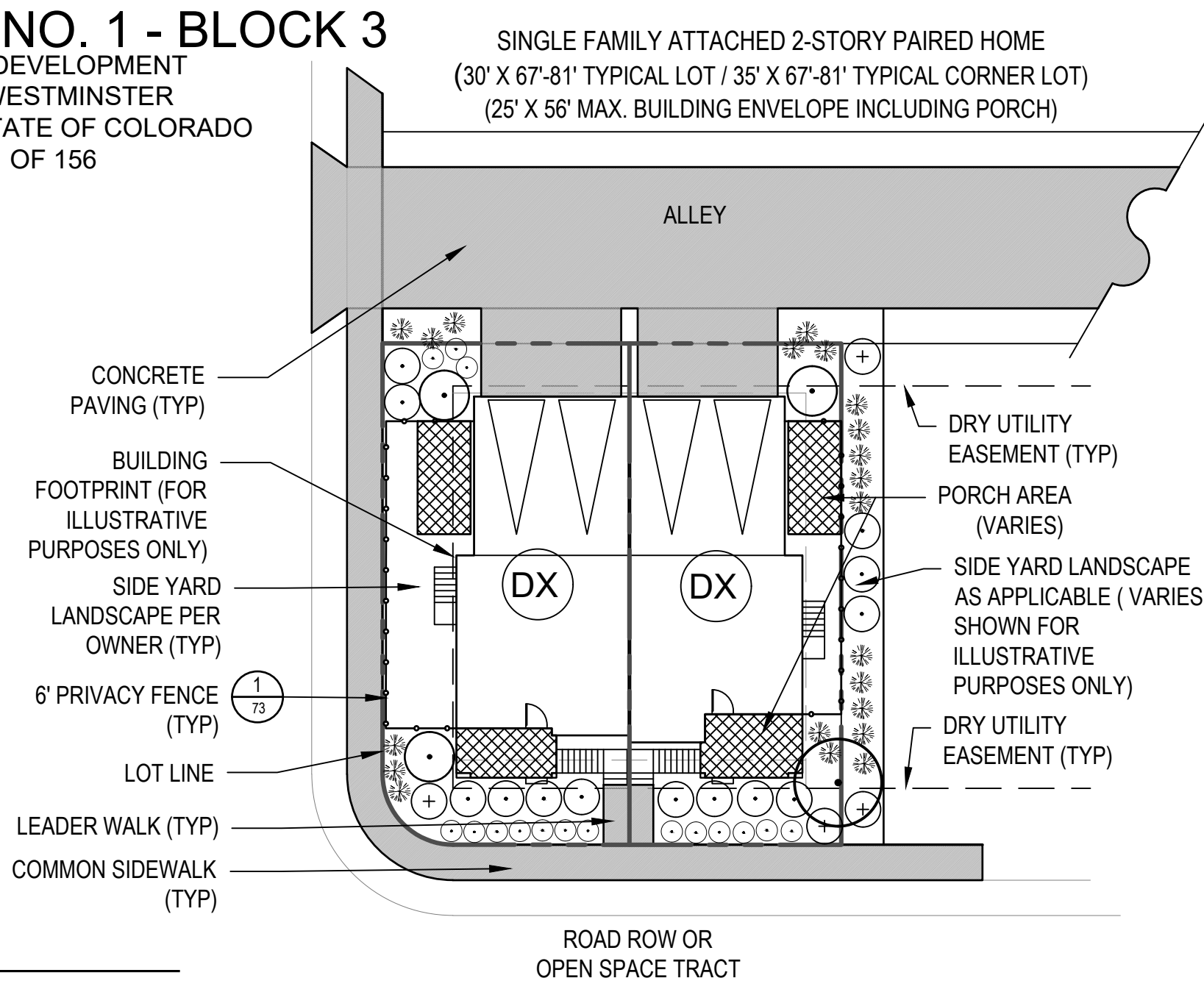
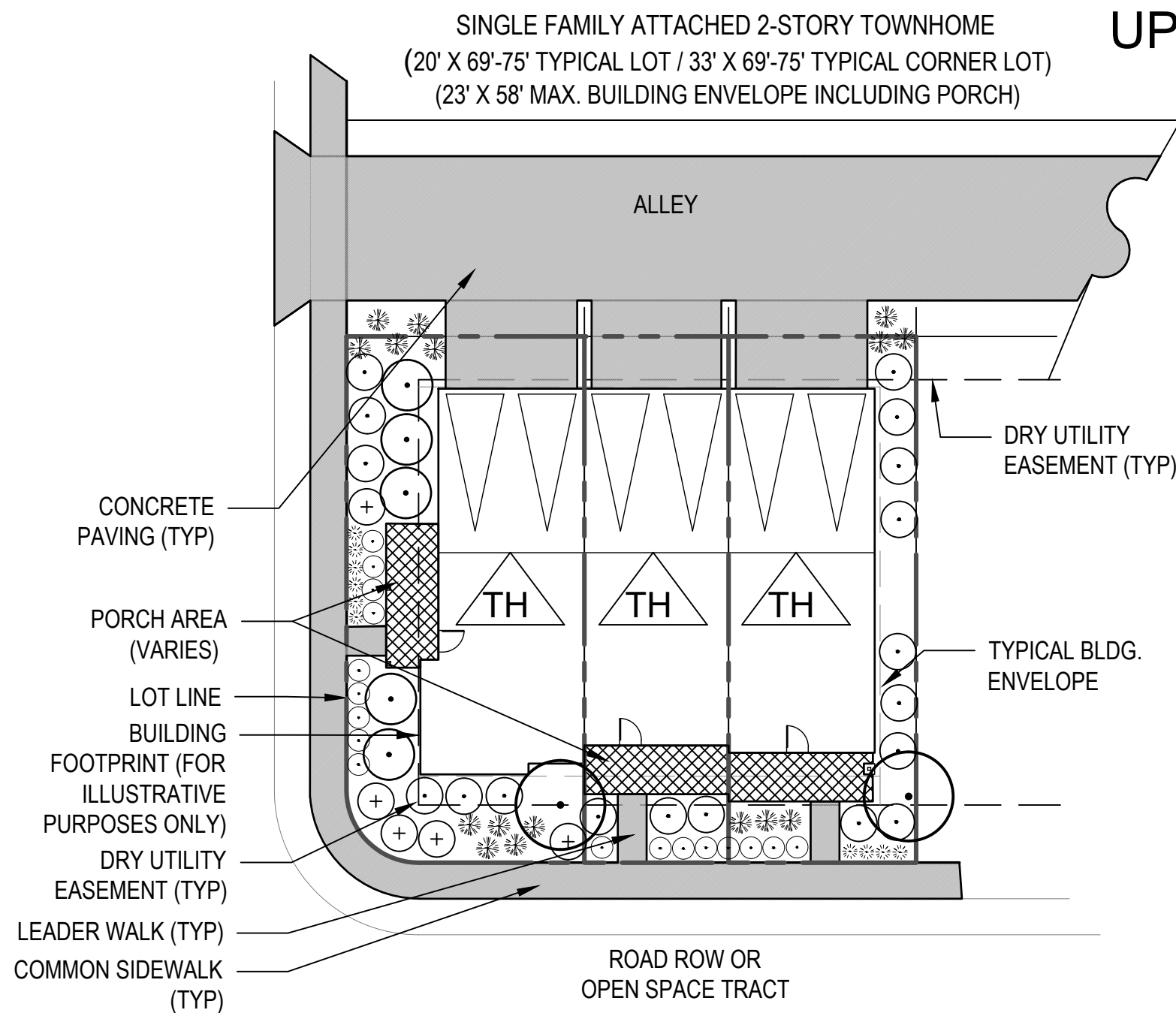
REVISIONS

08.08.2024  
10.10.2024



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 8 OF 156

**NORRIS DESIGN**  
 PEOPLE • PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P. 303.892.1166  
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**LEGEND**

- CONCRETE [Solid Grey Box]
- UTILITY EASEMENT [Dashed Line]
- BUILDING ENVELOPE [Thin Solid Line]
- FENCE [Line with Circles]
- LOT LINE [Dashed Line]
- ORNAMENTAL TREE [Circle with Dot]
- DECIDUOUS SHRUB [Circle with Plus]
- EVERGREEN SHRUB [Circle with Cross]
- ORNAMENTAL GRASS [Starburst Symbol]

0 10 20 40  
 SCALE 1" = 20'

- NOTES**
- LOT AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANTING CONDITION. GENERAL PARAMETERS OF A MINIMUM OF 1 TREE AND 3 SHRUBS PER 550 SF LANDSCAPE AREA IN FRONT YARDS ARE REQUIRED FOR FRONT YARDS AND SIDE YARDS OUTSIDE OF PRIVATE FENCING. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FINAL PRODUCT CONFIGURATION. WHERE APPROPRIATE SPACE EXISTS AND UTILITY EASEMENTS DO NOT PROHIBIT THE PLANTING OF TREES AND SHRUBS, SUBSTITUTIONS SHALL NOT BE ALLOWED ON THE PRIVATE LOTS. DEVELOPER SHALL SHOW AT TIME OF BUILDING PERMIT WHETHER TREES CAN OR CANNOT BE PLANTED ON THE PRIVATE LOTS.
  - REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS. STARTING ON SHEET 81.
  - DENSER (AVERAGE) LANDSCAPE CONDITIONS ARE SHOWN ON LOT TYPICALS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL LANDSCAPE PLANS FOR EACH LOT WILL OCCUR AT TIME OF BUILDING PERMIT AND MUST COMPLY WITH MIN. STANDARDS SET FORTH IN THE ODP.
  - TRASH AND RECYCLING CONTAINERS TO BE LOCATED PERMANENTLY WITHIN GARAGES. SEE ARCHITECTURE TYPICALS FOR FURTHER DETAIL STARTING AT SHEET 81.

**UPLANDS**

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 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 9 OF 156



UPLANDS

DATE: 10.10.2024

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WESTMINSTER, COLORADO

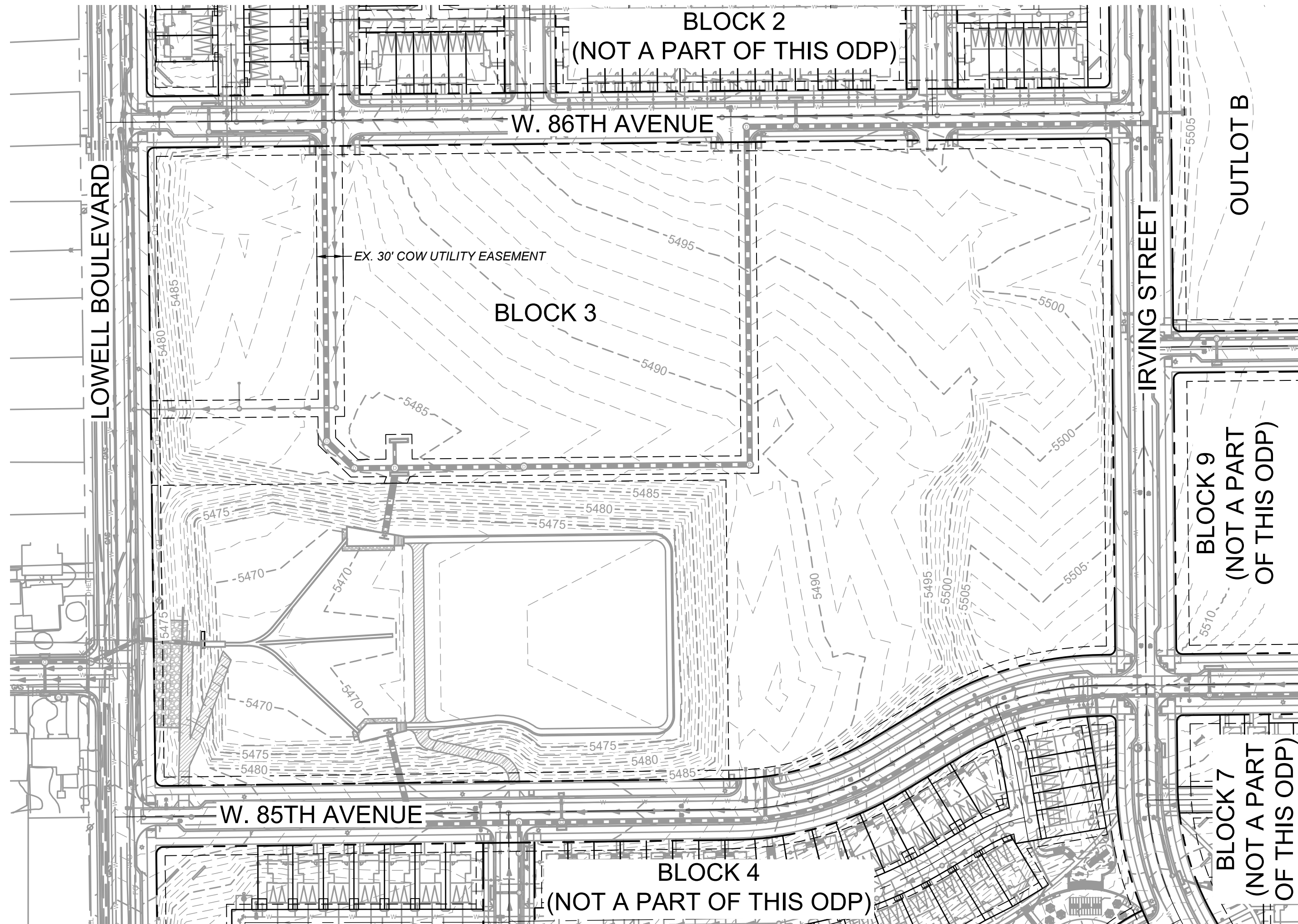
OFFICIAL DEVELOPMENT PLAN  
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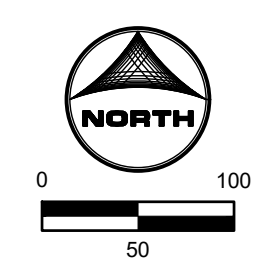
10.10.2024

9 OF 156  
EXISTING CONDITIONS



- LEGEND:**
- RIGHT OF WAY
  - - - EASEMENT LINE
  - EXISTING STORM SEWER
  - EXISTING SANITARY SEWER
  - EXISTING WATER LINE
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING FIBER OPTIC
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING GAS
  - EXISTING STREET LIGHT
  - EXISTING SIGN
  - EXISTING POST
  - EXISTING TELECOMM MANHOLE
  - 5500 EXISTING MAJOR CONTOUR (5')
  - EXISTING MINOR CONTOUR (1')

- NOTES:**
1. ALL EXISTING INFRASTRUCTURE TO REMAIN UNLESS OTHERWISE NOTED.



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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 SHEET 10 OF 156



**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

**WESTMINSTER, COLORADO**

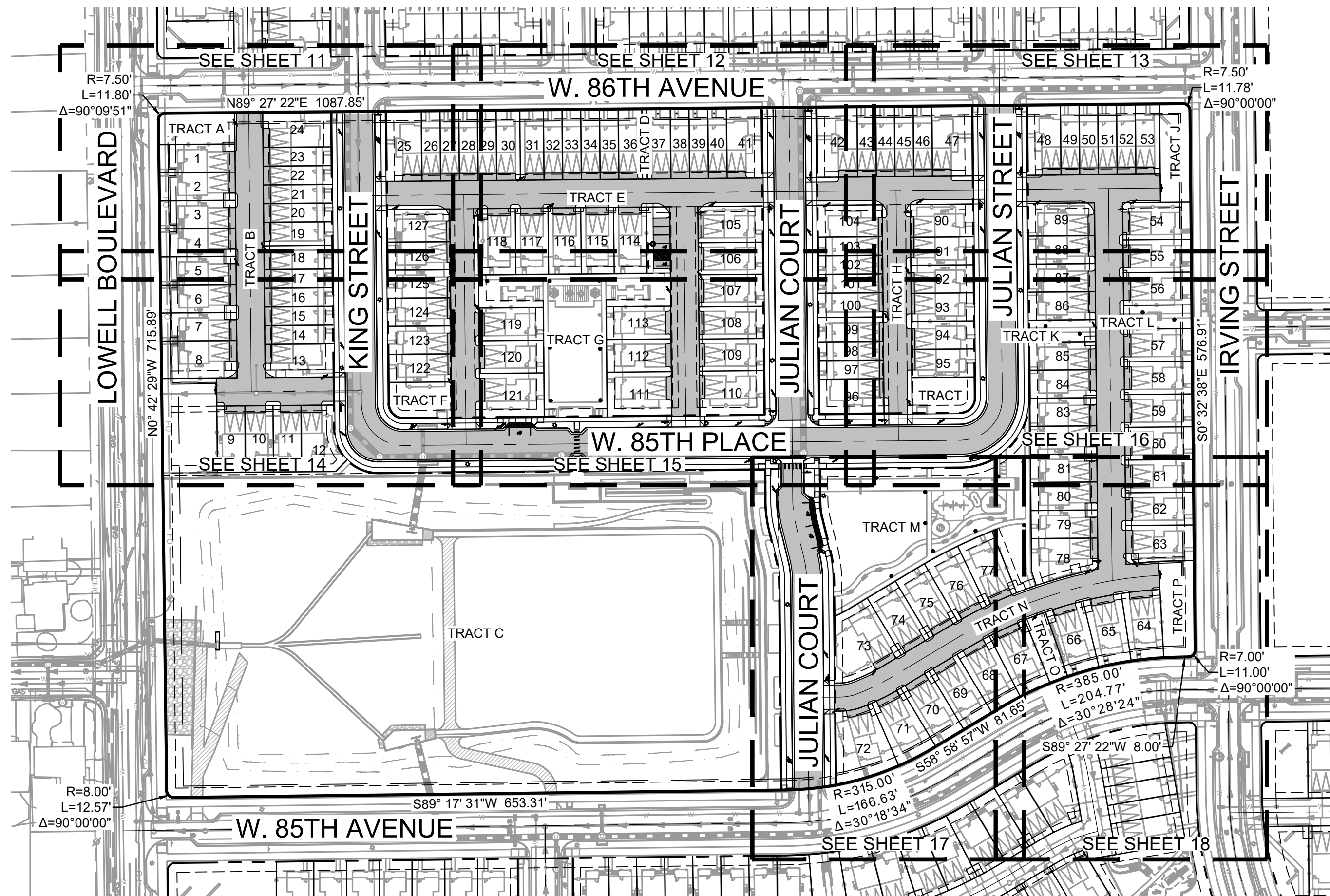
OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

**10 OF 156**  
 OVERALL SITE PLAN



**LOT COVERAGE:**

PLANNING AREA PA-A3		
SURFACE TYPE	AREA (SF)	% OF SITE
BUILDING COVERAGE:	134,510	17%
PAVING AND DRIVES:	281,878	37%
LANDSCAPE OPEN AREA:	354,538	46%
PUBLICLY-ACCESSIBLE PRIVATE PARK AREA*	(42,202)	(5.5%)
NET TOTAL AREA*	771,926	100%
GLOBAL TOTAL AREA*	880,347	100%

\*GROSS AREA REFERS TO PDP/MODP PLANNING AREA ACREAGES. NET AREA REFERS TO PLATTED BLOCK ACREAGE.  
 \*LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY-ACCESSIBLE PRIVATE PARK, WHICH IS NOT SEPARATELY INCLUDED IN TOTALS.

**TRACT TABLE:**

TRACT	USE	MAINTENANCE RESPONSIBILITY
A	LANDSCAPE	HOA
B	PUBLIC ACCESS	HOA
C	LANDSCAPE/DETENTION	HOA
D	LANDSCAPE	HOA
E	PUBLIC ACCESS	HOA
F	LANDSCAPE	HOA
G	LANDSCAPE/PUBLIC ACCESS	HOA
H	PUBLIC ACCESS	HOA
I	LANDSCAPE	HOA
J	LANDSCAPE	HOA
K	LANDSCAPE	HOA
L	LANDSCAPE	HOA
M	LANDSCAPE/PUBLIC ACCESS	HOA
N	PUBLIC ACCESS	HOA
O	LANDSCAPE	HOA
P	LANDSCAPE	HOA

**PARKING:**

PLANNING AREA PA-A3					
	TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)	PROVIDED (ON-STREET)
SFA	OFF-STREET (2/UNIT)	86	172	172	0
	GUEST (1/3) (A)		29	5	185
SFD	DRIVEWAY (2/UNIT) (A)	41	82	0	0
	ENCLOSED (2/UNIT)		82	82	0
TOTAL:		127	365	259	185
		TOTAL PROVIDED		444	

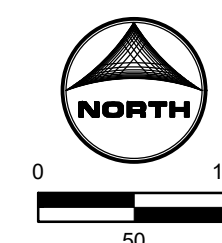
- A. 190 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH RIGHT OF WAY AND SURFACE SPACES. SEE SHARED PARKING TABLE TO THE RIGHT.
- B. ACCESSIBLE STALLS ARE PROVIDED IN ACCORDANCE WITH FEDERAL REGULATIONS.
- C. NUMBER OF BEDROOMS PER SFA UNITS NOT TO EXCEED 3.

PLANNING AREA PA-A3			
SHARED PARKING BREAK-DOWN	TYPE	REQUIRED	PROVIDED
ROW	KING STREET		18
	JULIAN COURT		33 (2)
	JULIAN STREET		19
	IRVING STREET		21
	W 86TH AVENUE		24
	W 85TH PLACE		32 (1)
SURFACE	STANDARD		3
	ACCESSIBLE		1
	VAN ACCESSIBLE		1
TOTAL:	29 SFA / 82 SFD	111	190 (5)
ADDITIONAL ROW PARKING	LOWELL BOULEVARD		30

NOTE: NUMBERS IN PARENTHESIS DENOTE ACCESSIBLE SPACES.

EV & BIKE PARKING	REQUIRED	PROVIDED
EV CHARGING (1/UNIT)	127	127
BICYCLE PARKING	0	16

NOTE: ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGER IN THE GARAGE.





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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 11 OF 156



**UPLANDS**

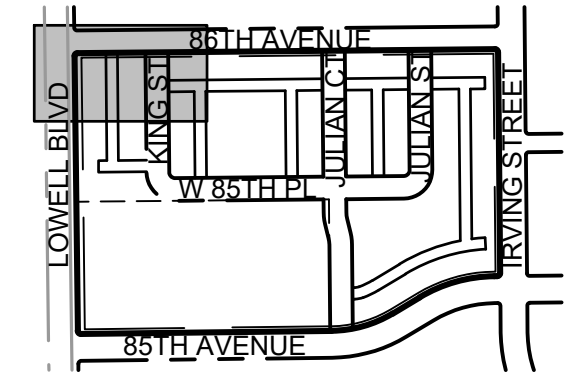
DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
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**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
 COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
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 U.E. - UTILITY EASEMENT  
 SW - SIDEWALK

PR. PRIVATE LIGHT POLE  
 PR. PUBLIC LIGHT POLE  
 PR. PUBLIC LIGHT POLE PER ENG 22-0014



**LEGEND:**

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- - - RIGHT OF WAY
- - - EASEMENT LINE
- - - LOT LINE
- - - ACCESSIBLE ROUTE
- - - WALL RAILING
- (LOT#) (EE) - ENHANCED ELEVATION

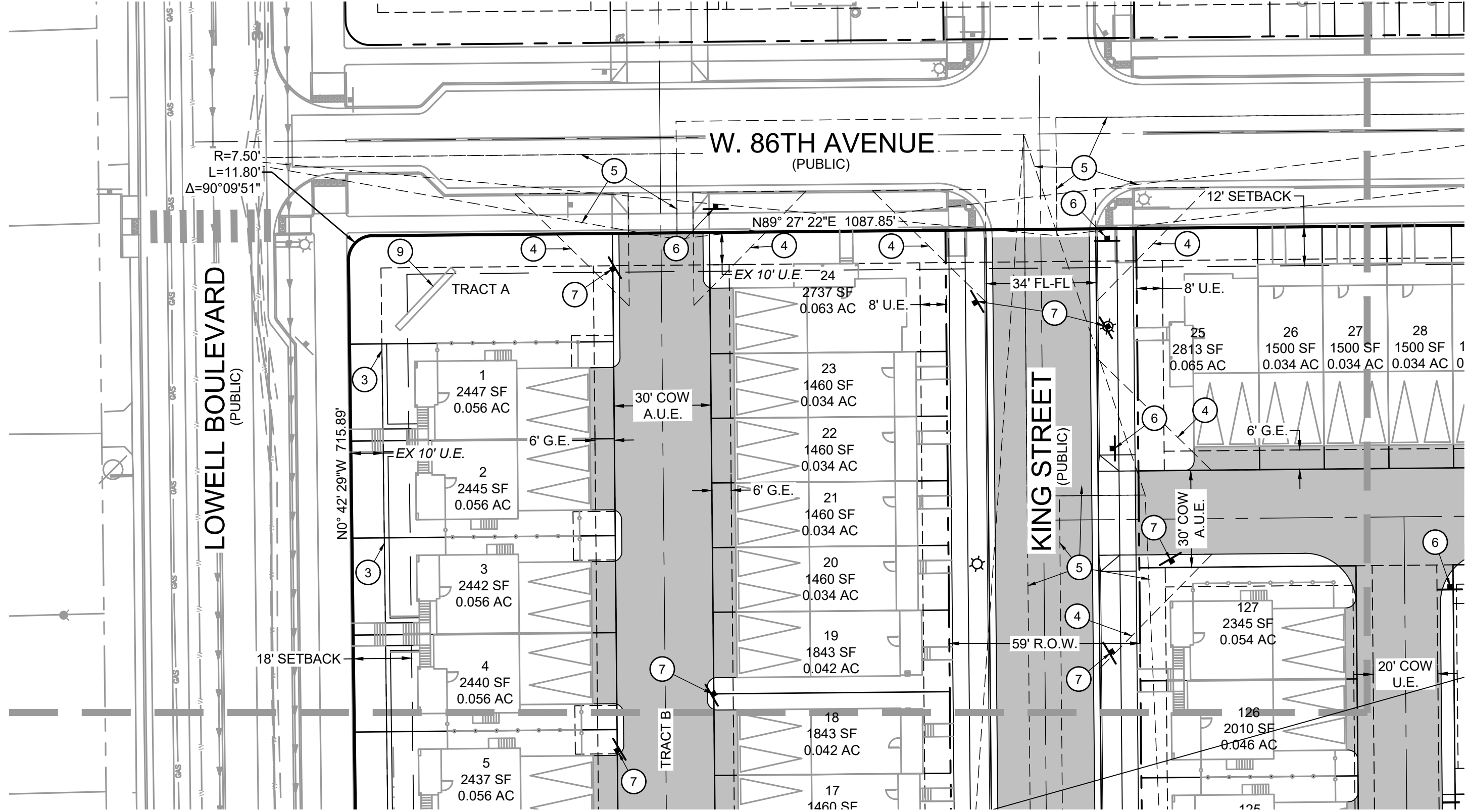
★ UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS

**KEYNOTE LEGEND:**

- ① PR. FIRE HYDRANT
- ② CURB RAMP
- ③ MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 19)
- ④ LANDSCAPE TRIANGLE
- ⑤ SIGHT TRIANGLE
- ⑥ STOP SIGN (R1-1)
- ⑦ NO PARKING/ FIRE LANE SIGN
- ⑧ BOULDER SLAB BENCH
- ⑨ ACCENT WALL
- ⑩ BIKE RACK
- ⑪ MAIL KIOSK
- ⑫ BENCH
- ⑬ UMBRELLA TABLE
- ⑭ SHADE PAVILION
- ⑮ PICNIC TABLE
- ⑯ BIKE REPAIR STAND
- ⑰ PLAY STRUCTURE
- ⑱ ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- ⑲ ACCESSIBLE PARKING STRIPING (45° 4" YELLOW STRIPING @ 2" O.C.)
- ⑳ ACCESSIBLE PARKING SIGN
- ㉑ 2'x5' CROSSWALK STRIPING
- ㉒ PET STATION

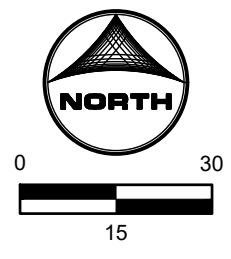
**NOTES:**

- ALL PROPOSED, PUBLIC SIDEWALKS ARE 5', UNLESS OTHERWISE NOTED.
- ALL PRIVATE WALKS TO SFD AND SFA ARE 4'.
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- PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
- UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
- ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
- EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



MATCHLINE  
 SEE SHEET 14

MATCHLINE  
 SEE SHEET 12



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
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 SHEET 12 OF 156



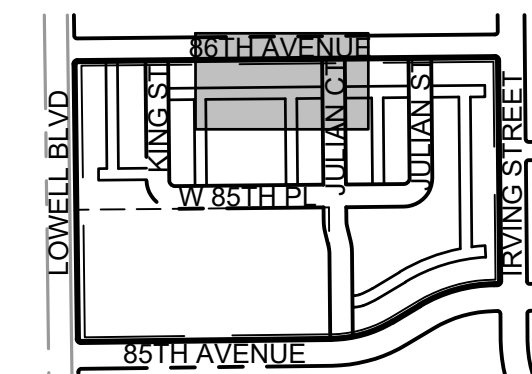
**UPLANDS**

DATE: 10.10.2024

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 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

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 SW - SIDEWALK

PR. PRIVATE LIGHT POLE  
 PR. PUBLIC LIGHT POLE  
 PR. PUBLIC LIGHT POLE PER ENG 22-0014



**LEGEND:**

- PROPERTY LINE
- REQUIRED SETBACK
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- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING
- ENHANCED ELEVATION (LOT#) (EE) -

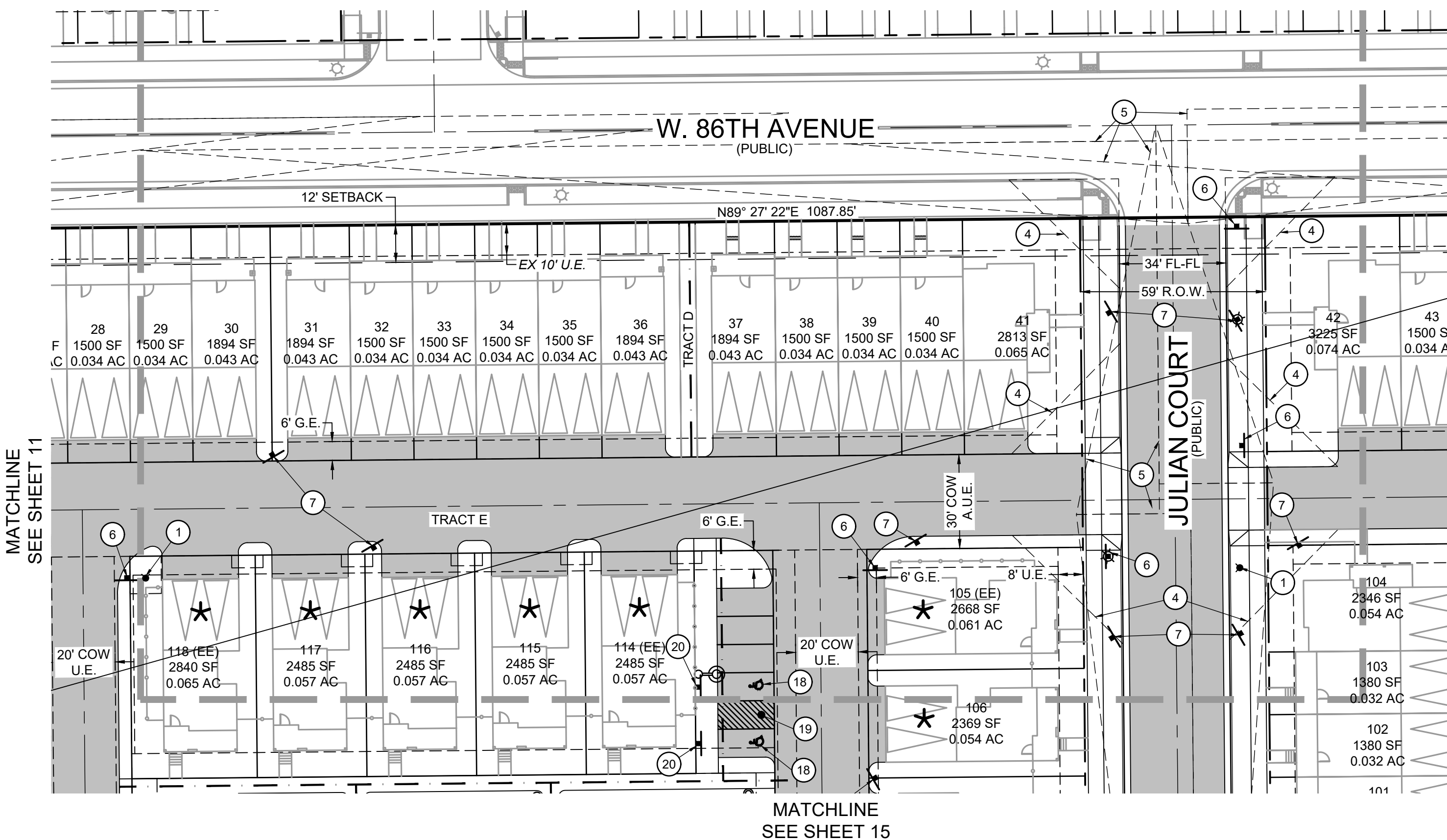
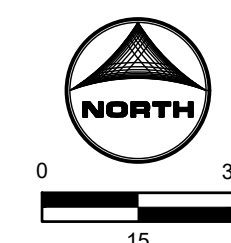
UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS

**KEYNOTE LEGEND:**

- 1 PR. FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 19)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN (R1-1)
- 7 NO PARKING/ FIRE LANE SIGN
- 8 BOULDER SLAB BENCH
- 9 ACCENT WALL
- 10 BIKE RACK
- 11 MAIL KIOSK
- 12 BENCH
- 13 UMBRELLA TABLE
- 14 SHADE PAVILION
- 15 PICNIC TABLE
- 16 BIKE REPAIR STAND
- 17 PLAY STRUCTURE
- 18 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 19 ACCESSIBLE PARKING STRIPING (45° 4" YELLOW STRIPING @ 2" O.C.)
- 20 ACCESSIBLE PARKING SIGN
- 21 2'x5' CROSSWALK STRIPING
- 22 PET STATION

**NOTES:**

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MATCHLINE  
SEE SHEET 11

MATCHLINE  
SEE SHEET 13

MATCHLINE  
SEE SHEET 15

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 13 OF 156



**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

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**WESTMINSTER, COLORADO**

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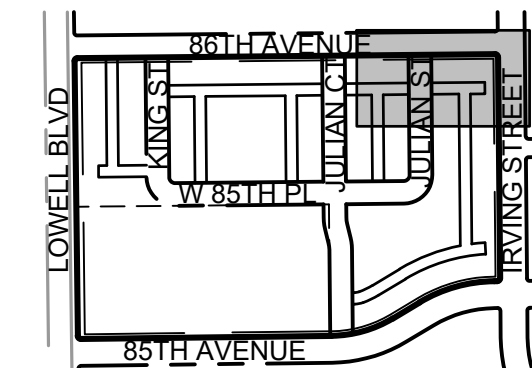
08.08.2024

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**13 OF 156**  
 SITE PLAN

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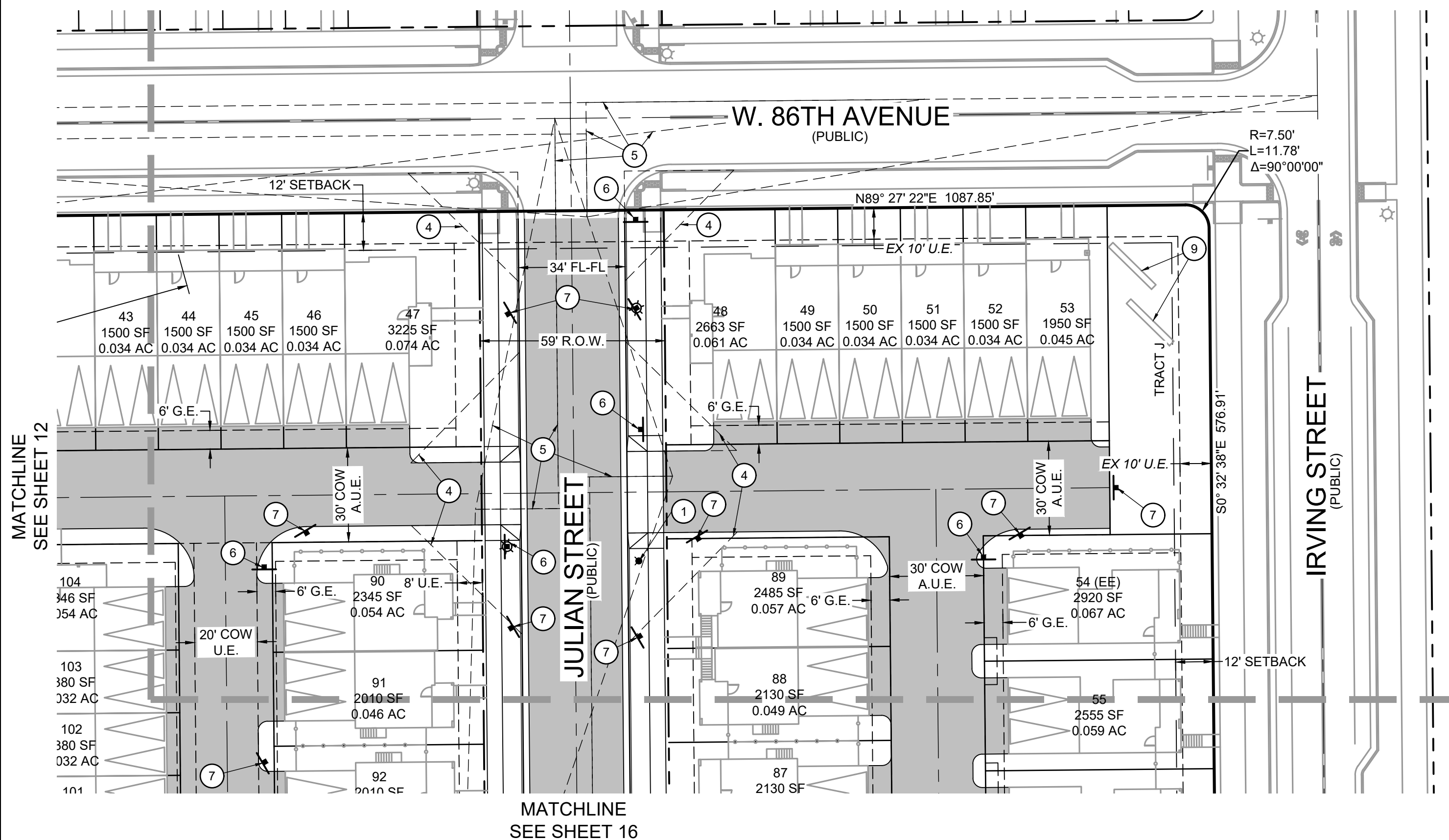
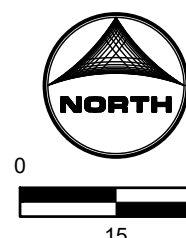
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MATCHLINE  
 SEE SHEET 12

MATCHLINE  
 SEE SHEET 16

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
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 SHEET 14 OF 156



**UPLANDS**

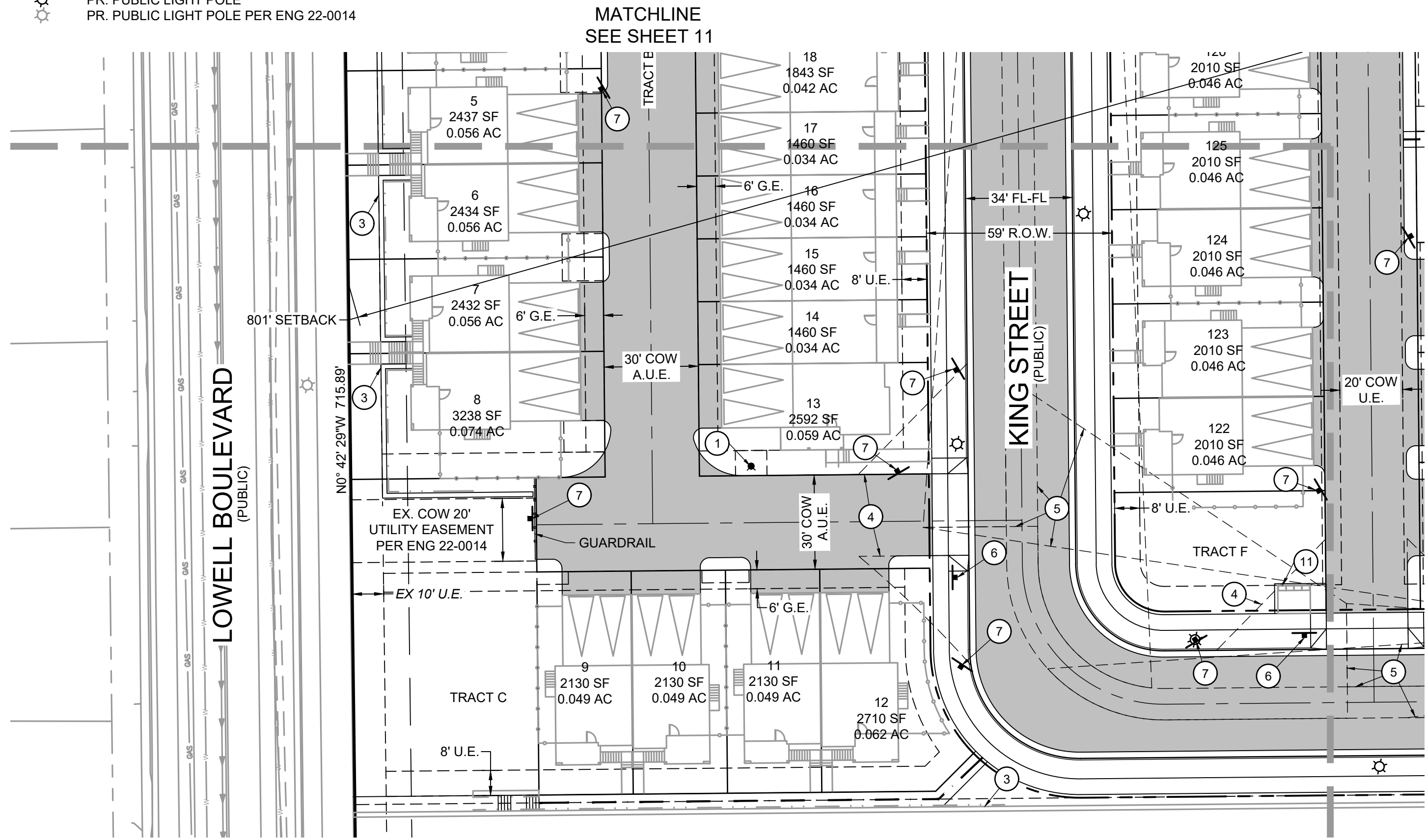
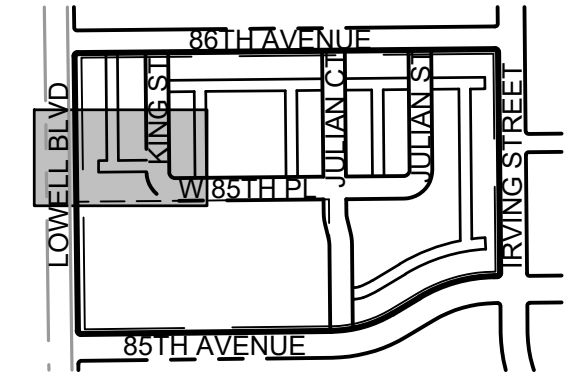
DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024

**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
 COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 COW U.E. - COW UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 SW - SIDEWALK

PR. PRIVATE LIGHT POLE  
 PR. PUBLIC LIGHT POLE  
 PR. PUBLIC LIGHT POLE PER ENG 22-0014



**LEGEND:**

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- - - RIGHT OF WAY
- - - EASEMENT LINE
- - - LOT LINE
- - - ACCESSIBLE ROUTE
- - - WALL RAILING
- (LOT#) (EE) - ENHANCED ELEVATION

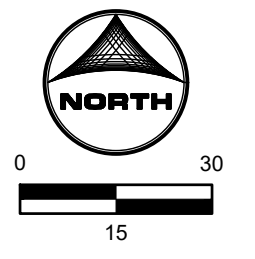
\* UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS

**KEYNOTE LEGEND:**

- 1 PR. FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 19)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN (R1-1)
- 7 NO PARKING/ FIRE LANE SIGN
- 8 BOULDER SLAB BENCH
- 9 ACCENT WALL
- 10 BIKE RACK
- 11 MAIL KIOSK
- 12 BENCH
- 13 UMBRELLA TABLE
- 14 SHADE PAVILION
- 15 PICNIC TABLE
- 16 BIKE REPAIR STAND
- 17 PLAY STRUCTURE
- 18 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 19 ACCESSIBLE PARKING STRIPING (45° 4" YELLOW STRIPING @ 2" O.C.)
- 20 ACCESSIBLE PARKING SIGN
- 21 2'x5' CROSSWALK STRIPING
- 22 PET STATION

**NOTES:**

1. ALL PROPOSED, PUBLIC SIDEWALKS ARE 5', UNLESS OTHERWISE NOTED.
2. ALL PRIVATE WALKS TO SFD AND SFA ARE 4'.
3. ALL PROPOSED CURB & GUTTER IS 6" VERTICAL.
4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
5. UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
7. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 15 OF 156



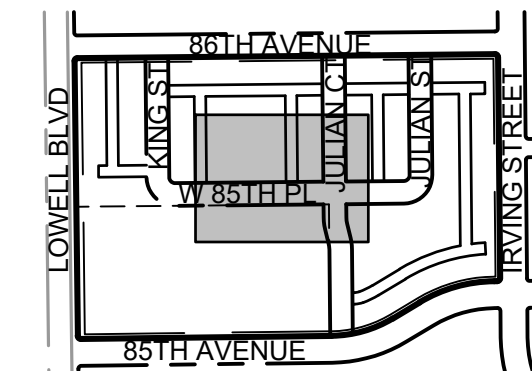
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

**ABBREVIATIONS:**  
A.E. - PUBLIC ACCESS EASEMENT  
COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT  
G.E. - GAS EASEMENT  
COW U.E. - COW UTILITY EASEMENT  
U.E. - UTILITY EASEMENT  
SW - SIDEWALK

PR. PRIVATE LIGHT POLE  
PR. PUBLIC LIGHT POLE  
PR. PUBLIC LIGHT POLE PER ENG 22-0014



**LEGEND:**

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- - - RIGHT OF WAY
- - - EASEMENT LINE
- - - LOT LINE
- - - ACCESSIBLE ROUTE
- - - WALL RAILING
- (LOT#) (EE) - ENHANCED ELEVATION

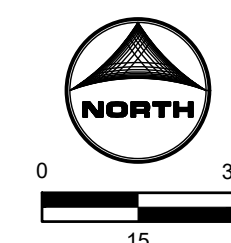
\* UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS

**KEYNOTE LEGEND:**

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**NOTES:**

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4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
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7. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



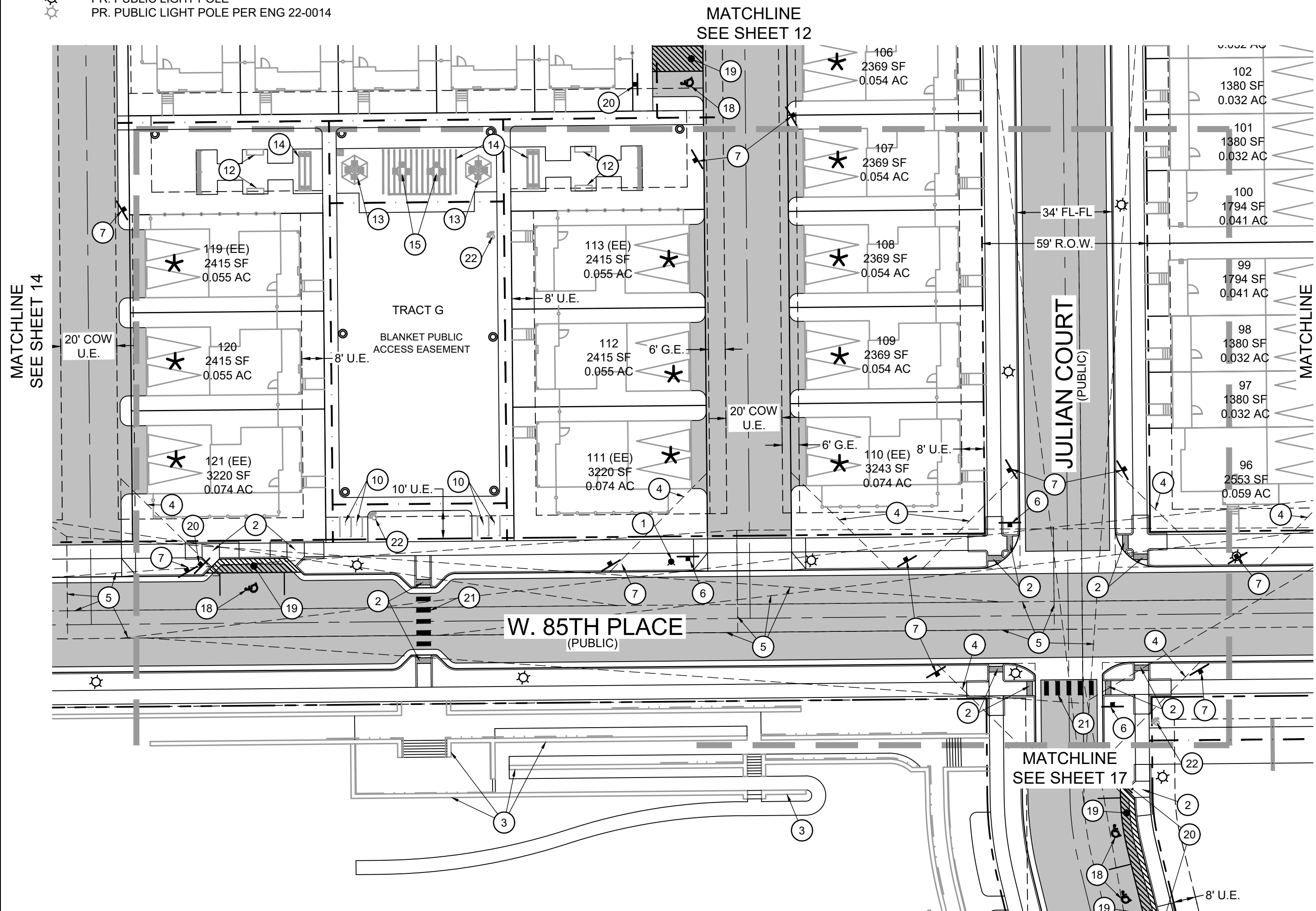
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

15 OF 156  
SITE PLAN





OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 16 OF 156



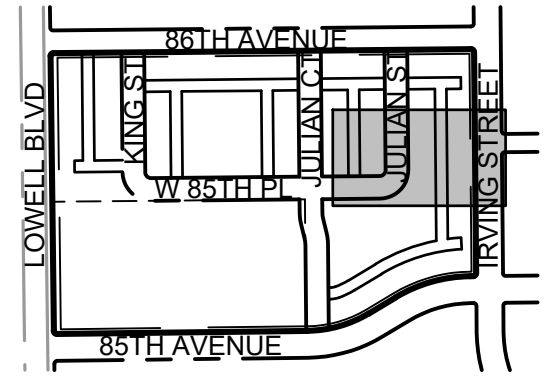
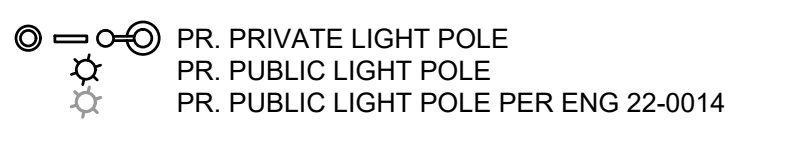
**UPLANDS**

DATE: 10.10.2024

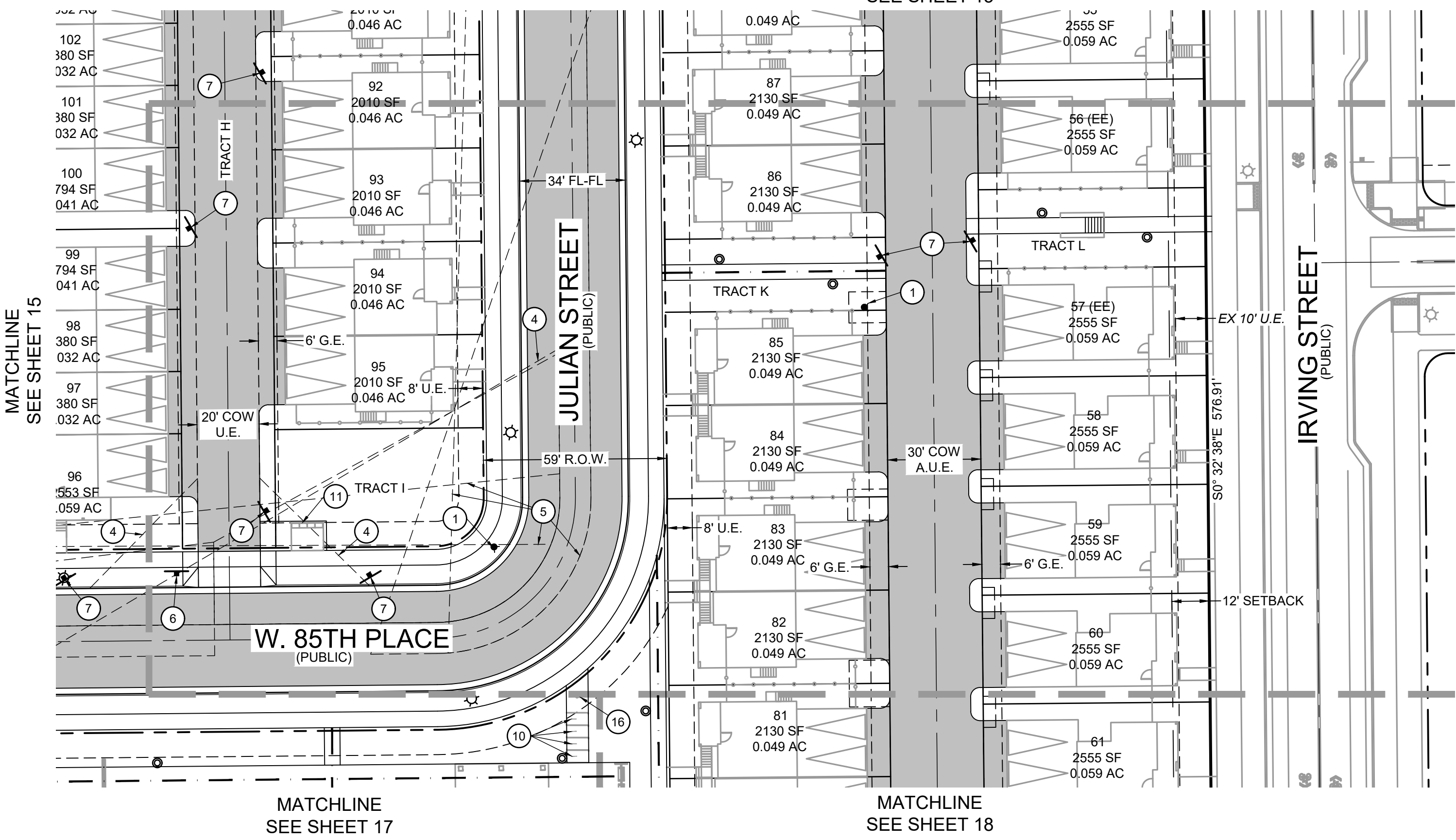
**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
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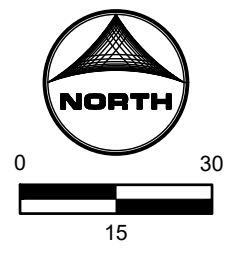
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 U.E. - UTILITY EASEMENT  
 SW - SIDEWALK



- LEGEND:**
- PROPERTY LINE
  - - - REQUIRED SETBACK
  - EDGE OF CONCRETE
  - - - RIGHT OF WAY
  - - - EASEMENT LINE
  - - - LOT LINE
  - - - ACCESSIBLE ROUTE
  - - - WALL RAILING
  - - - (LOT#) (EE) - ENHANCED ELEVATION
- KEYNOTE LEGEND:**
- ① PR. FIRE HYDRANT
  - ② CURB RAMP
  - ③ MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 19)
  - ④ LANDSCAPE TRIANGLE
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  - ⑧ BOULDER SLAB BENCH
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  - ㉒ PET STATION



- NOTES:**
1. ALL PROPOSED, PUBLIC SIDEWALKS ARE 5', UNLESS OTHERWISE NOTED.
  2. ALL PRIVATE WALKS TO SFD AND SFA ARE 4'.
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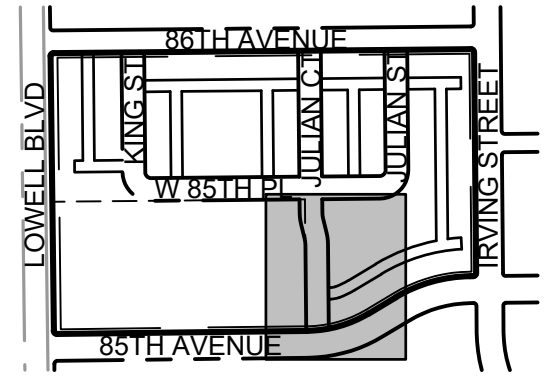




OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 17 OF 156

**ABBREVIATIONS:**  
A.E. - PUBLIC ACCESS EASEMENT  
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COW U.E. - COW UTILITY EASEMENT  
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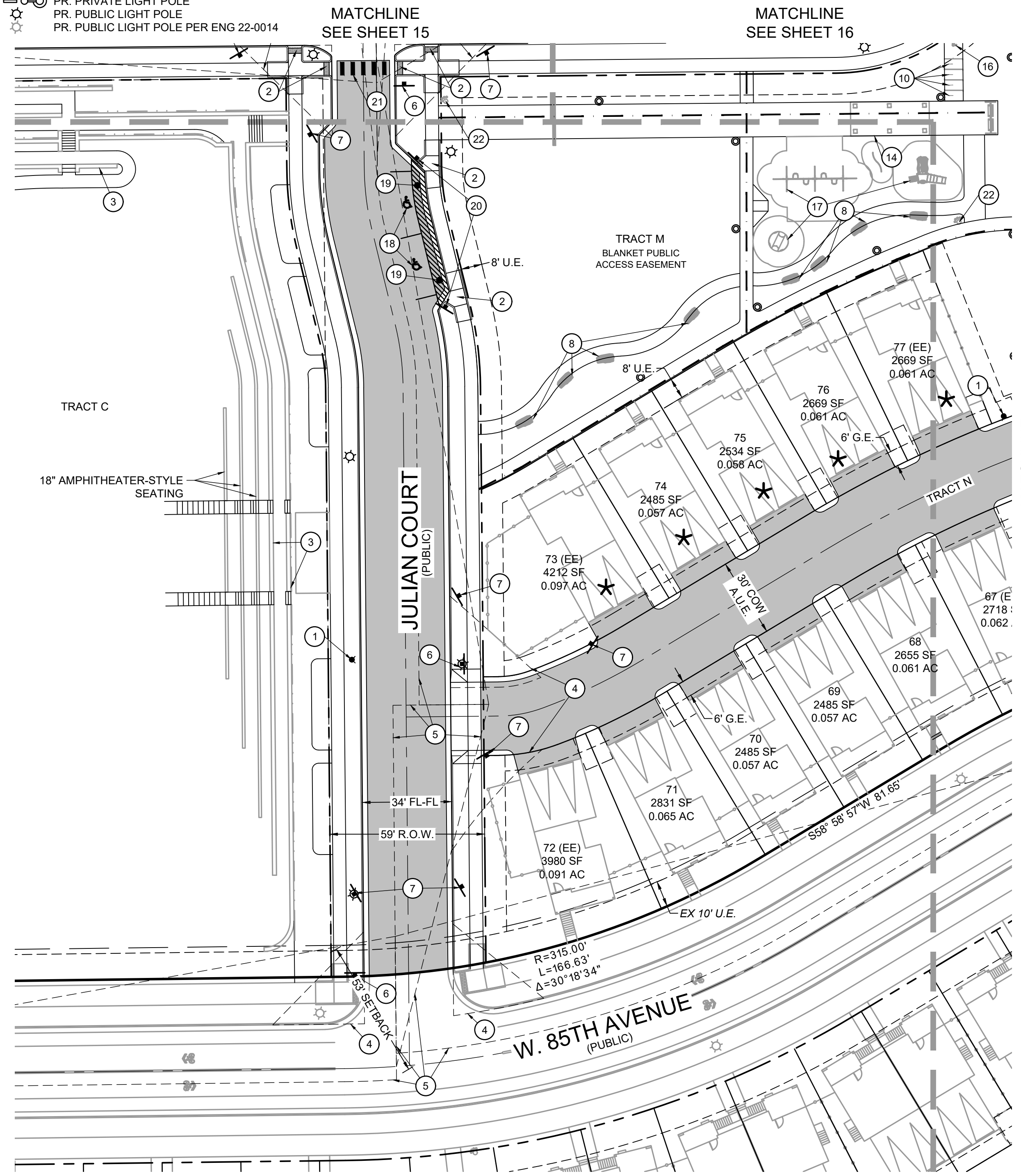
PR. PRIVATE LIGHT POLE  
PR. PUBLIC LIGHT POLE  
PR. PUBLIC LIGHT POLE PER ENG 22-0014



**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

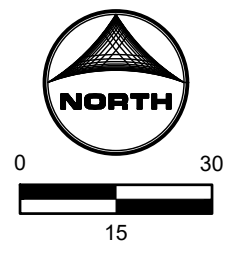


**LEGEND:**  
PROPERTY LINE  
REQUIRED SETBACK  
EDGE OF CONCRETE  
RIGHT OF WAY  
EASEMENT LINE  
LOT LINE  
ACCESSIBLE ROUTE  
WALL RAILING  
(LOT#) (EE) - ENHANCED ELEVATION

\* UNIT WITH REAR UPPER STORY  
STEP BACK TO ACCOMMODATE  
FIRE ACCESS

- KEYNOTE LEGEND:**
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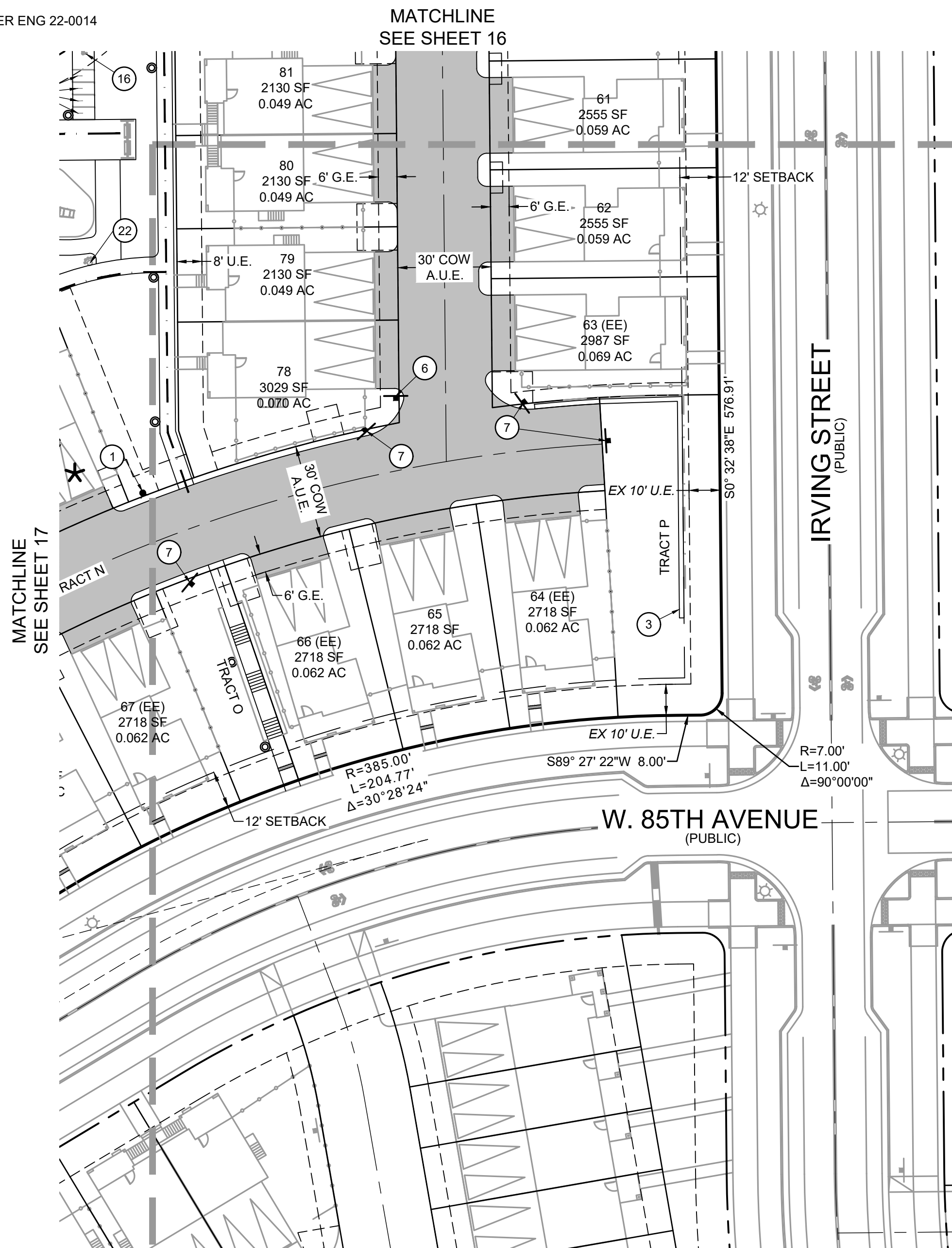
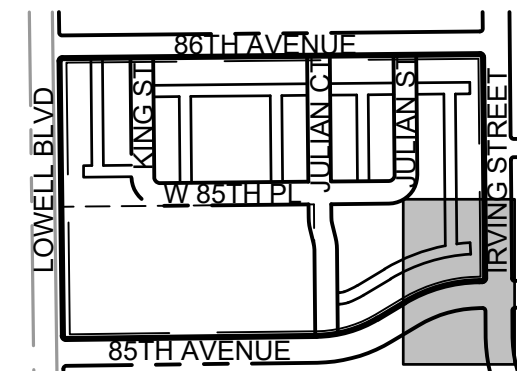
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
08.08.2024	
10.10.2024	



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 18 OF 156

**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
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 COW U.E. - COW UTILITY EASEMENT  
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 SW - SIDEWALK

PR. PRIVATE LIGHT POLE  
 PR. PUBLIC LIGHT POLE  
 PR. PUBLIC LIGHT POLE PER ENG 22-0014



**LEGEND:**

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- - - RIGHT OF WAY
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- - - LOT LINE
- - - ACCESSIBLE ROUTE
- - - WALL RAILING
- (LOT#) (EE) - ENHANCED ELEVATION

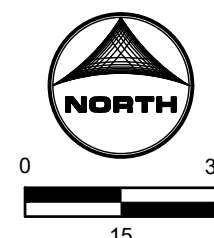
★ UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS

**KEYNOTE LEGEND:**

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- ② CURB RAMP
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- ⑭ SHADE PAVILION
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- ⑱ ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

18 OF 156  
 SITE PLAN



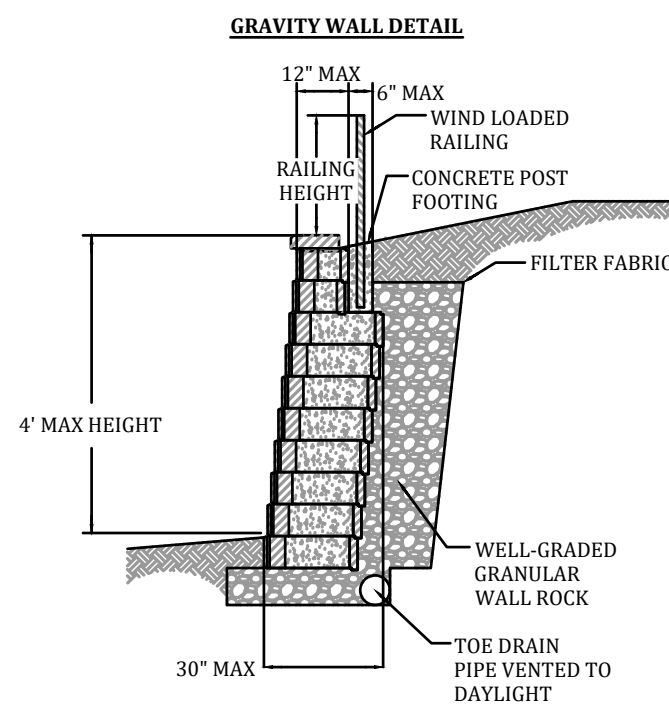
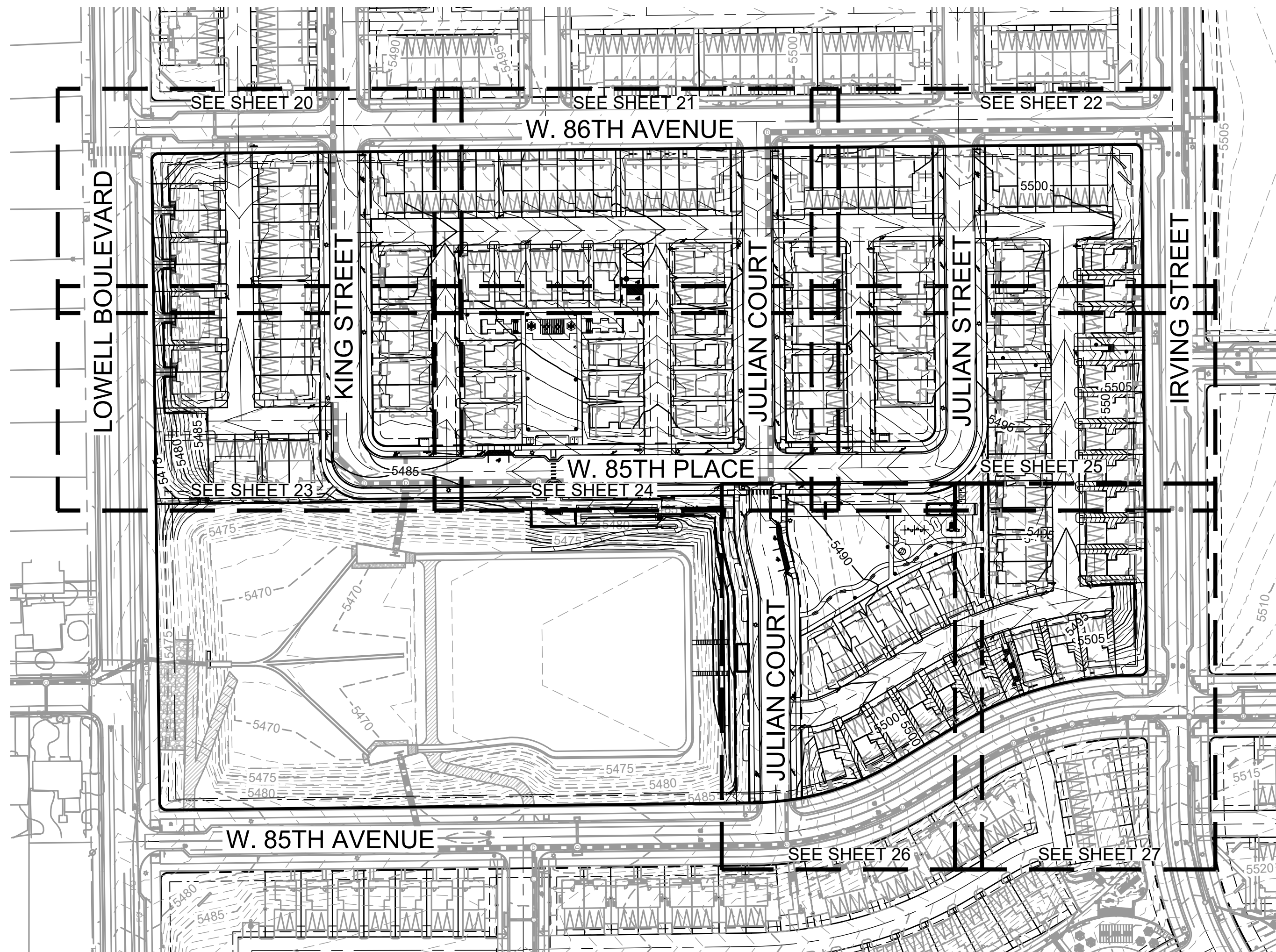
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
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COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 19 OF 156



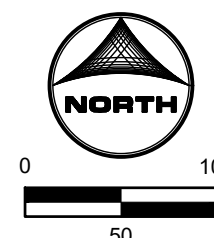
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



- NOTES:
- 1. THIS IS A DESIGN/BUILD ELEMENT BASED UPON EVENTUAL CONTRACTOR SELECTION. THE EXACT DIMENSIONS AND DETAILS MAY VARY WITH SPECIFIC WALL MANUFACTURER, BUT WILL GENERALLY REMAIN WITHIN THE PARAMETERS SHOWN HERE.
  - 2. RETAINING WALL FACE TO BE ALLAN BLOCK AB ASHLAR PATTERN WITH CAP, TAN BLEND; REFER TO ODP COLOR EXHIBITS.



OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

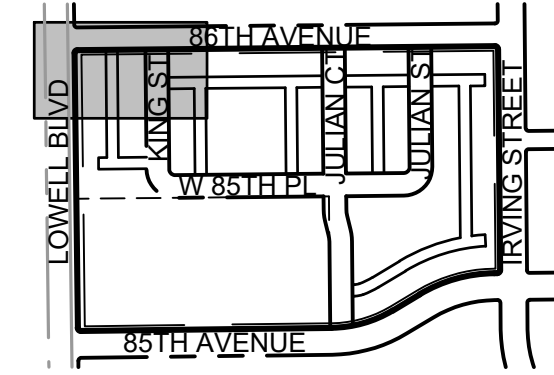
REVISIONS

08.08.2024

10.10.2024



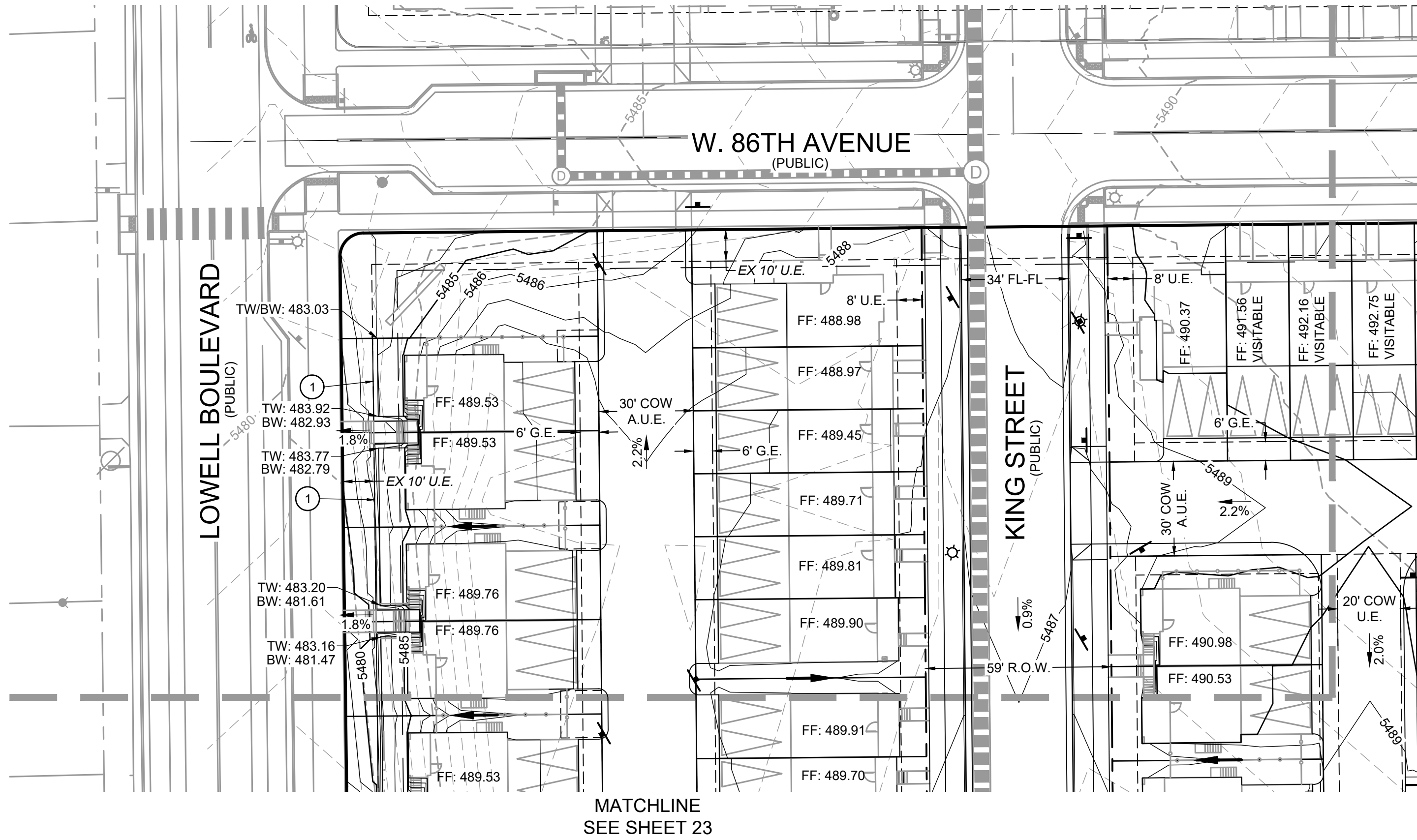
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 20 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

- TW - FINISHED GRADE AT TOP OF WALL
- BW - FINISHED GRADE AT BOTTOM OF WALL
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

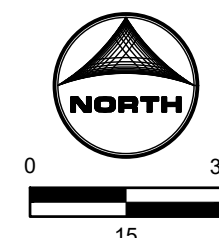
- ① VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 19)
- ② STAIRS
- ③ SIDEWALK RAMPS
- ④ WALL RAILING

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED.

MATCHLINE  
SEE SHEET 21

MATCHLINE  
SEE SHEET 23

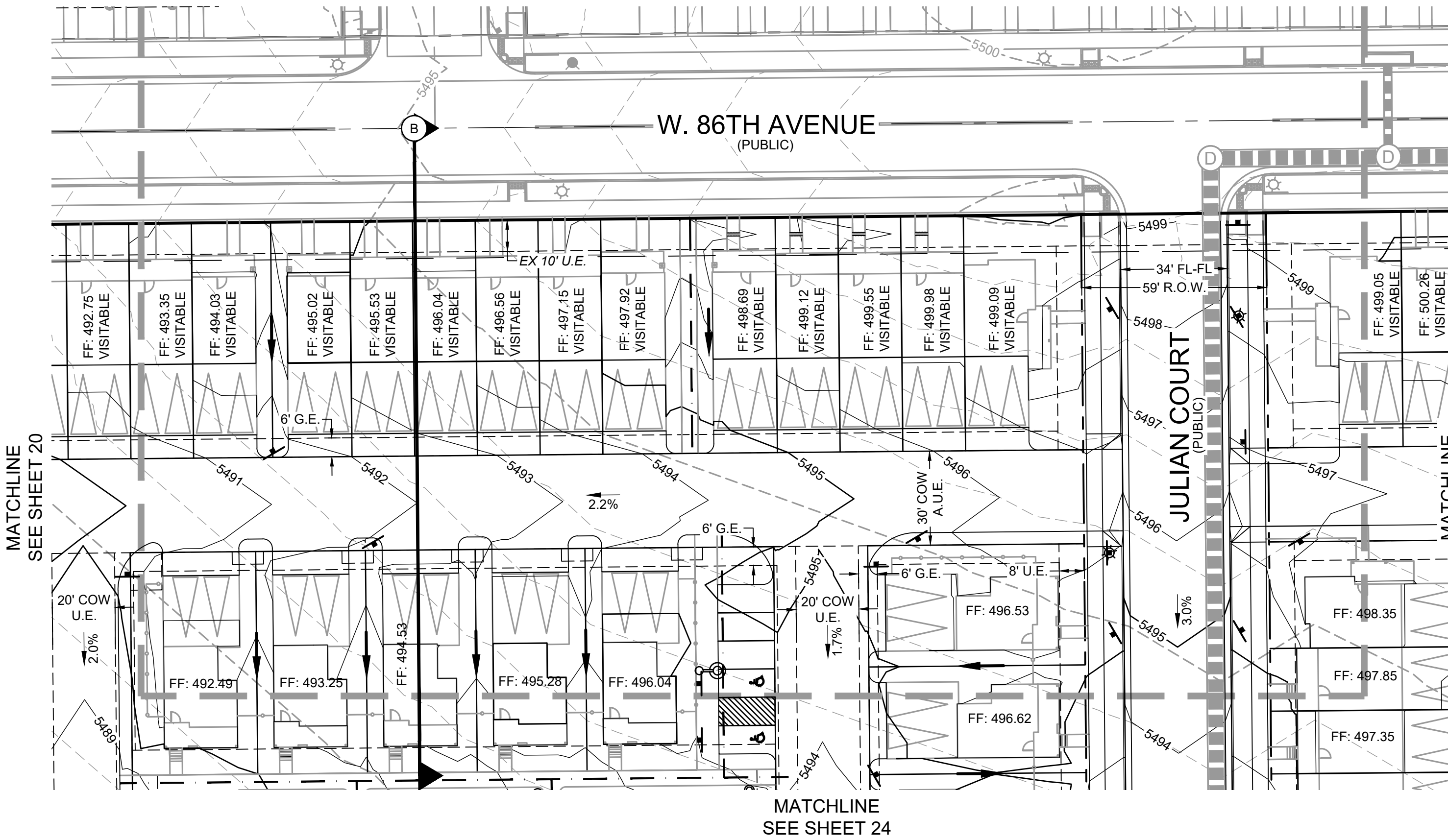
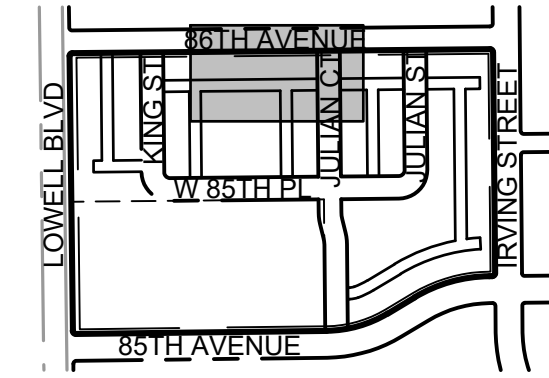


OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024	
10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 21 OF 156



**LEGEND:**

- PROPERTY LINE
- - - LOT LINE
- - - RIGHT OF WAY
- 5500— PROPOSED MAJOR CONTOUR
- - -5500- PROPOSED MINOR CONTOUR
- - -5500- EXISTING MAJOR CONTOUR
- - -5500- EXISTING MINOR CONTOUR
- - - ACCESSIBLE ROUTE
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- ① VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 19)
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- ④ WALL RAILING

**NOTES:**

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MATCHLINE  
SEE SHEET 20

MATCHLINE  
SEE SHEET 22

MATCHLINE  
SEE SHEET 24

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

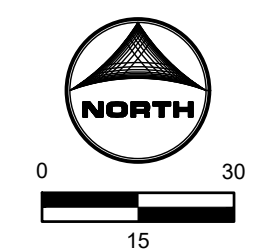
**WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

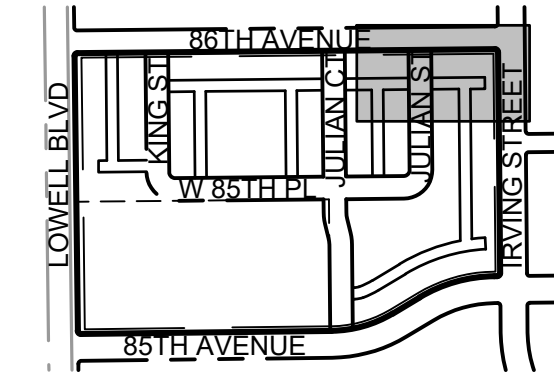
REVISIONS

08.08.2024	
10.10.2024	

21 OF 156  
GRADING PLAN



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 22 OF 156

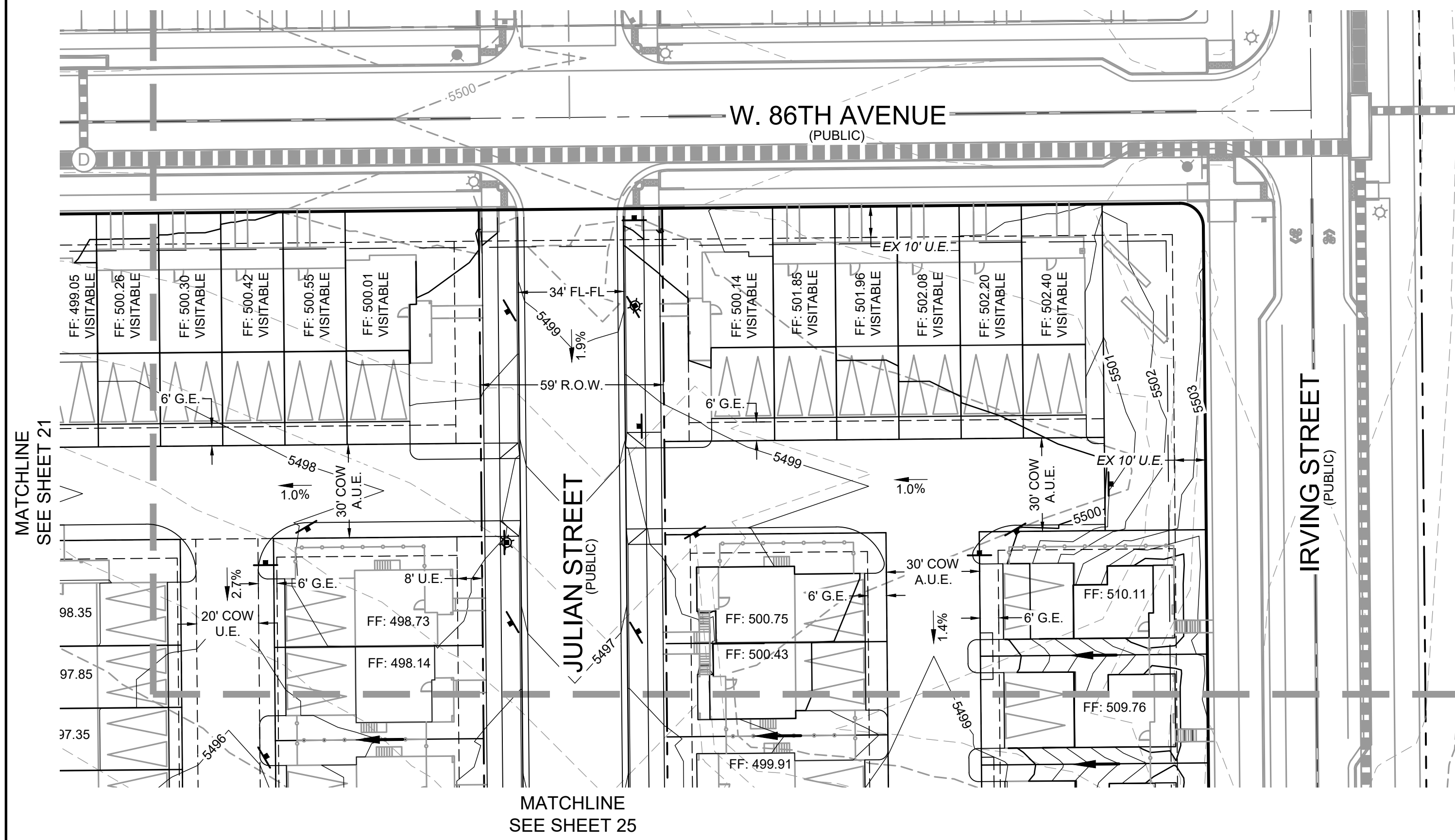


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

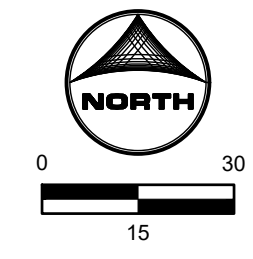


- LEGEND:**
- PROPERTY LINE
  - - - LOT LINE
  - - - RIGHT OF WAY
  - 5500 — PROPOSED MAJOR CONTOUR
  - - - 5500 - - - PROPOSED MINOR CONTOUR
  - 5500 — EXISTING MAJOR CONTOUR
  - - - 5500 - - - EXISTING MINOR CONTOUR
  - - - ACCESSIBLE ROUTE
  - DRAINAGE ARROW
  - SWALE
  - WALL RAILING

- ABBREVIATIONS:**
- TW - FINISHED GRADE AT TOP OF WALL
  - BW - FINISHED GRADE AT BOTTOM OF WALL
  - A.E. - PUBLIC ACCESS EASEMENT
  - COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
  - COW U.E. - COW UTILITY EASEMENT
  - G.E. - GAS EASEMENT
  - U.E. - UTILITY EASEMENT

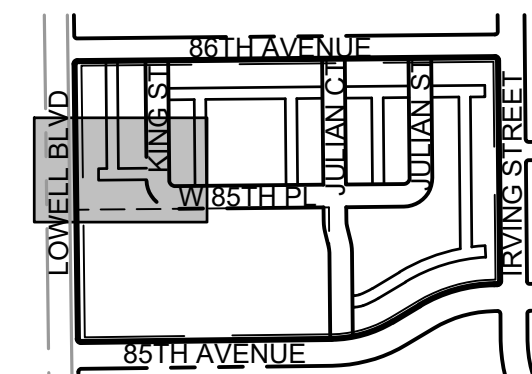
- KEYNOTE LEGEND:**
- ① VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 19)
  - ② STAIRS
  - ③ SIDEWALK RAMPS
  - ④ WALL RAILING

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
  2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED.





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 23 OF 156



UPLANDS

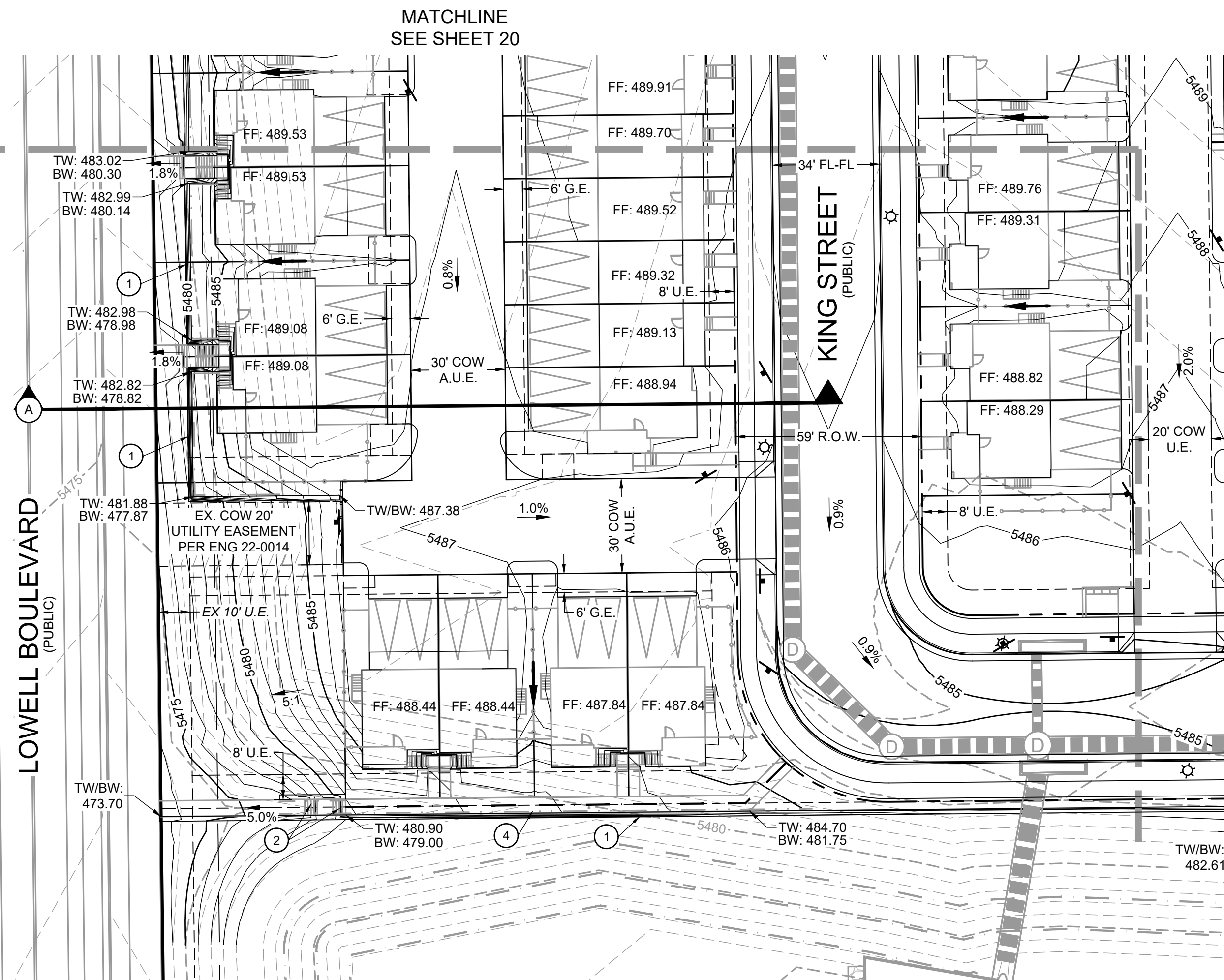
DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

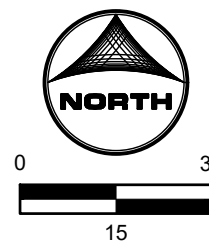
- TW - FINISHED GRADE AT TOP OF WALL
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- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

- ① VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 19)
- ② STAIRS
- ③ SIDEWALK RAMPS
- ④ WALL RAILING

NOTES:

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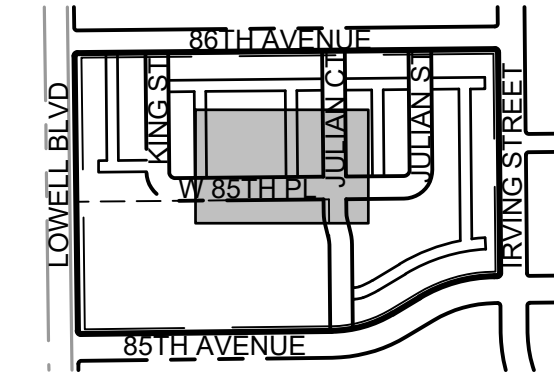


OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024	
10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 24 OF 156



UPLANDS

DATE: 10.10.2024

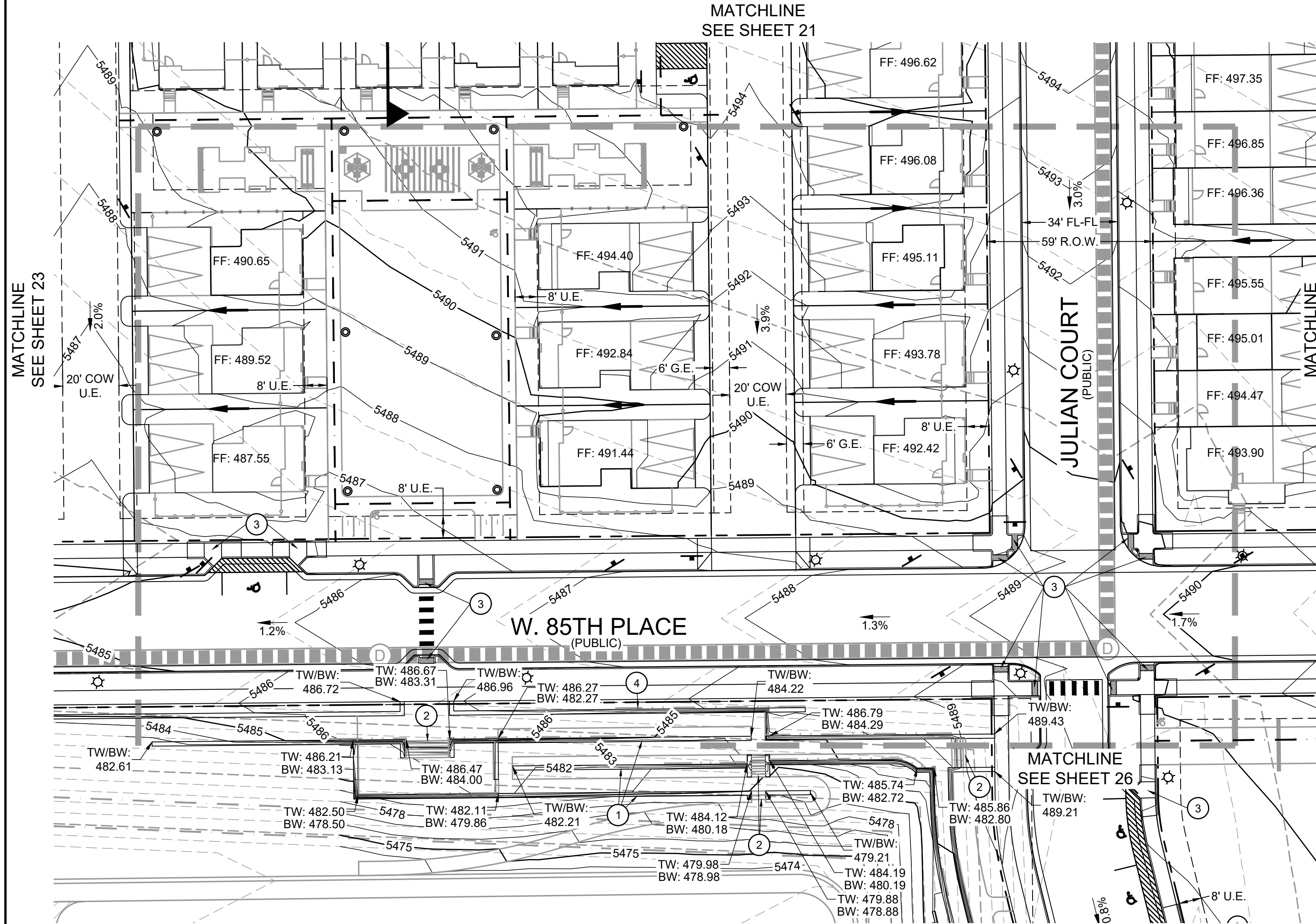
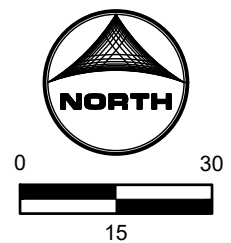
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

24 OF 156  
GRADING PLAN



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

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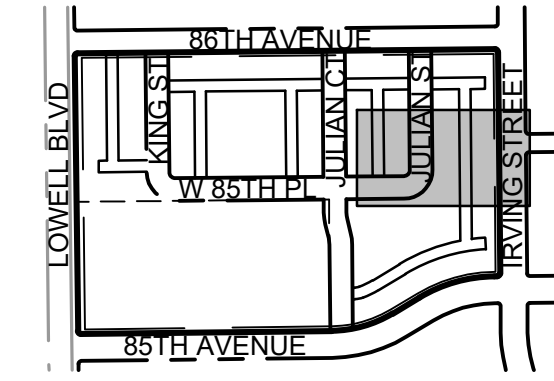
KEYNOTE LEGEND:

- ① VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 19)
- ② STAIRS
- ③ SIDEWALK RAMPS
- ④ WALL RAILING

NOTES:

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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 25 OF 156



UPLANDS

DATE: 10.10.2024

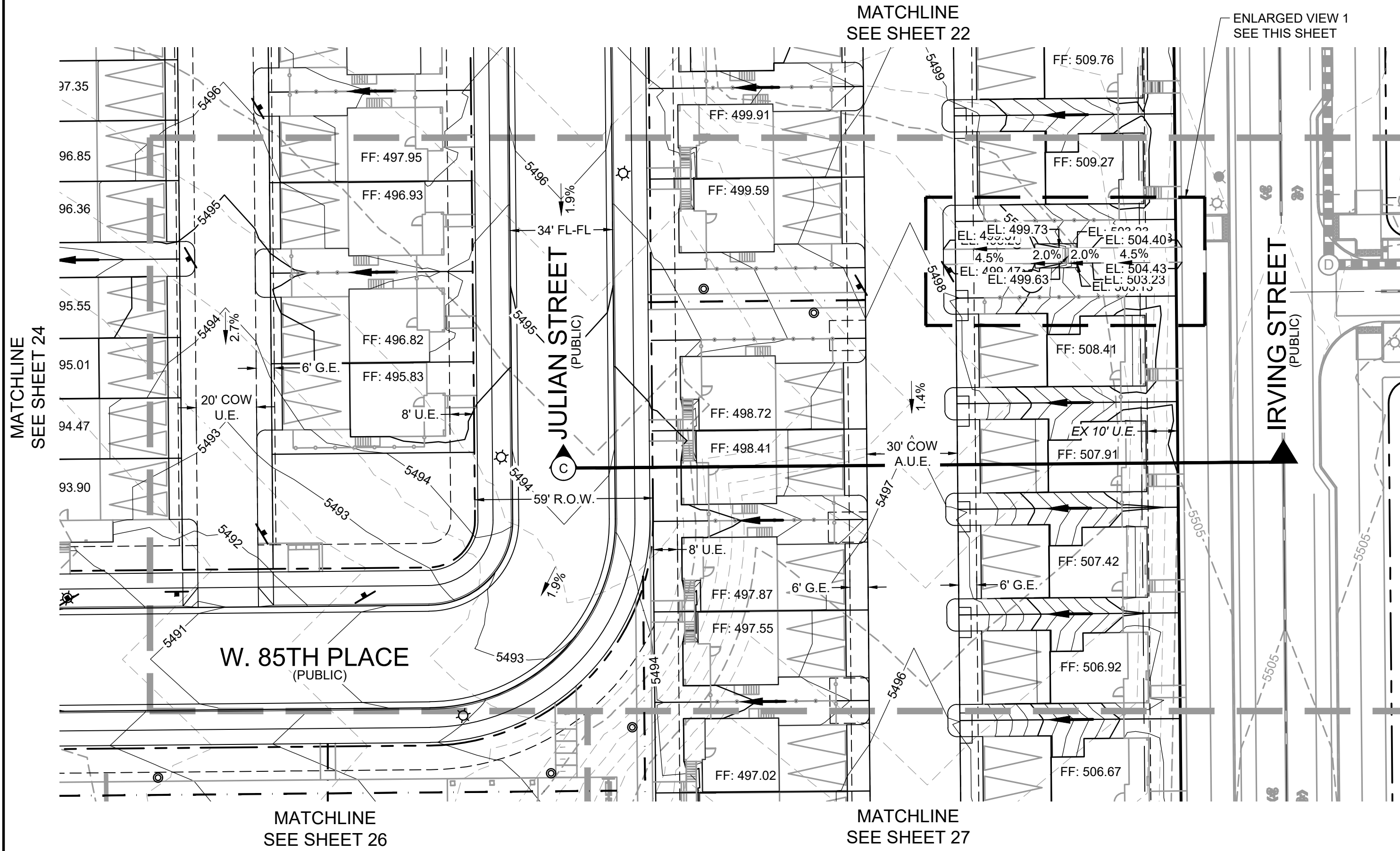
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

25 OF 156  
GRADING PLAN



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

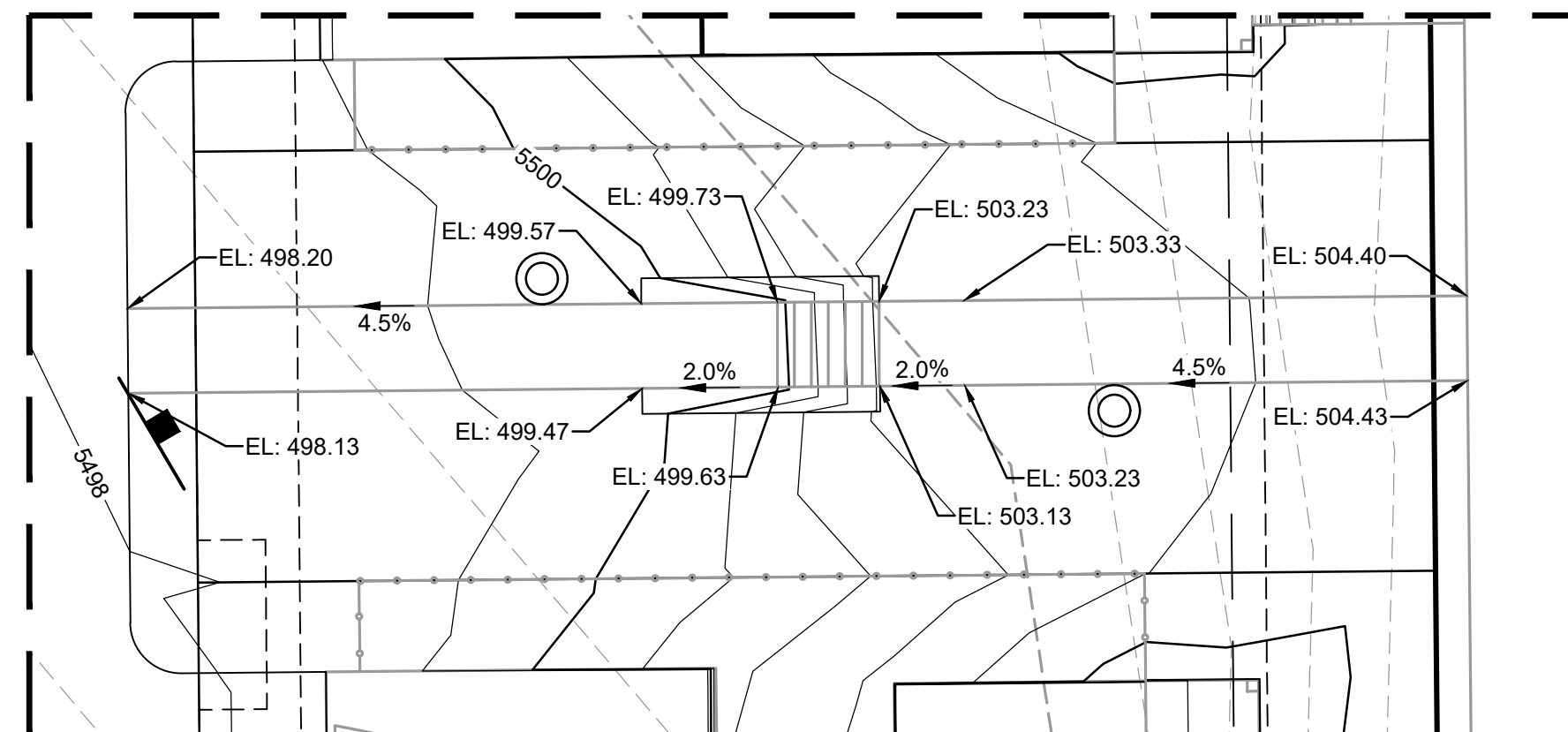
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KEYNOTE LEGEND:

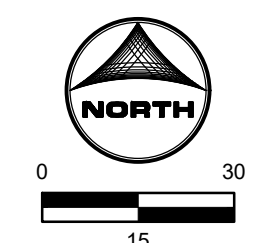
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- ④ WALL RAILING

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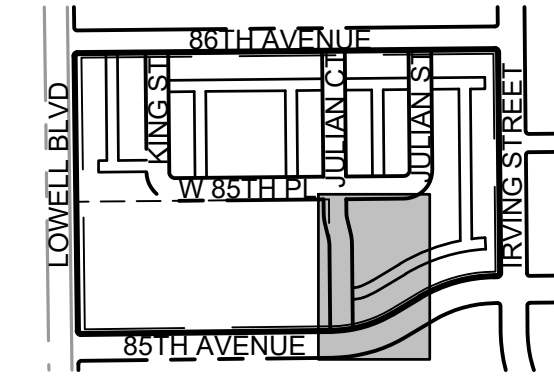


ENLARGED VIEW 1  
SCALE: 1" = 10'





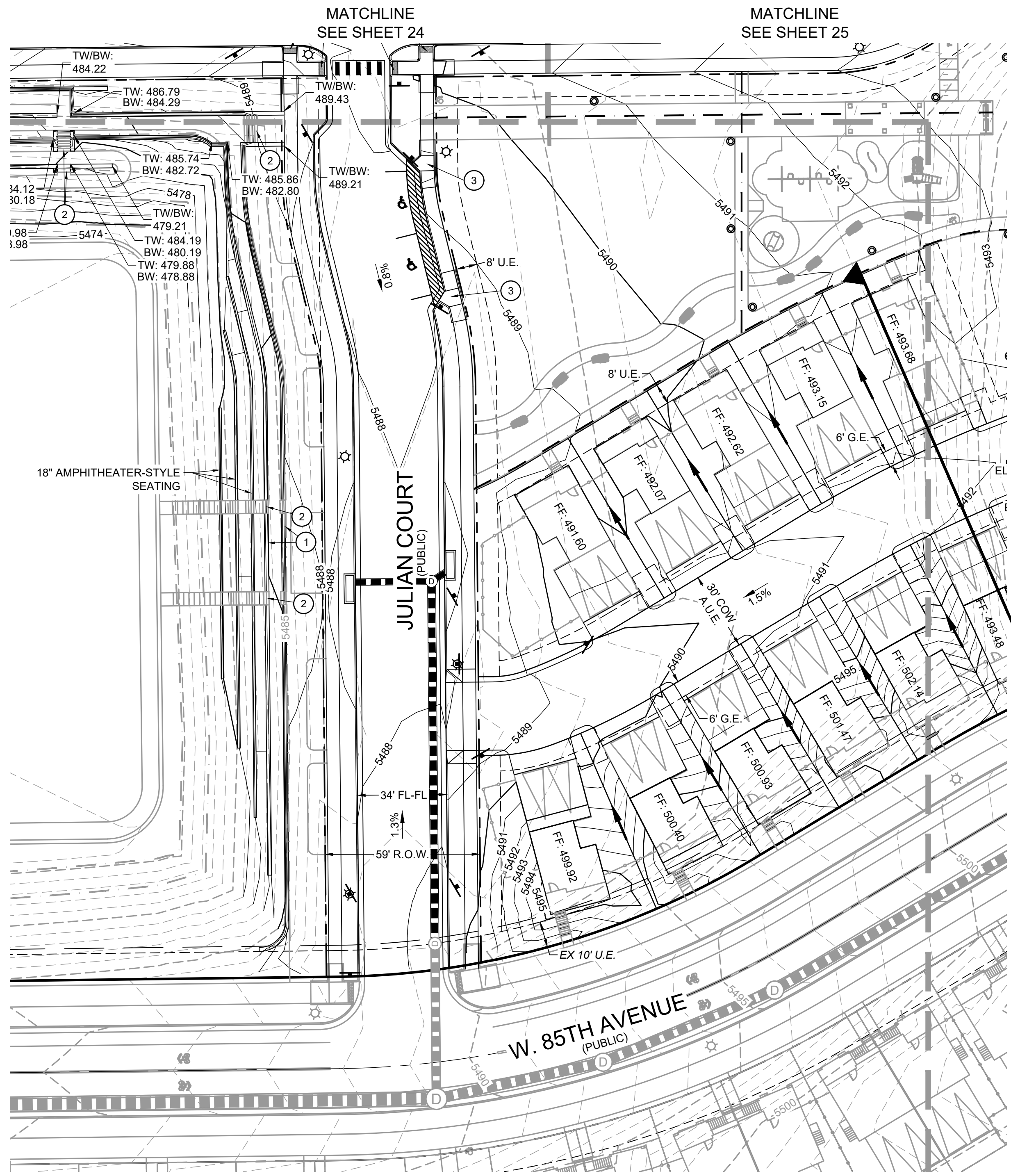
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 26 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



LEGEND:

- PROPERTY LINE
- - - LOT LINE
- - - RIGHT OF WAY
- 5500 PROPOSED MAJOR CONTOUR
- - - 5500 PROPOSED MINOR CONTOUR
- - - 5500 EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

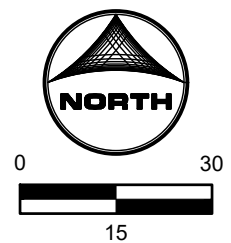
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KEYNOTE LEGEND:

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- ② STAIRS
- ③ SIDEWALK RAMPS
- ④ WALL RAILING

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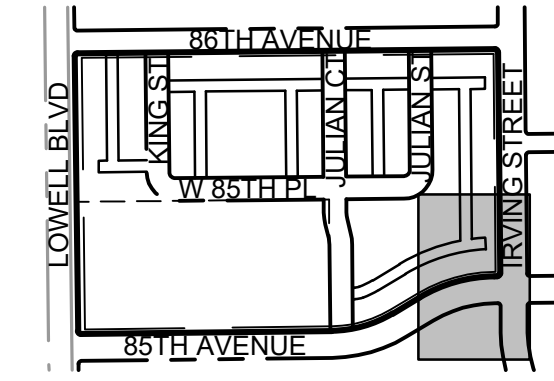


OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024	
10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 27 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- 5500 PROPOSED MAJOR CONTOUR
- 5500 PROPOSED MINOR CONTOUR
- 5500 EXISTING MAJOR CONTOUR
- 5500 EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

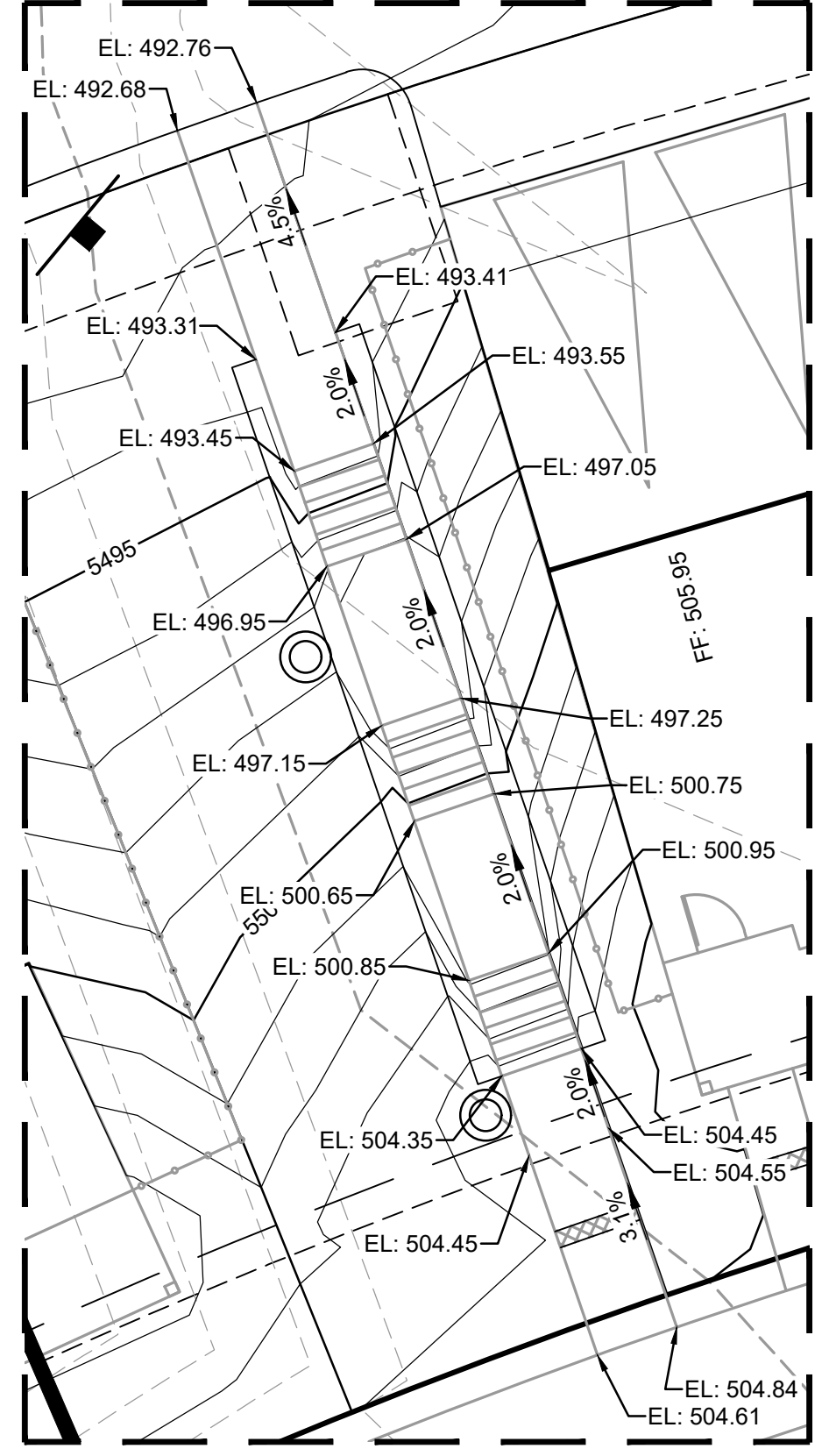
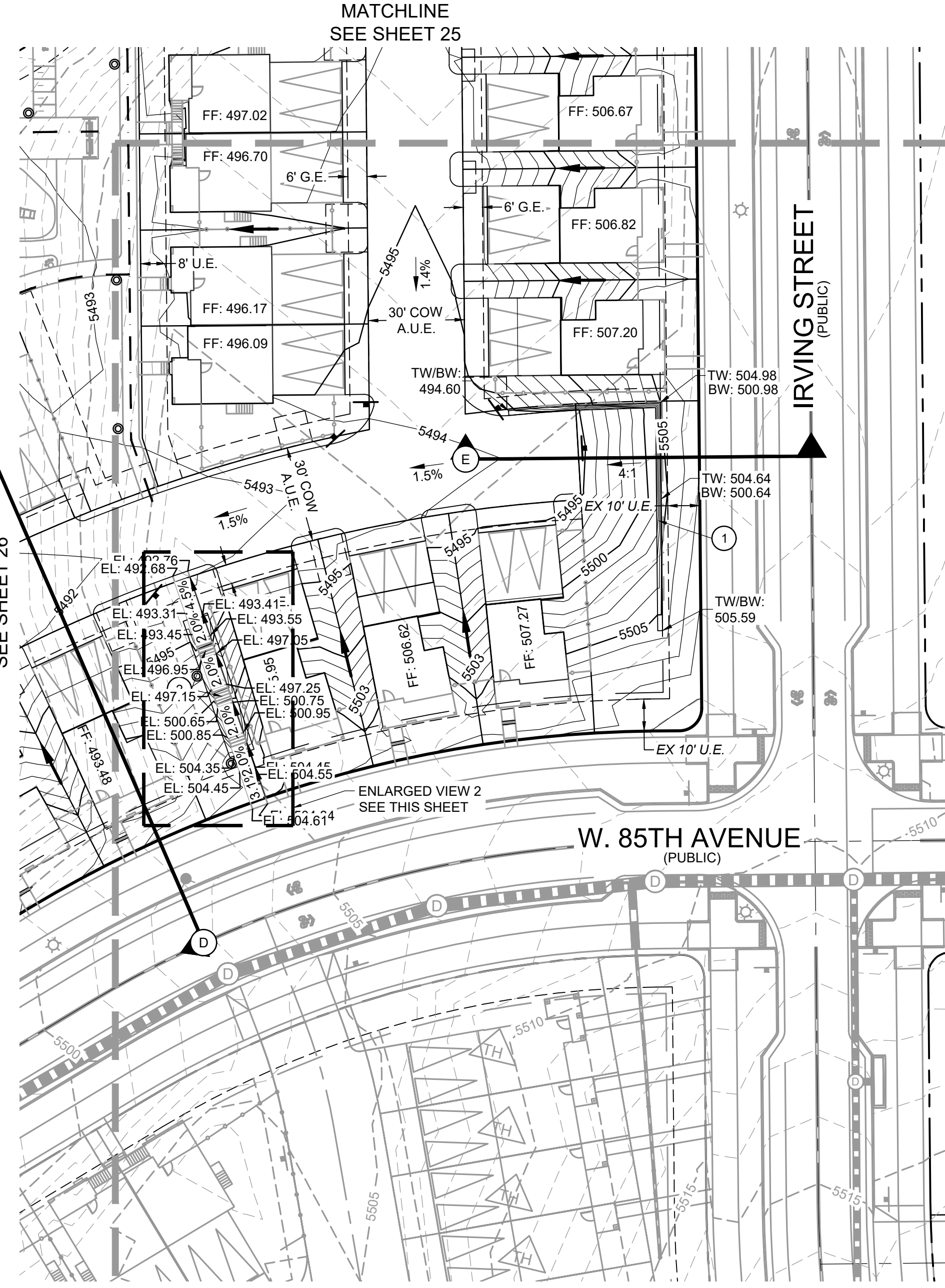
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KEYNOTE LEGEND:

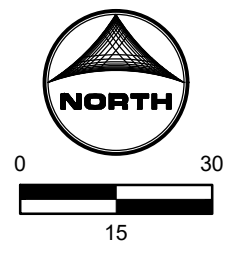
- ① VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 19)
- ② STAIRS
- ③ SIDEWALK RAMPS
- ④ WALL RAILING

NOTES:

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ENLARGED VIEW 2  
SCALE: 1" = 10'

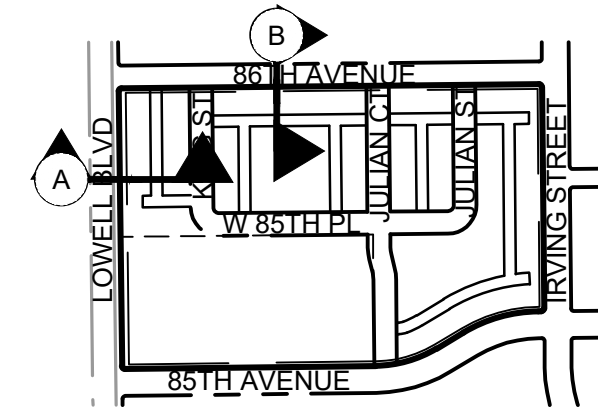


OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

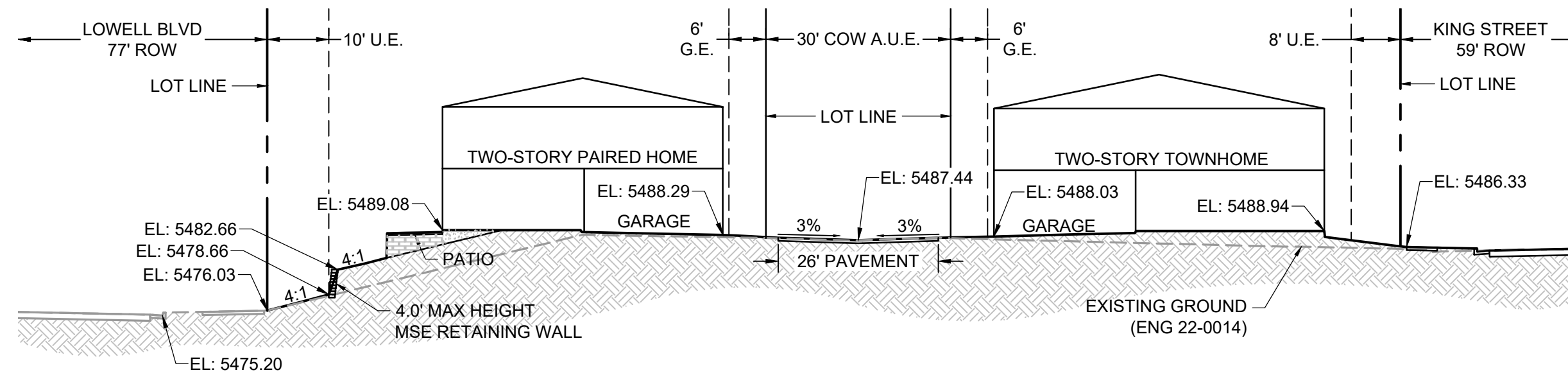
08.08.2024	
10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 28 OF 156

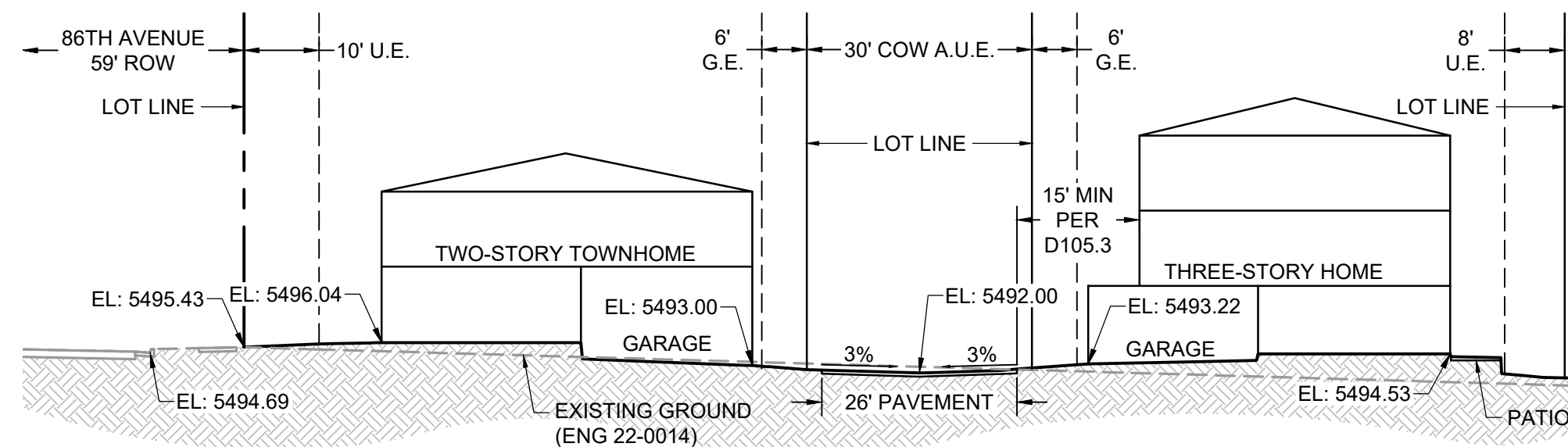


**UPLANDS**

DATE: 10.10.2024



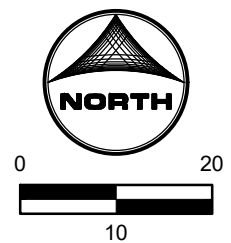
SECTION A-A  
 SCALE 1"=20'



SECTION B-B  
 SCALE 1"=20'

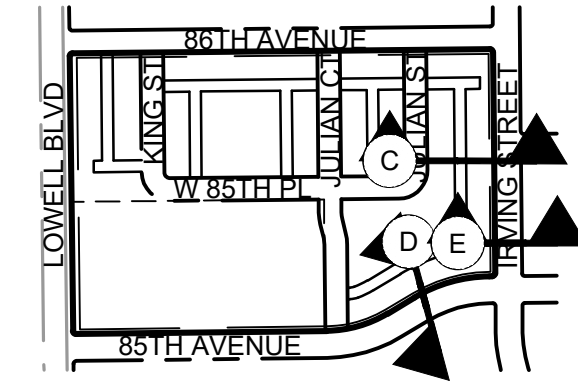
**UPLANDS FILING NO. 1  
 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024





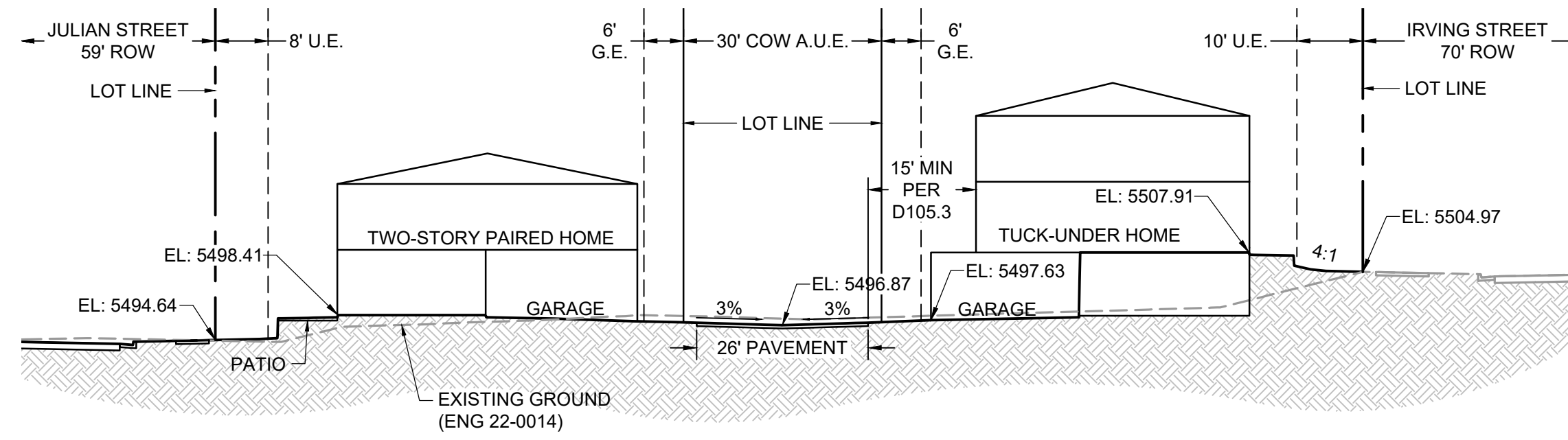
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 29 OF 156



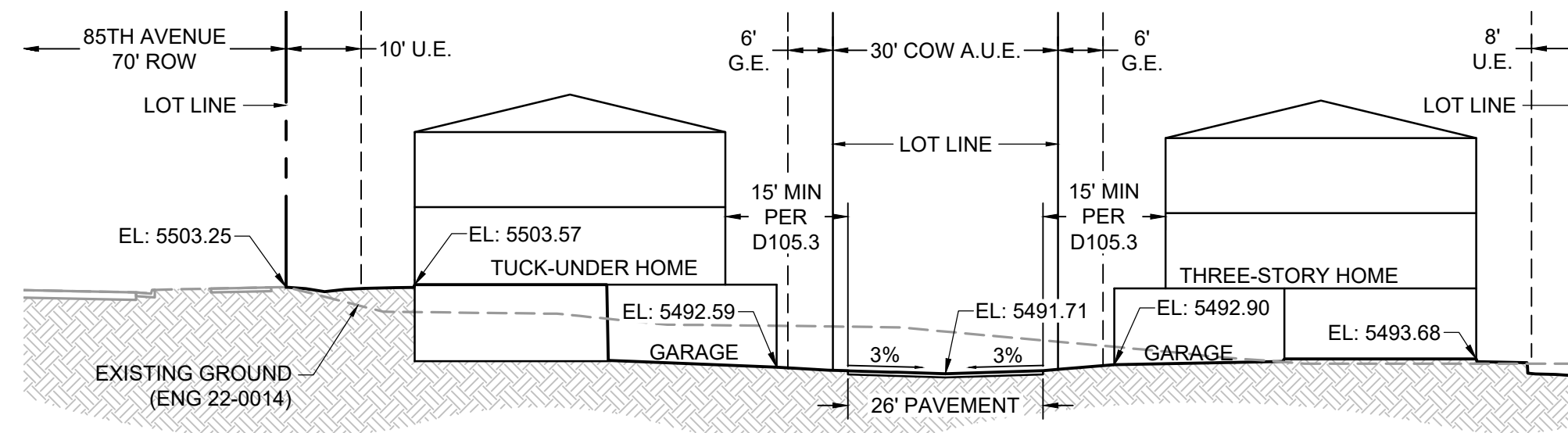
**UPLANDS**

DATE: 10.10.2024

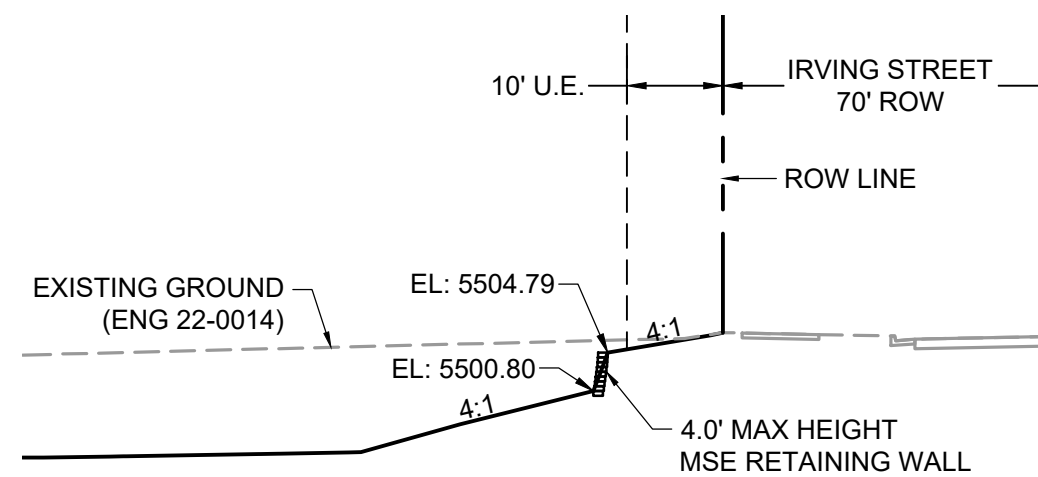
**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



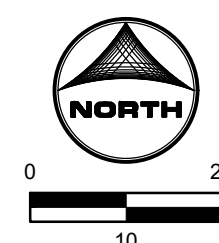
SECTION C-C  
 SCALE 1"=20'



SECTION D-D  
 SCALE 1"=20'



SECTION E-E  
 SCALE 1"=20'



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

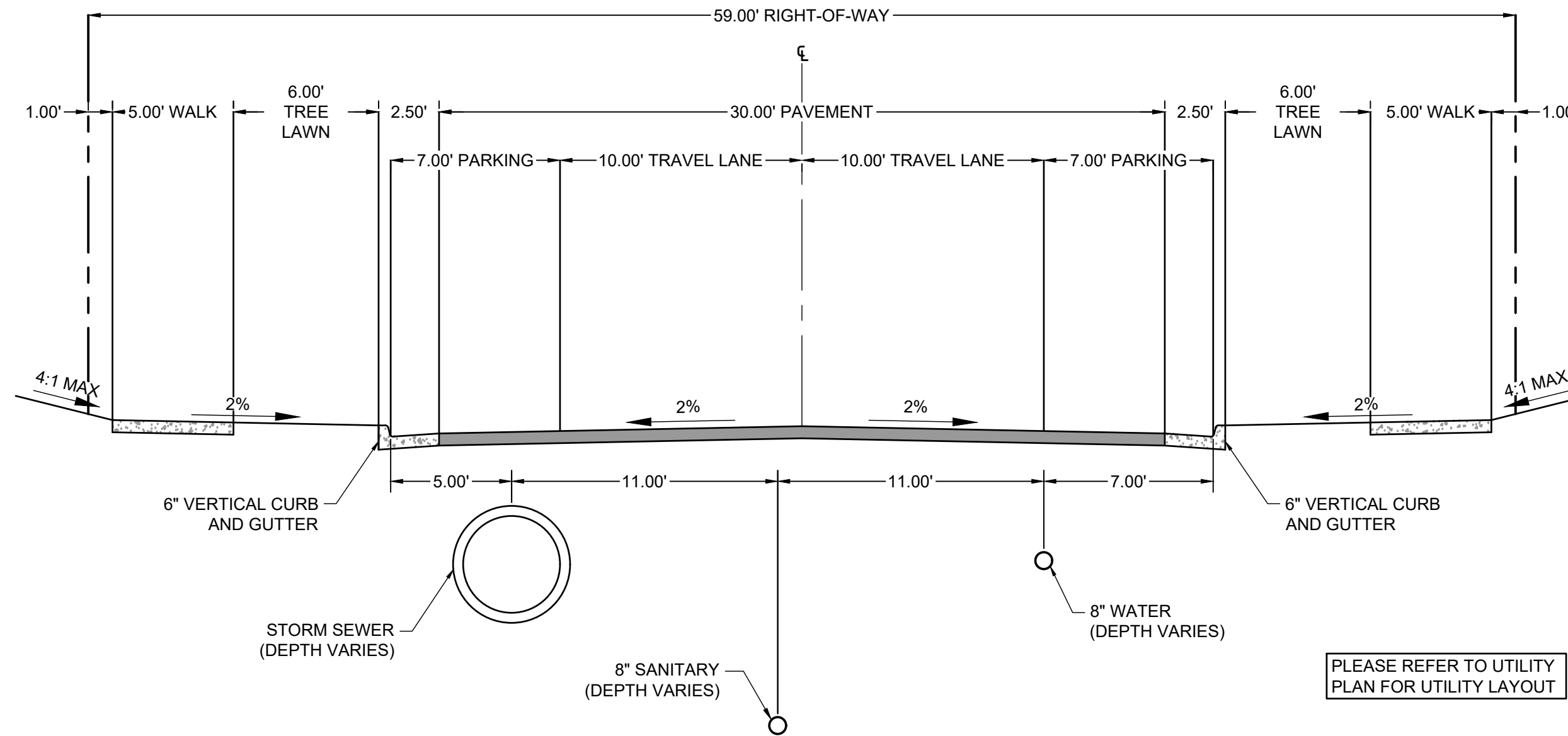
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 30 OF 156



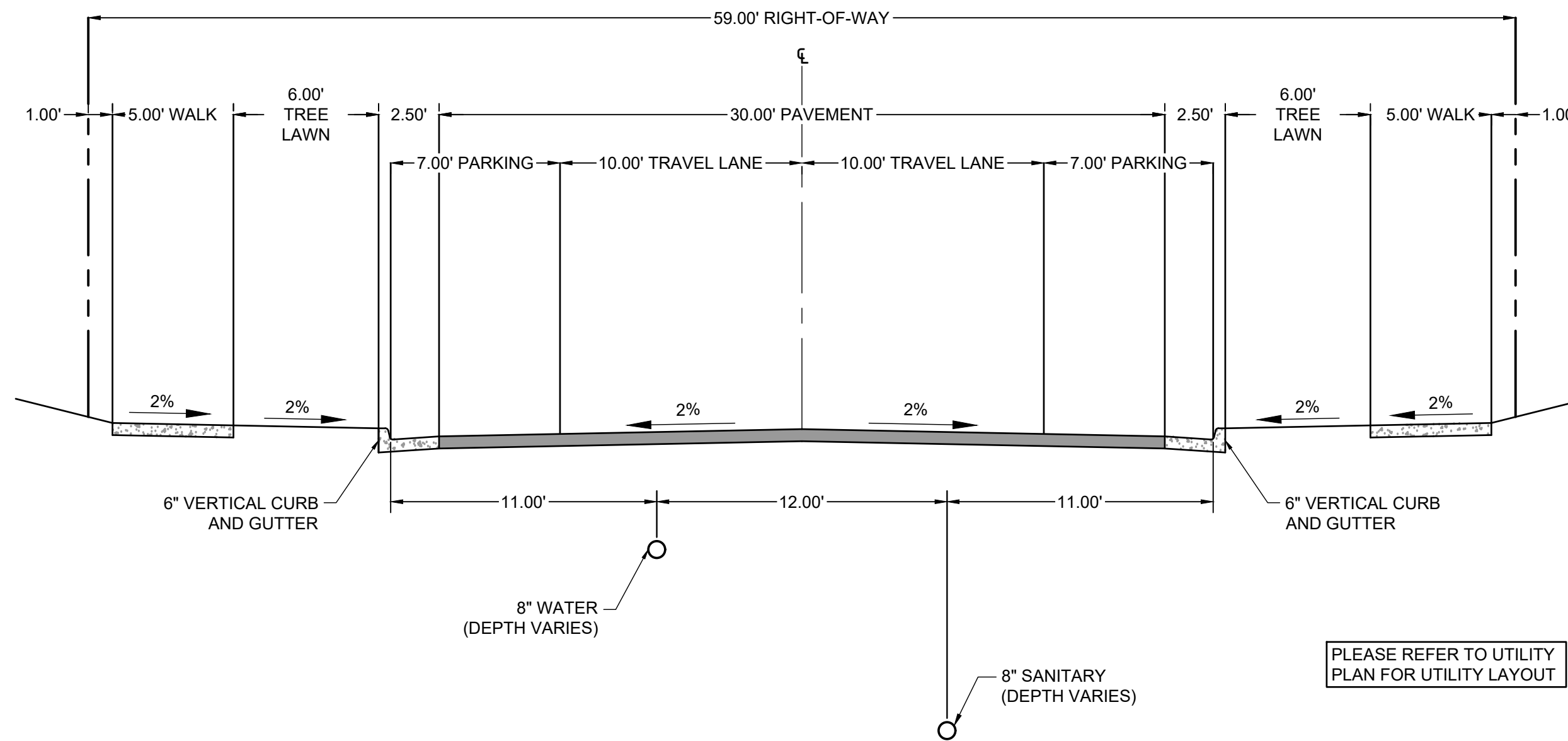
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



**LOCAL W/ DETACHED WALK - 3 UTILITIES  
 W/ PARKING (59' ROW)**



**LOCAL W/ DETACHED WALK  
 W/ PARKING (59' ROW)**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 31 OF 156



**ONE UTILITY**

**UPLANDS**

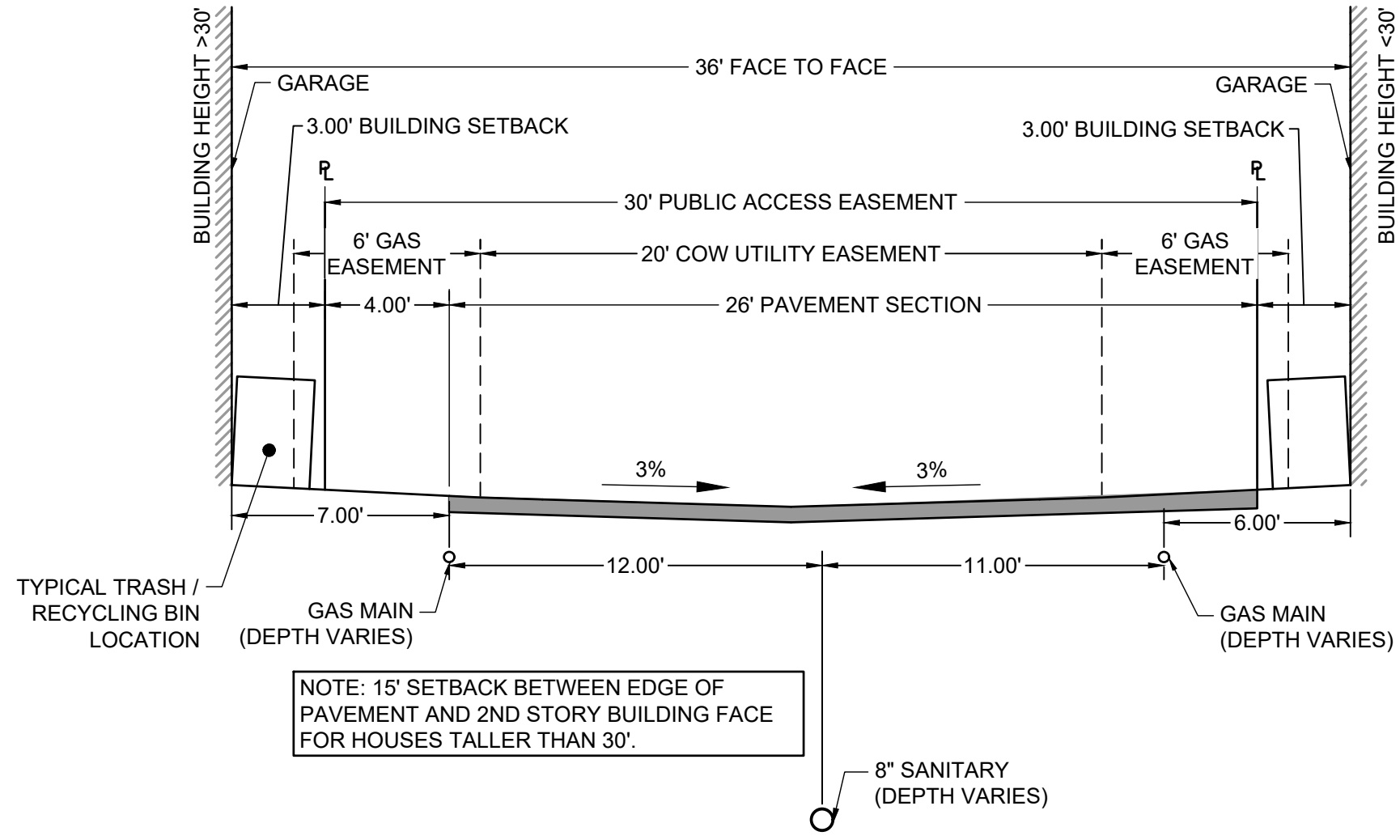
DATE: 10.10.2024

**UPLANDS FILING NO. 1**

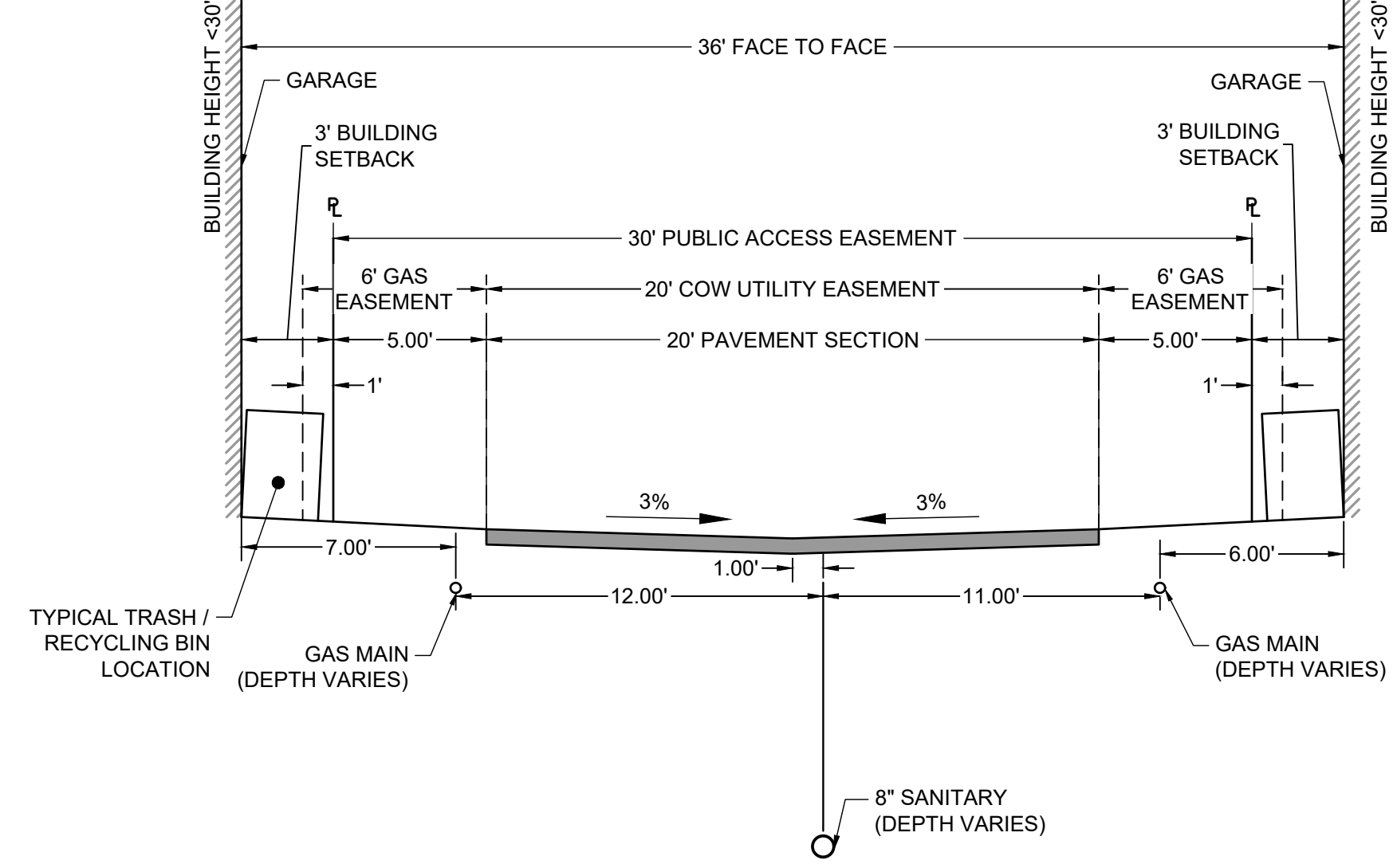
**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

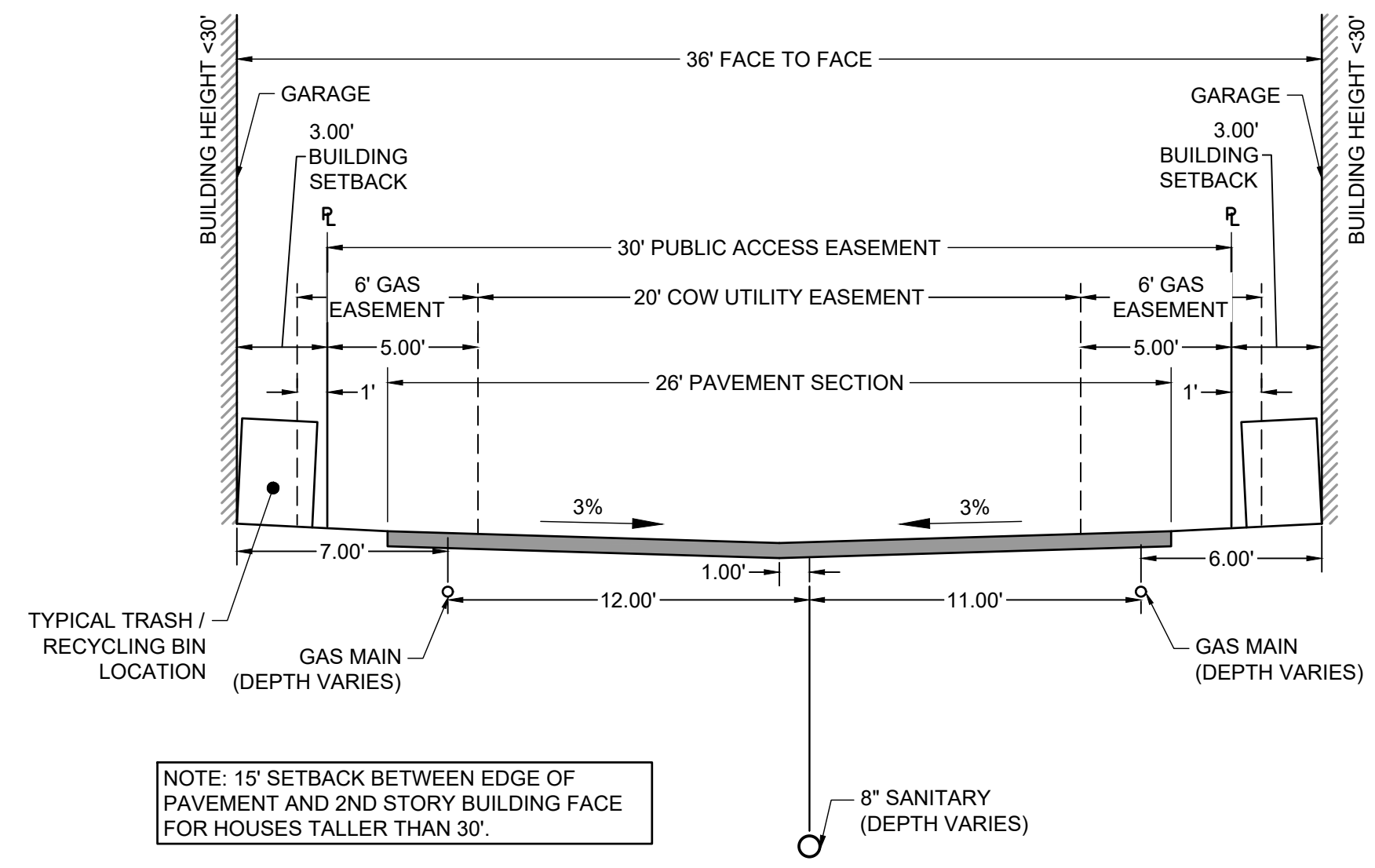
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024



**30' ALLEY SECTION**  
 (NO PARKING, FIRE ACCESS)



**30' ALLEY SECTION**  
 (NO PARKING, NO FIRE ACCESS)



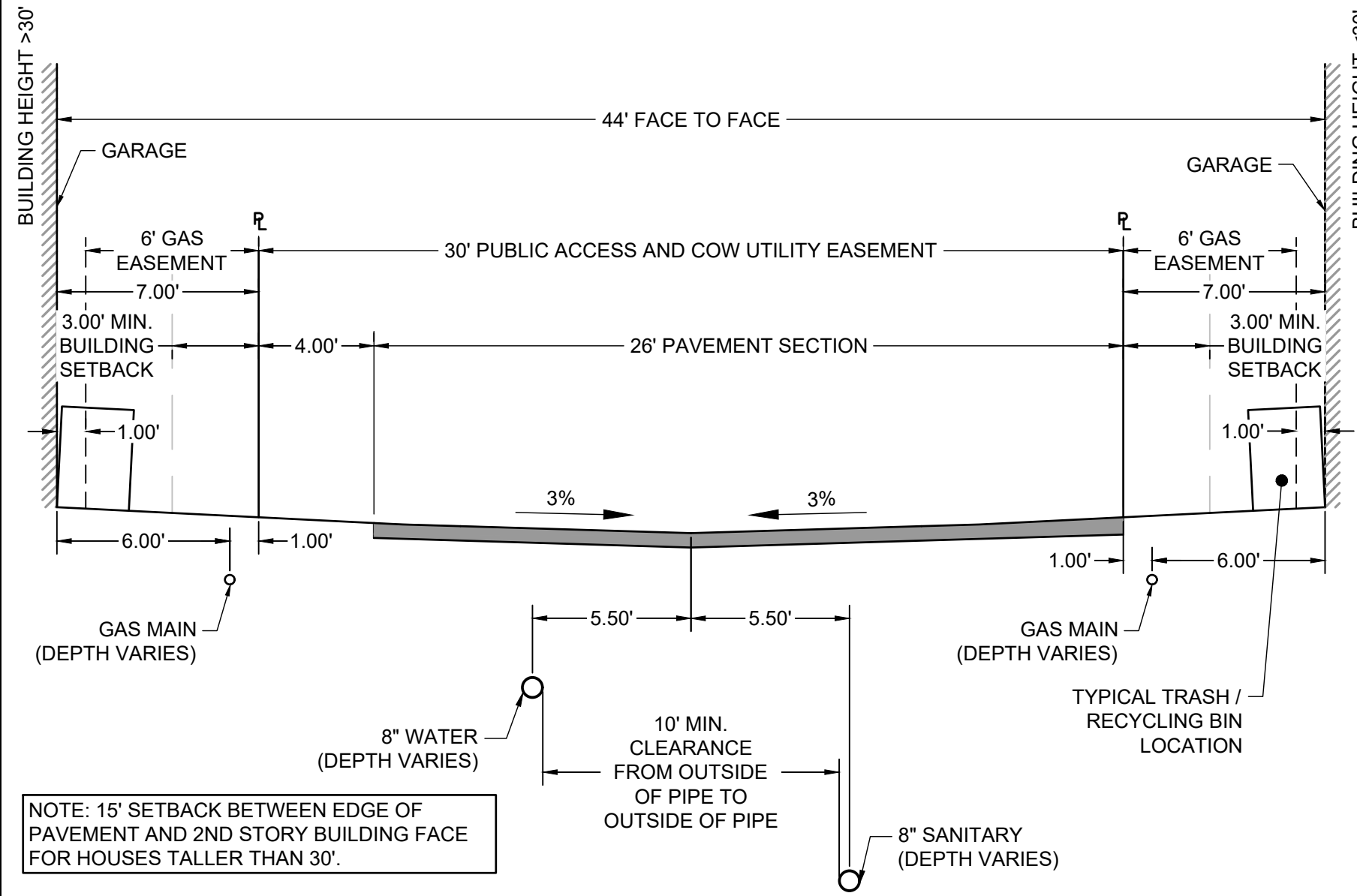
**30' ALLEY SECTION**  
 (NO PARKING, FIRE ACCESS)



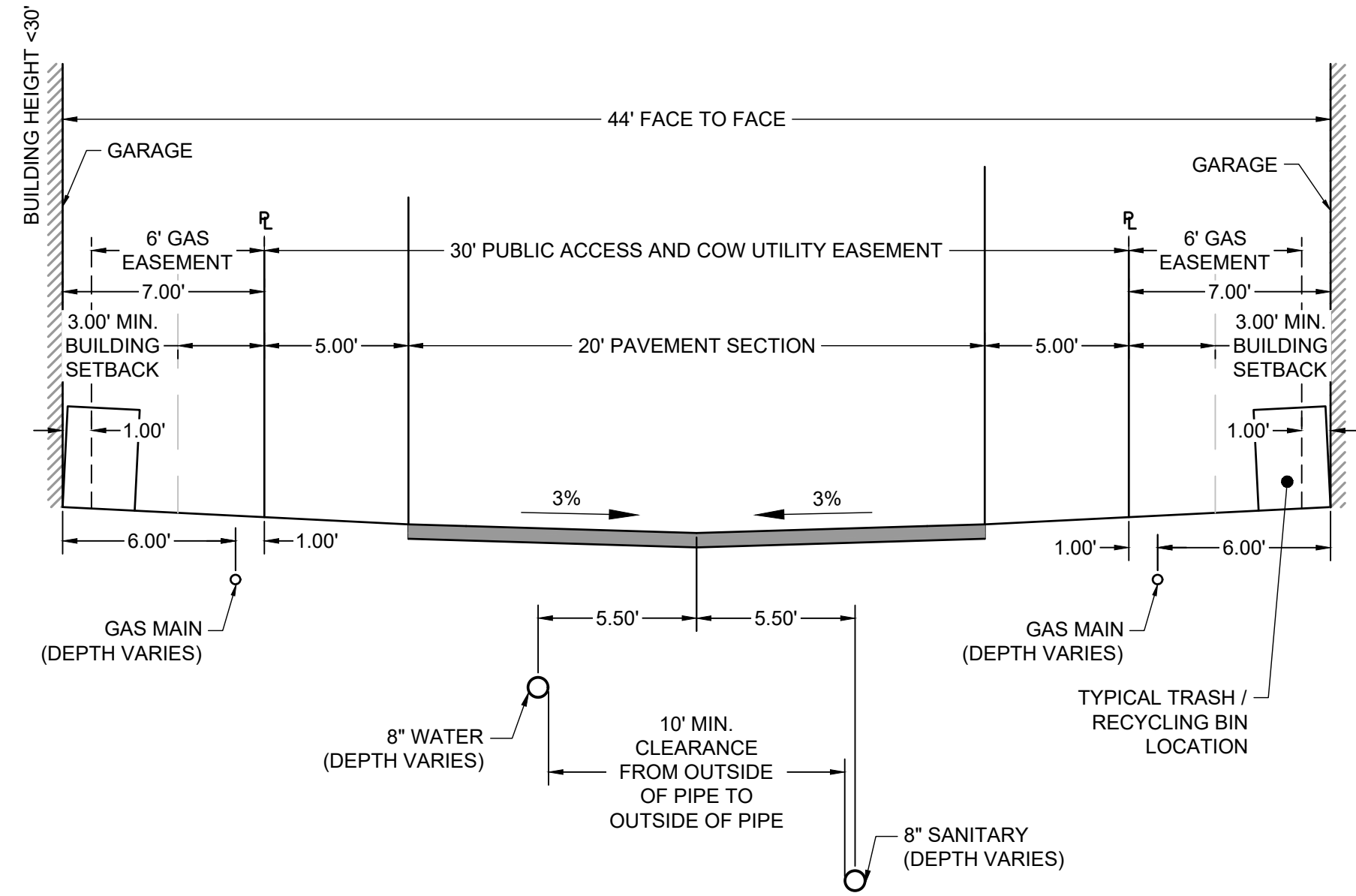
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 32 OF 156



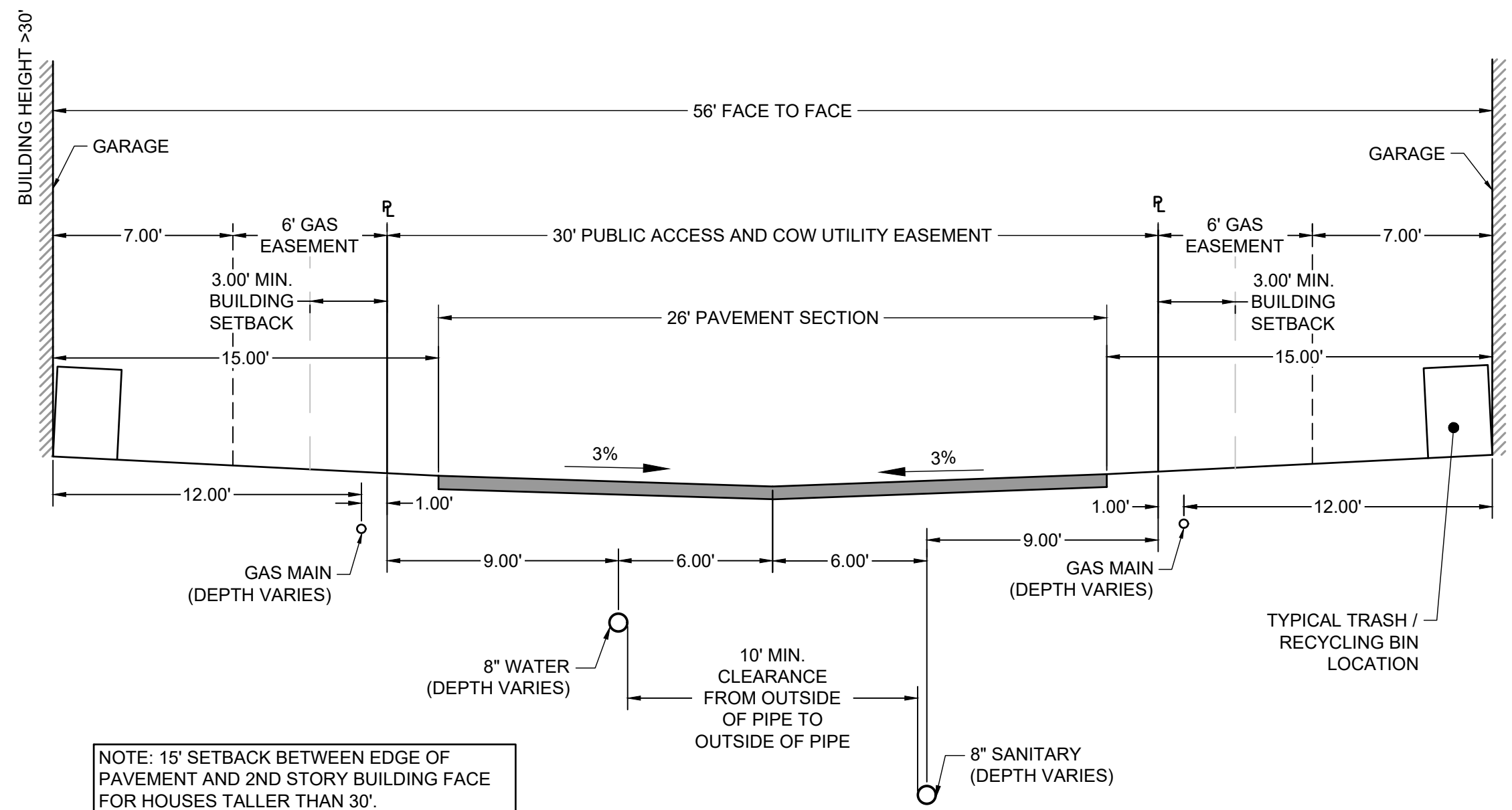
**TWO UTILITIES**



**30' ALLEY SECTION**  
(NO PARKING, FIRE ACCESS)



**30' ALLEY SECTION**  
(NO PARKING, NO FIRE ACCESS)



**30' ALLEY SECTION**  
(NO PARKING, FIRE ACCESS)

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

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08.08.2024

10.10.2024

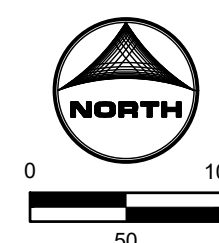
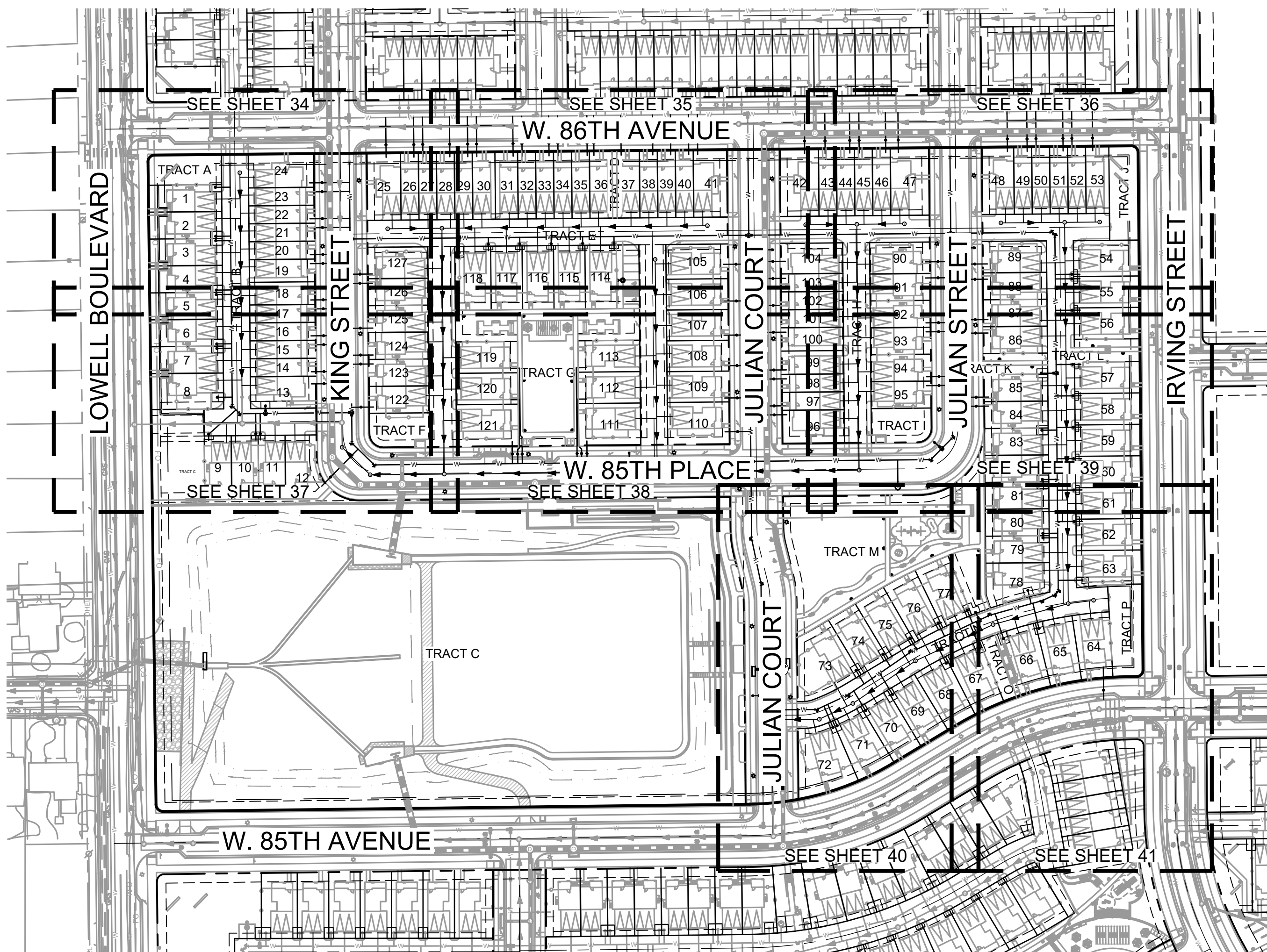
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 33 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



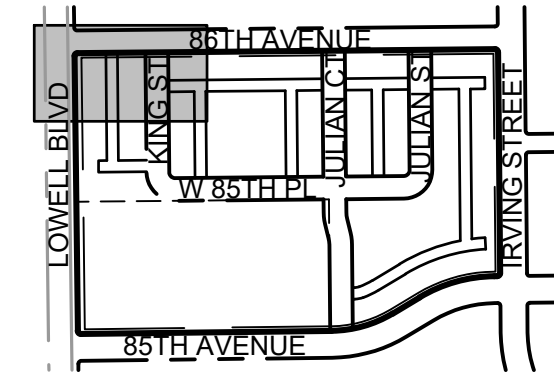
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

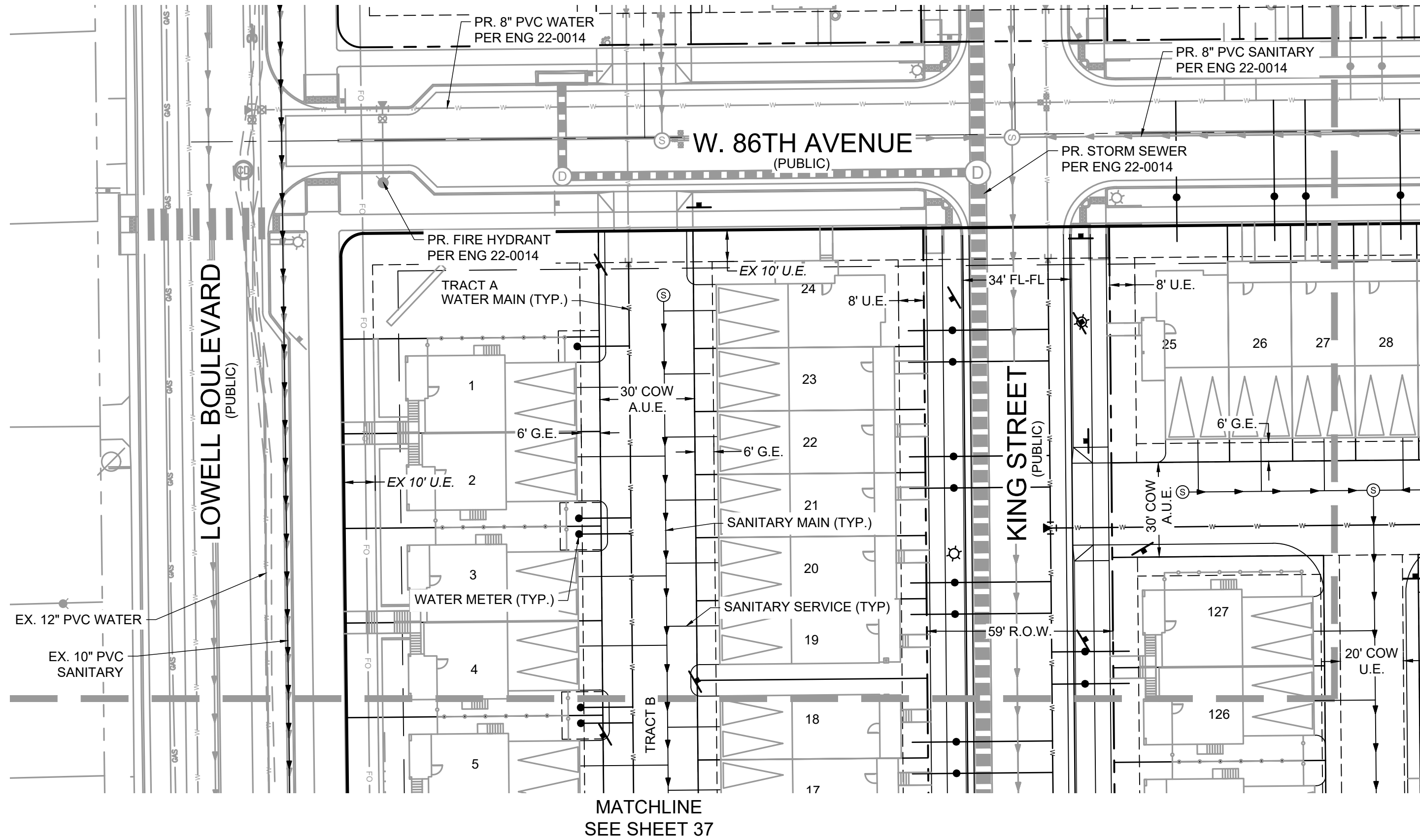
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 34 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



LEGEND:

- PROPERTY LINE
- LOT LINE
- - - RIGHT OF WAY
- PR. SANITARY SEWER
- PR. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- PR. WATER LINE
- PR. WATER SERVICE & METER
- PR. FIRE HYDRANT
- EX. WATER LINE
- EX. FIRE HYDRANT
- PR. STORM SEWER
- PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. STORM INLET
- PR. PRIVATE LIGHT POLE
- PR. PUBLIC LIGHT POLE
- PR. PUBLIC LIGHT POLE PER ENG 22-0014

ABBREVIATIONS:

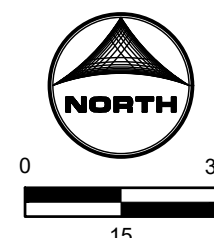
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.

MATCHLINE  
SEE SHEET 35

MATCHLINE  
SEE SHEET 37



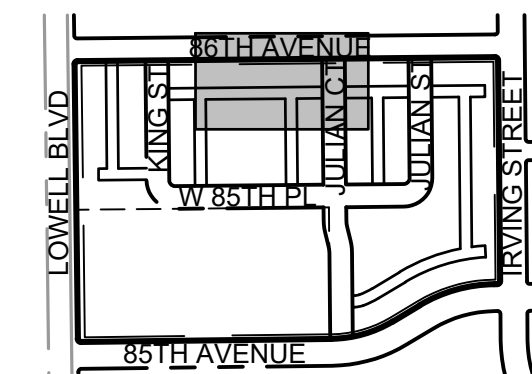
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 35 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

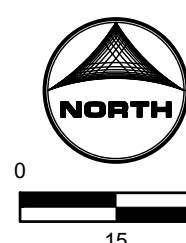
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

35 OF 156  
UTILITY PLAN



LEGEND:

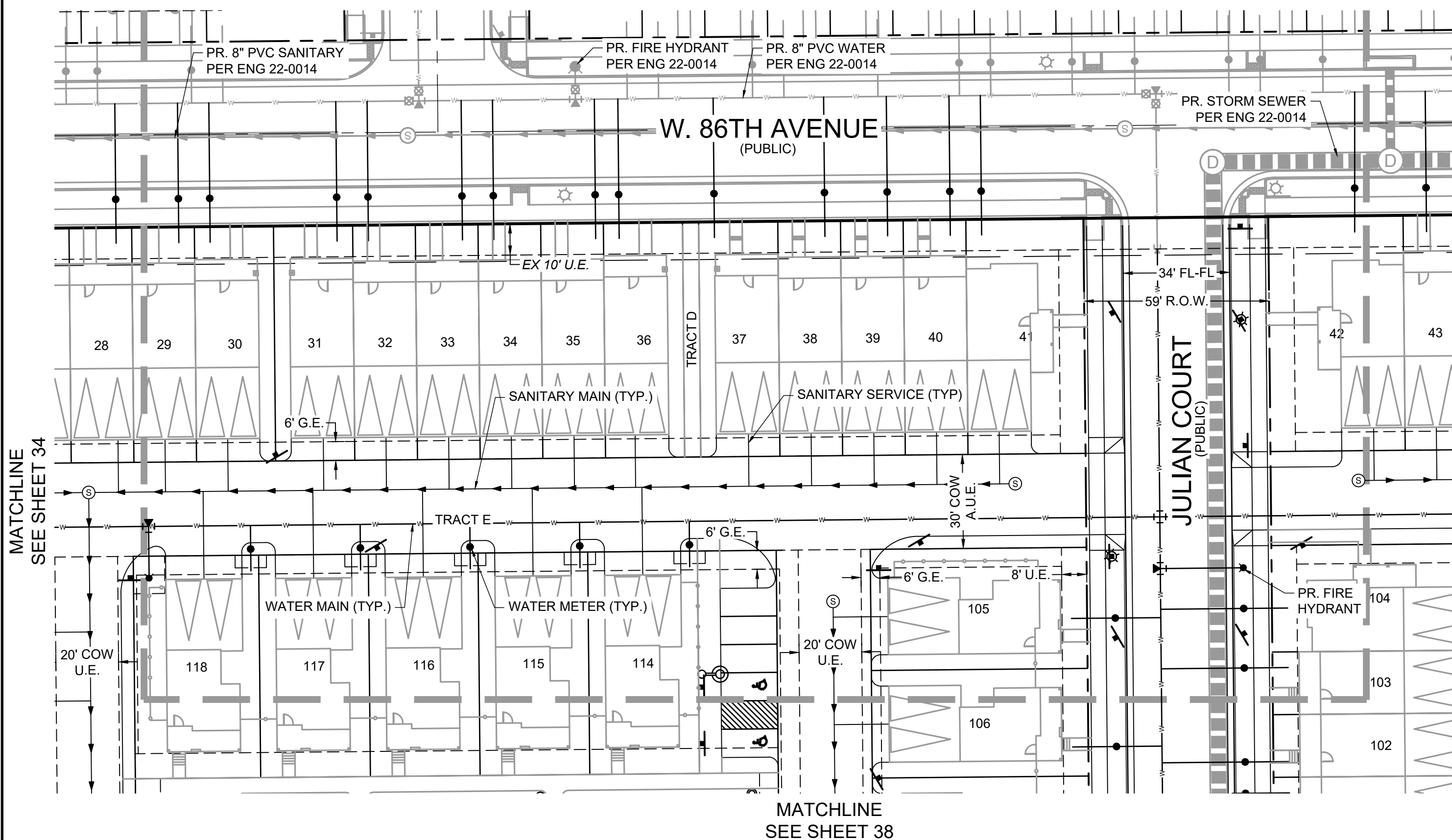
- PROPERTY LINE
- - - LOT LINE
- - - RIGHT OF WAY
- PR. SANITARY SEWER
- EX. SANITARY SEWER
- ⊙ PR. SANITARY MANHOLE
- ⊙ EX. SANITARY MANHOLE
- PR. WATER LINE
- PR. WATER SERVICE & METER
- ⊙ PR. FIRE HYDRANT
- EX. WATER LINE
- ⊙ EX. FIRE HYDRANT
- PR. STORM SEWER
- ⊙ PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM SEWER
- ⊙ EX. STORM MANHOLE
- EX. STORM INLET
- ⊙ PR. PRIVATE LIGHT POLE
- ⊙ PR. PUBLIC LIGHT POLE
- ⊙ PR. PUBLIC LIGHT POLE PER ENG 22-0014

ABBREVIATIONS:

- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.



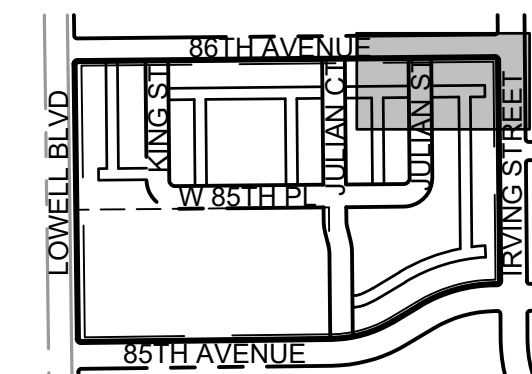
MATCHLINE  
SEE SHEET 36

MATCHLINE  
SEE SHEET 34

MATCHLINE  
SEE SHEET 38



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 36 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

36 OF 156  
UTILITY PLAN

LEGEND:

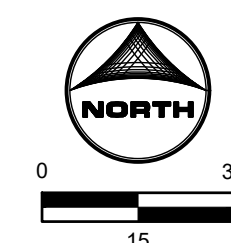
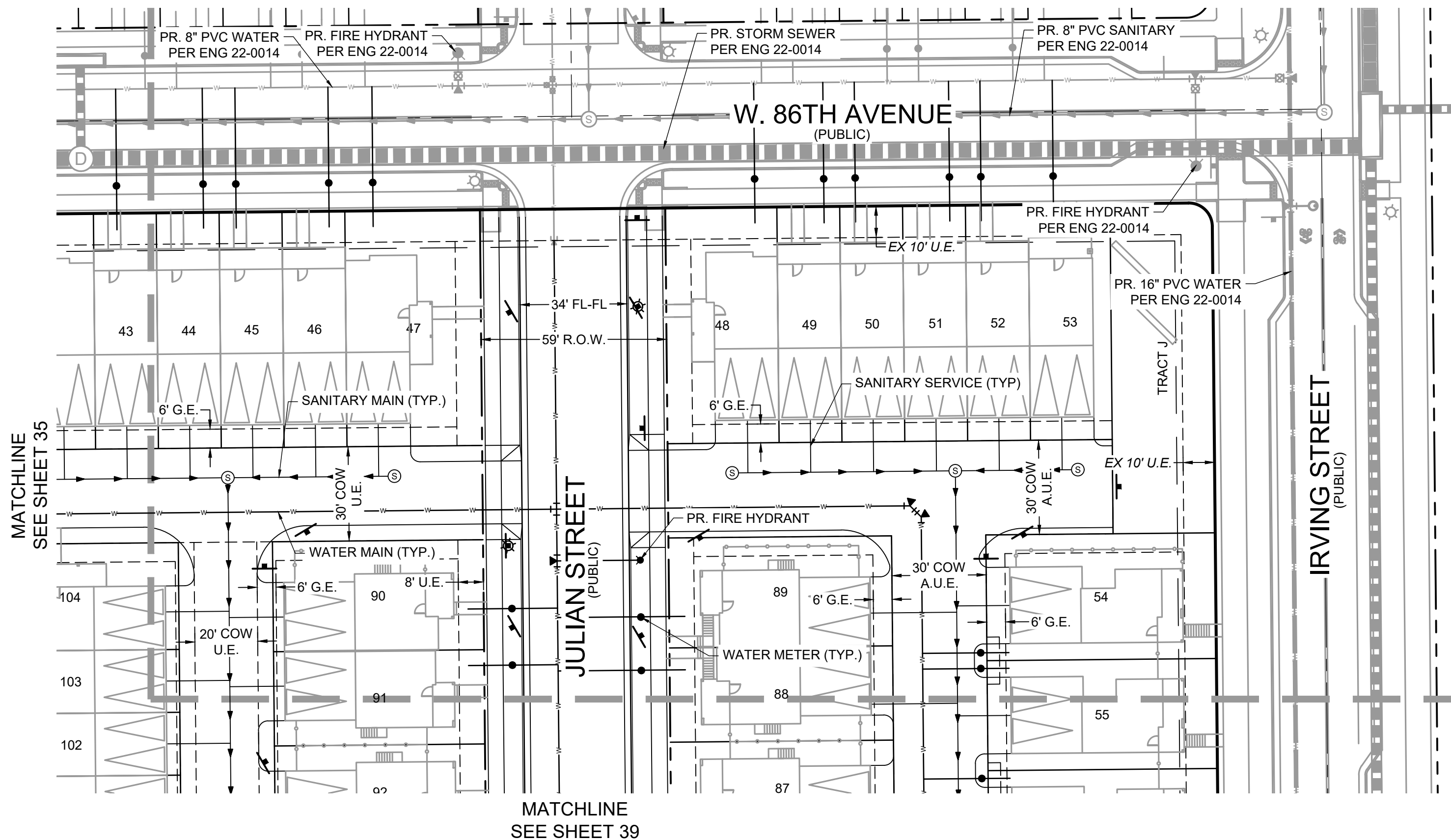
- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR. SANITARY SEWER
- PR. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- PR. WATER LINE
- PR. WATER SERVICE & METER
- PR. FIRE HYDRANT
- EX. WATER LINE
- EX. FIRE HYDRANT
- PR. STORM SEWER
- PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM MANHOLE
- EX. STORM INLET
- PR. PRIVATE LIGHT POLE
- PR. PUBLIC LIGHT POLE
- PR. PUBLIC LIGHT POLE PER ENG 22-0014

ABBREVIATIONS:

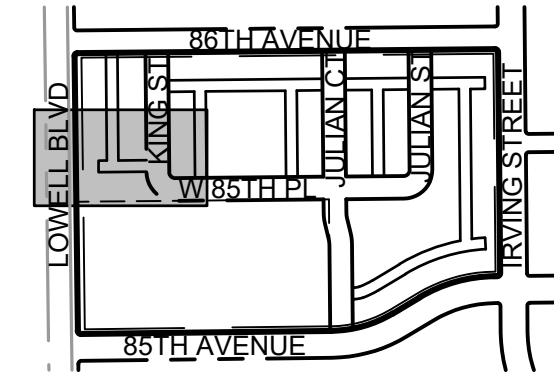
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

NOTES:

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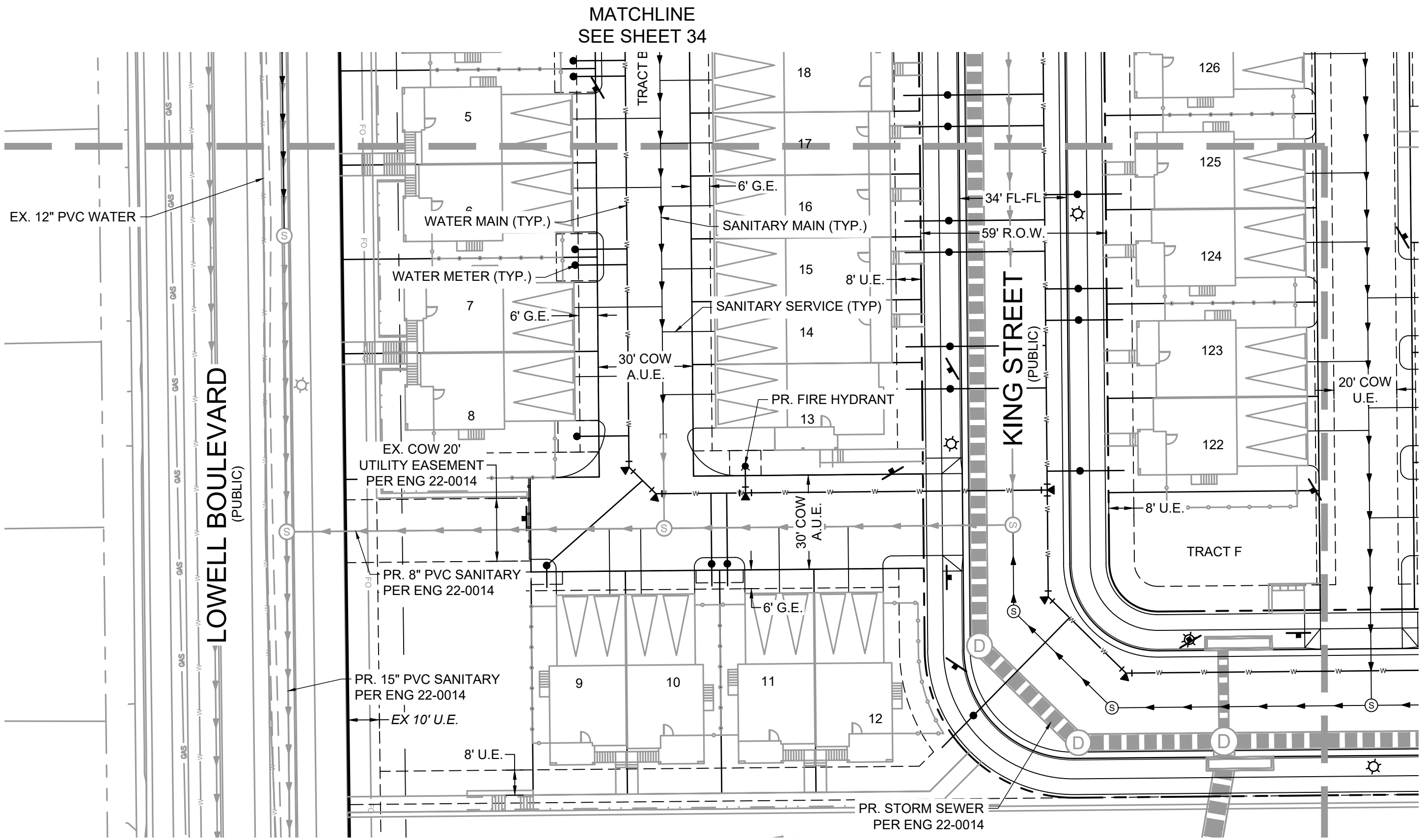
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 37 OF 156



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



LEGEND:

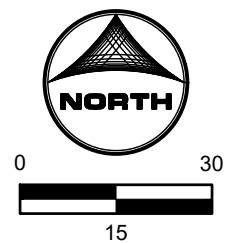
- PROPERTY LINE
- - - LOT LINE
- - - RIGHT OF WAY
- PR. SANITARY SEWER
- EX. SANITARY SEWER
- PR. WATER LINE
- PR. WATER SERVICE & METER
- PR. FIRE HYDRANT
- EX. WATER LINE
- EX. FIRE HYDRANT
- PR. STORM SEWER
- (D) PR. STORM MANHOLE
- (D) PR. STORM INLET
- (D) EX. STORM MANHOLE
- (D) EX. STORM INLET
- ⊙ PR. PRIVATE LIGHT POLE
- ⊙ PR. PUBLIC LIGHT POLE
- ⊙ PR. PUBLIC LIGHT POLE PER ENG 22-0014

ABBREVIATIONS:

- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.

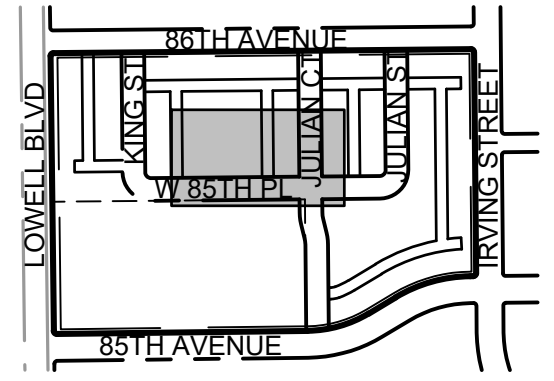


OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024	
10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 38 OF 156

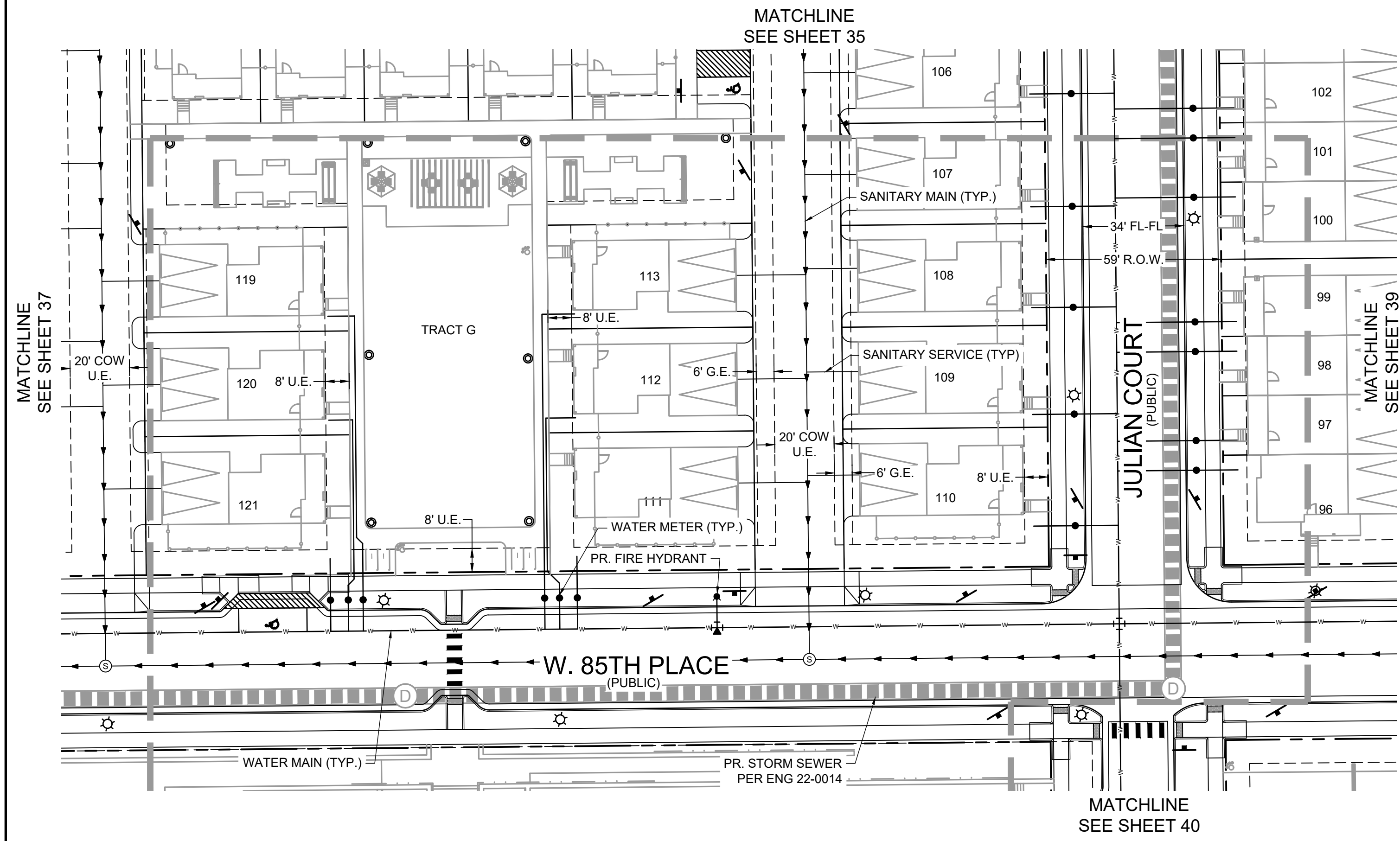


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

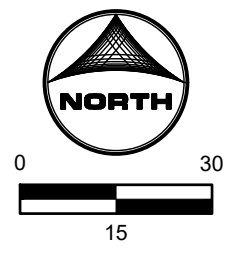
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024



- LEGEND:**
- PROPERTY LINE
  - - - LOT LINE
  - - - RIGHT OF WAY
  - PR. SANITARY SEWER
  - ⊕ PR. SANITARY MANHOLE
  - EX. SANITARY SEWER
  - ⊕ EX. SANITARY MANHOLE
  - PR. WATER LINE
  - PR. WATER SERVICE & METER
  - ⊕ PR. FIRE HYDRANT
  - EX. WATER LINE
  - ⊕ EX. FIRE HYDRANT
  - PR. STORM SEWER
  - ⊕ PR. STORM MANHOLE
  - ⊕ PR. STORM INLET
  - EX. STORM SEWER
  - ⊕ EX. STORM MANHOLE
  - ⊕ EX. STORM INLET
  - ⊕ PR. PRIVATE LIGHT POLE
  - ⊕ PR. PUBLIC LIGHT POLE
  - ⊕ PR. PUBLIC LIGHT POLE PER ENG 22-0014

- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
  - COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
  - COW U.E. - COW UTILITY EASEMENT
  - G.E. - GAS EASEMENT
  - U.E. - UTILITY EASEMENT

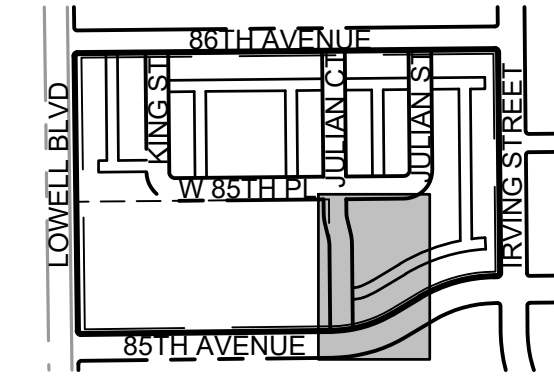
- NOTES:**
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
  2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.







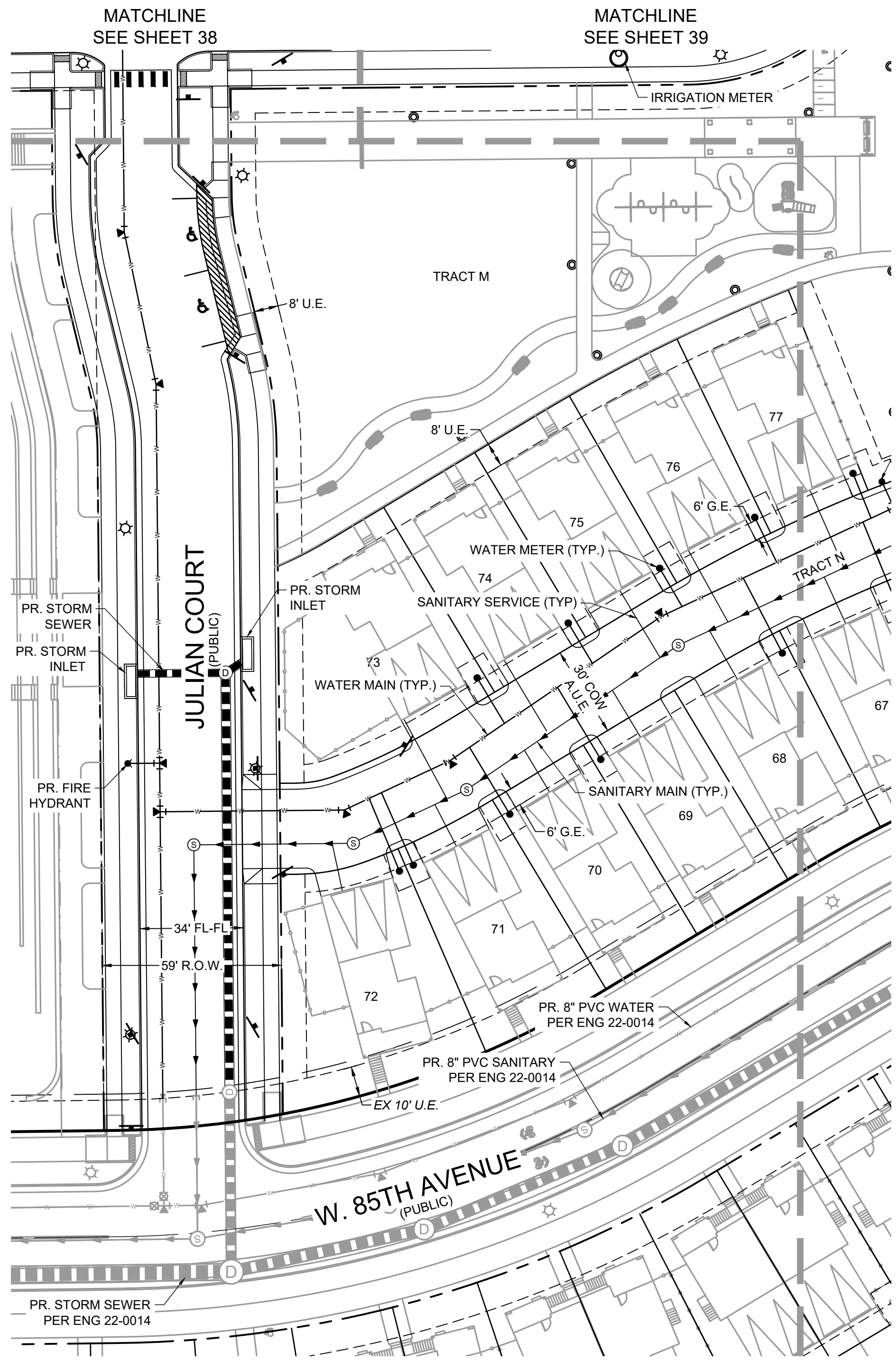
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 40 OF 156



UPLANDS

DATE: 10.10.2024

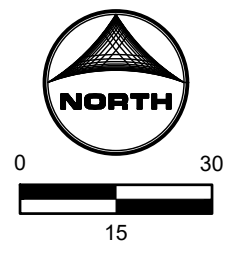
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



- LEGEND:**
- PROPERTY LINE
  - - - LOT LINE
  - - - RIGHT OF WAY
  - PR. SANITARY SEWER
  - ⊙ PR. SANITARY MANHOLE
  - EX. SANITARY SEWER
  - ⊙ EX. SANITARY MANHOLE
  - PR. WATER LINE
  - PR. WATER SERVICE & METER
  - ⊙ PR. FIRE HYDRANT
  - EX. WATER LINE
  - ⊙ EX. FIRE HYDRANT
  - PR. STORM SEWER
  - ⊙ PR. STORM MANHOLE
  - ⊙ PR. STORM INLET
  - EX. STORM SEWER
  - ⊙ EX. STORM MANHOLE
  - ⊙ EX. STORM INLET
  - ⊙ PR. PRIVATE LIGHT POLE
  - ⊙ PR. PUBLIC LIGHT POLE
  - ⊙ PR. PUBLIC LIGHT POLE PER ENG 22-0014

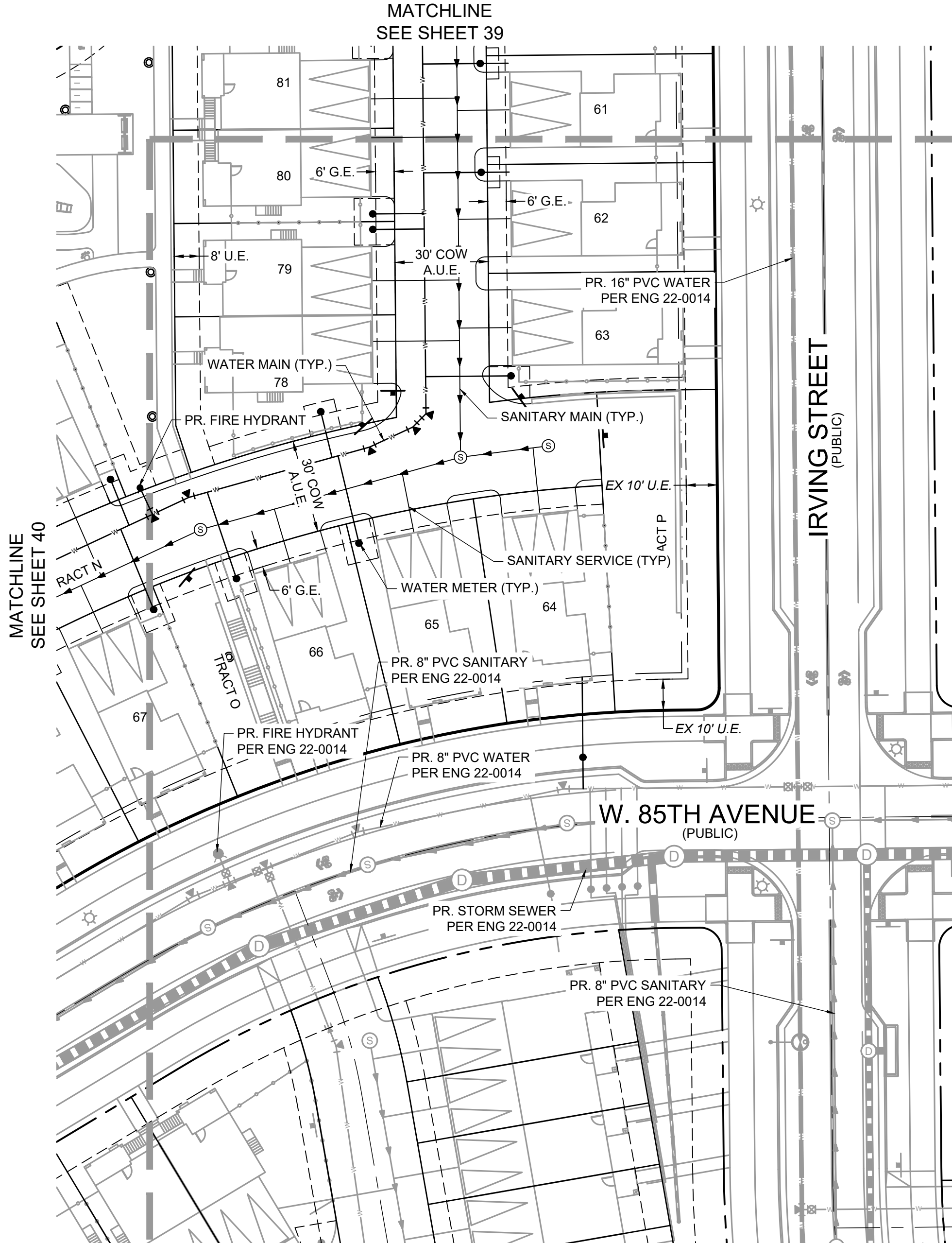
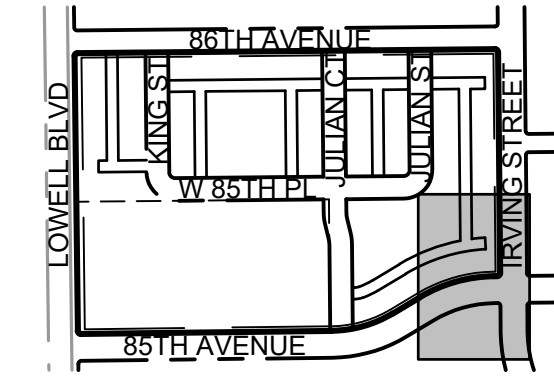
- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
  - COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
  - COW U.E. - COW UTILITY EASEMENT
  - G.E. - GAS EASEMENT
  - U.E. - UTILITY EASEMENT

- NOTES:**
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
  2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 41 OF 156

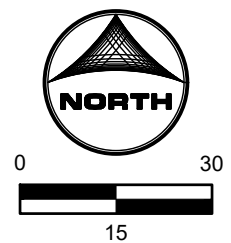


- LEGEND:**
- PROPERTY LINE
  - LOT LINE
  - - - RIGHT OF WAY
  - PR. SANITARY SEWER
  - ⊙ PR. SANITARY MANHOLE
  - EX. SANITARY SEWER
  - ⊙ EX. SANITARY MANHOLE
  - PR. WATER LINE
  - PR. WATER SERVICE & METER
  - ⊙ PR. FIRE HYDRANT
  - EX. WATER LINE
  - ⊙ EX. FIRE HYDRANT
  - PR. STORM SEWER
  - ⊙ PR. STORM MANHOLE
  - PR. STORM INLET
  - EX. STORM SEWER
  - ⊙ EX. STORM MANHOLE
  - EX. STORM INLET
  - ⊙ PR. PRIVATE LIGHT POLE
  - ⊙ PR. PUBLIC LIGHT POLE
  - ⊙ PR. PUBLIC LIGHT POLE PER ENG 22-0014
- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
  - COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
  - COW U.E. - COW UTILITY EASEMENT
  - G.E. - GAS EASEMENT
  - U.E. - UTILITY EASEMENT
- NOTES:**
- ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
  - ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.

UPLANDS

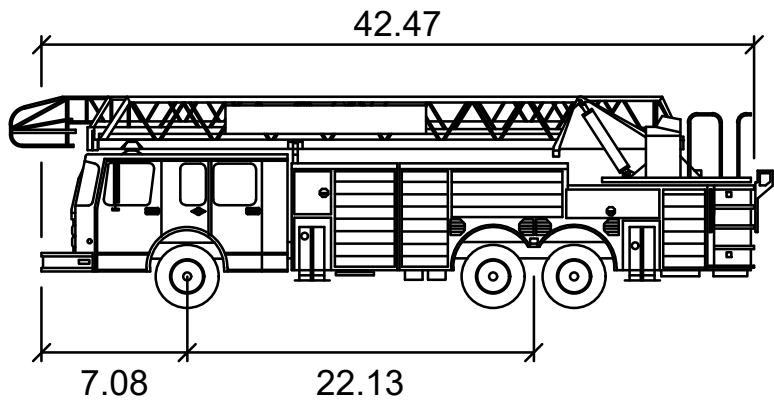
DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024





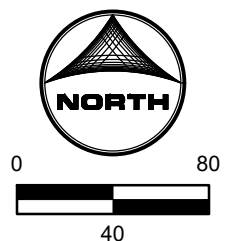
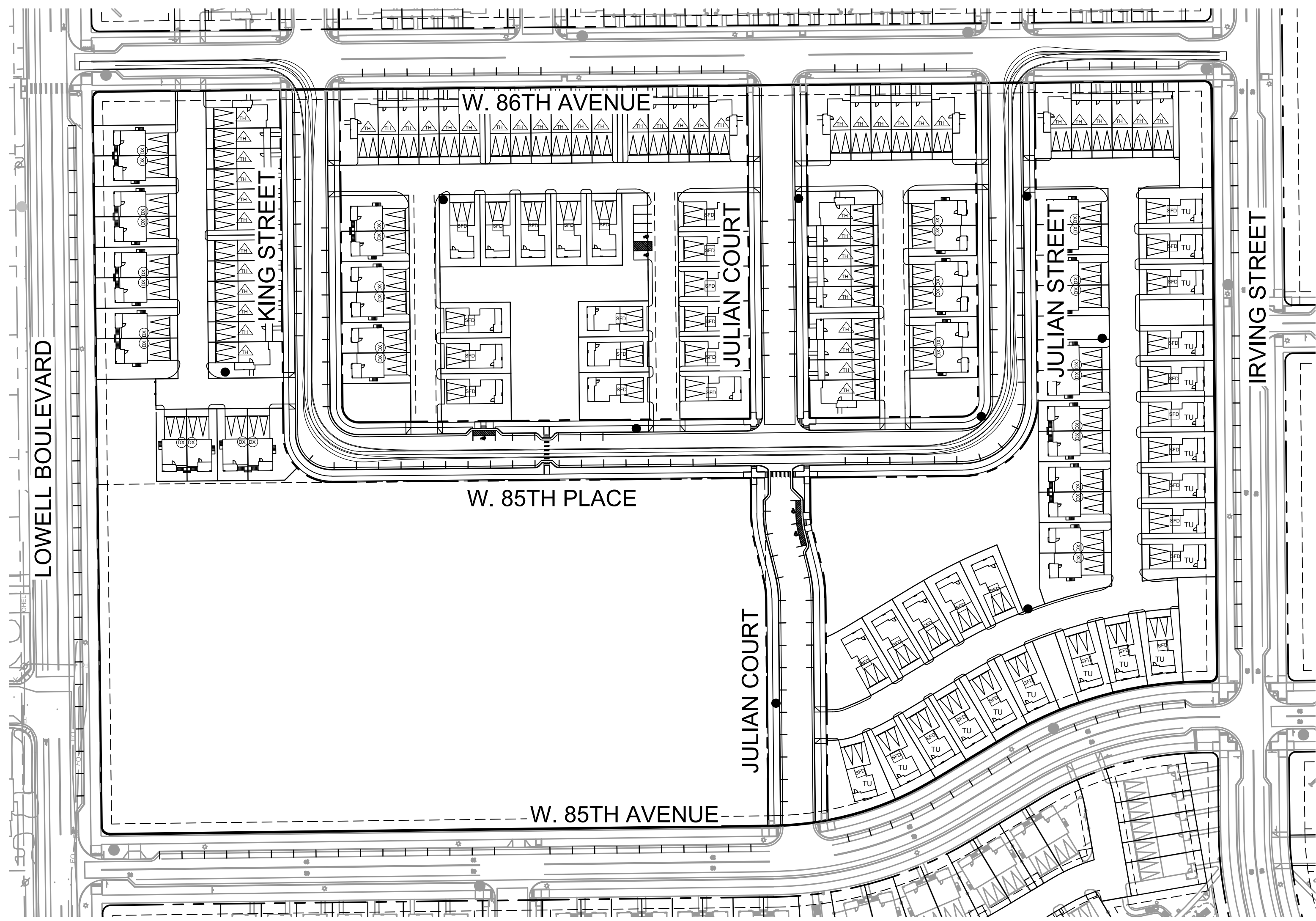
- EX. FIRE HYDRANT
- PR. FIRE HYDRANT PER ENG 22-0014
- PR. FIRE HYDRANT
- TU TUCKUNDER

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 42 OF 156

NOTE:  
 ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.

Westminster Fire Truck

	feet
Width	: 8.33
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 37.1
Inside Cramp Angle	: 40.0
Wall to Wall Turning Rad.	: 45.17



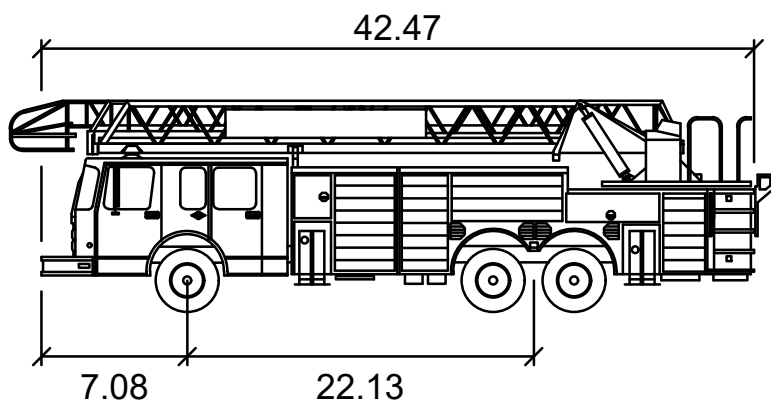
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024





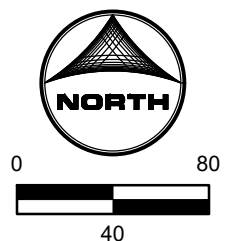
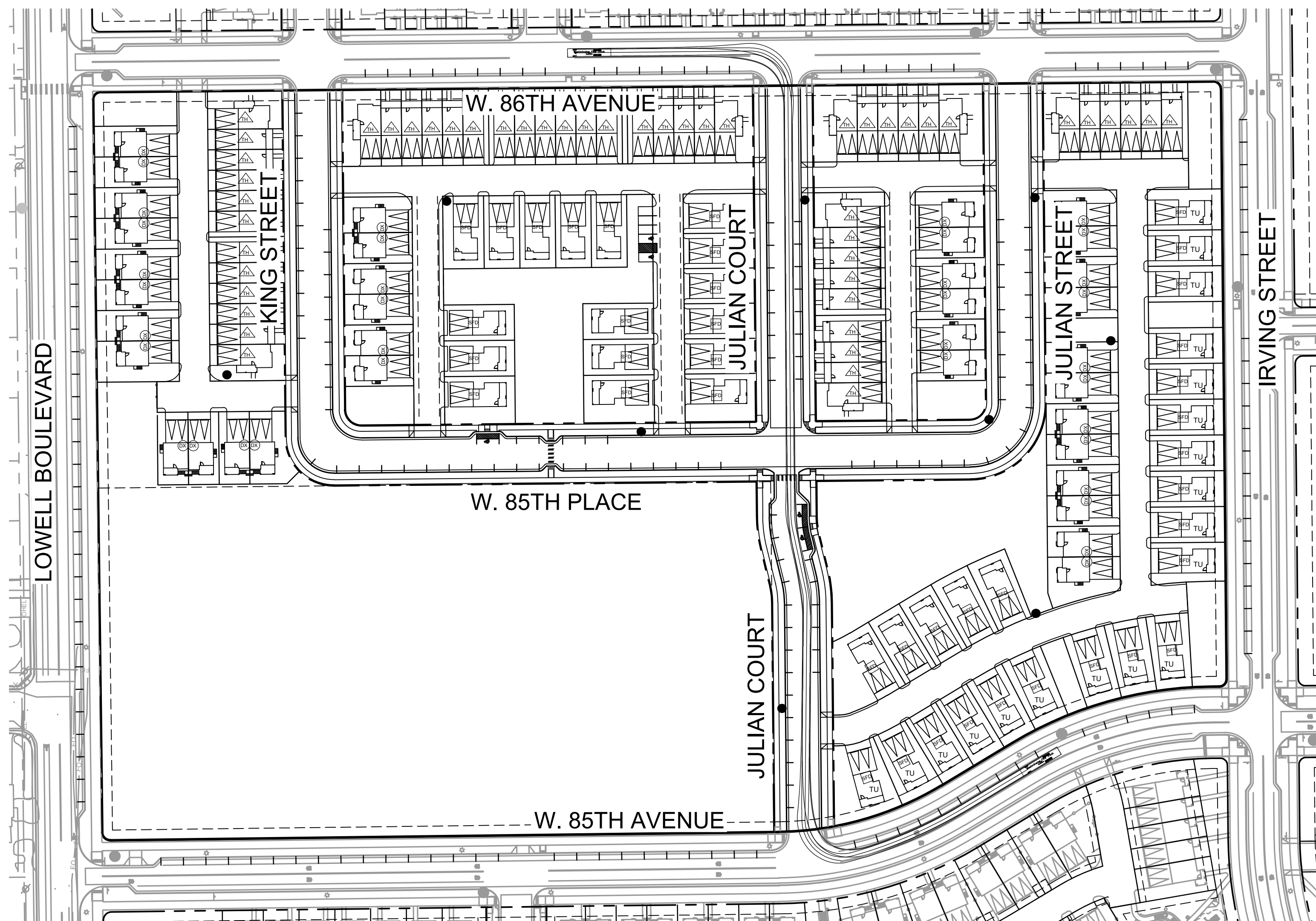
Westminster Fire Truck

	feet
Width	: 8.33
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 37.1
Inside Cramp Angle	: 40.0
Wall to Wall Turning Rad.	: 45.17

- EX. FIRE HYDRANT
- PR. FIRE HYDRANT PER ENG 22-0014
- PR. FIRE HYDRANT
- TU TUCKUNDER

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 43 OF 156

NOTE:  
 ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



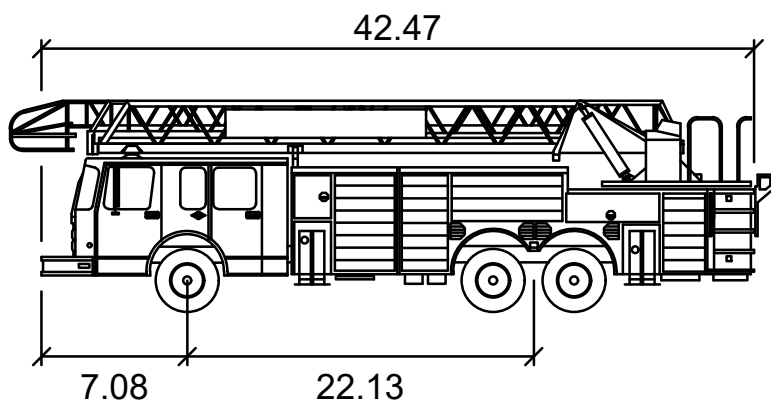
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024





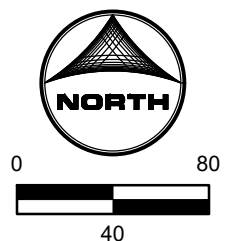
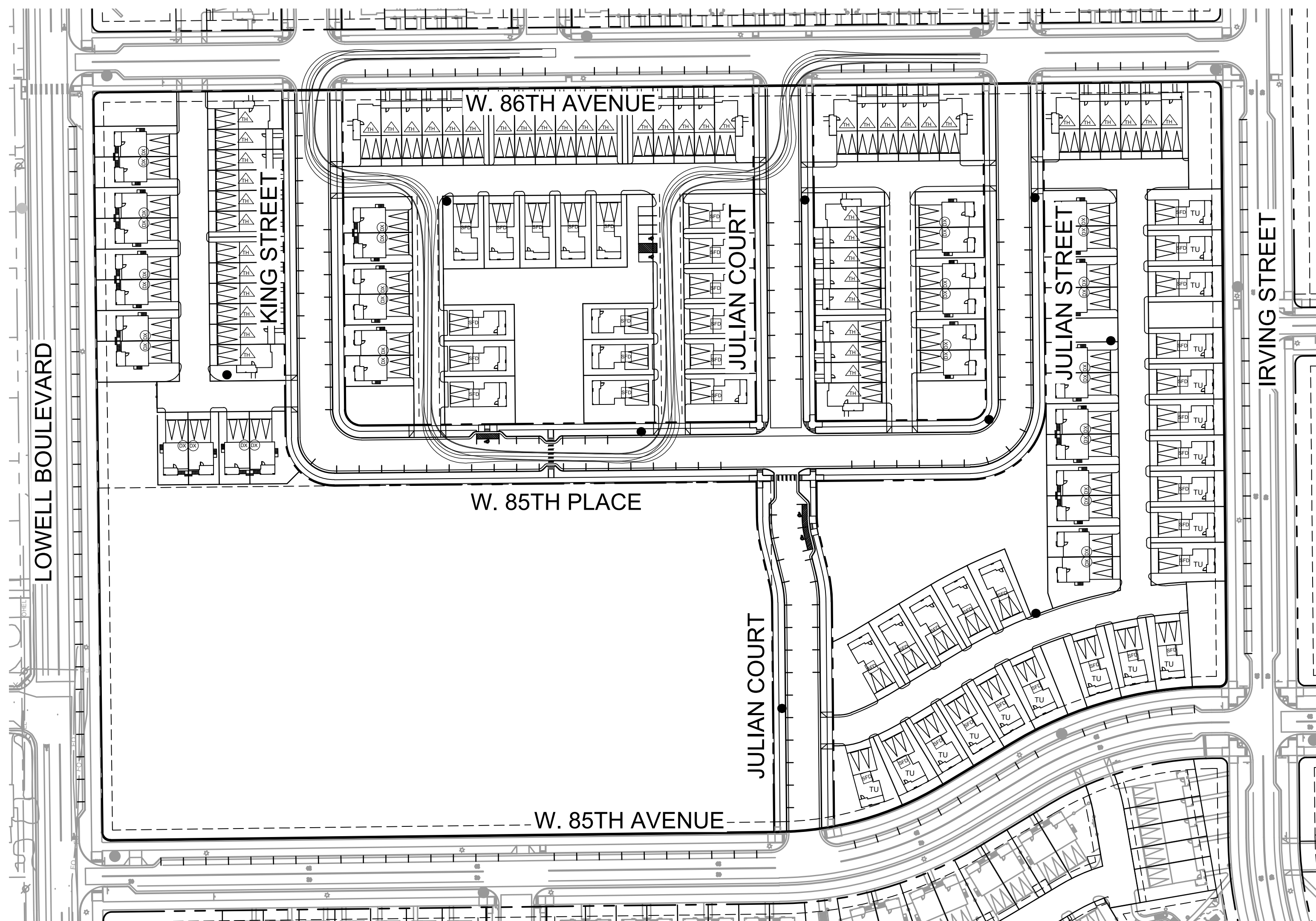
Westminster Fire Truck

	feet
Width	: 8.33
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 37.1
Inside Cramp Angle	: 40.0
Wall to Wall Turning Rad.	: 45.17

- EX. FIRE HYDRANT
- PR. FIRE HYDRANT PER ENG 22-0014
- PR. FIRE HYDRANT
- TU TUCKUNDER

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 44 OF 156

**NOTE:**  
 ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



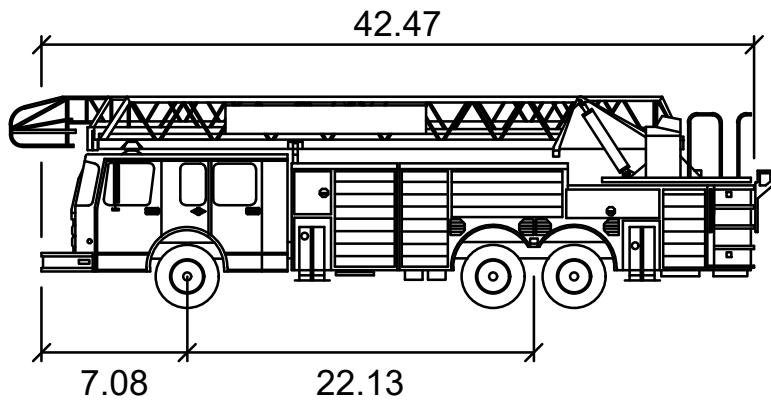
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024





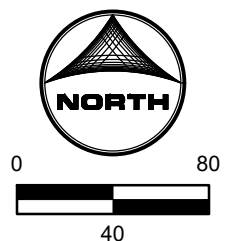
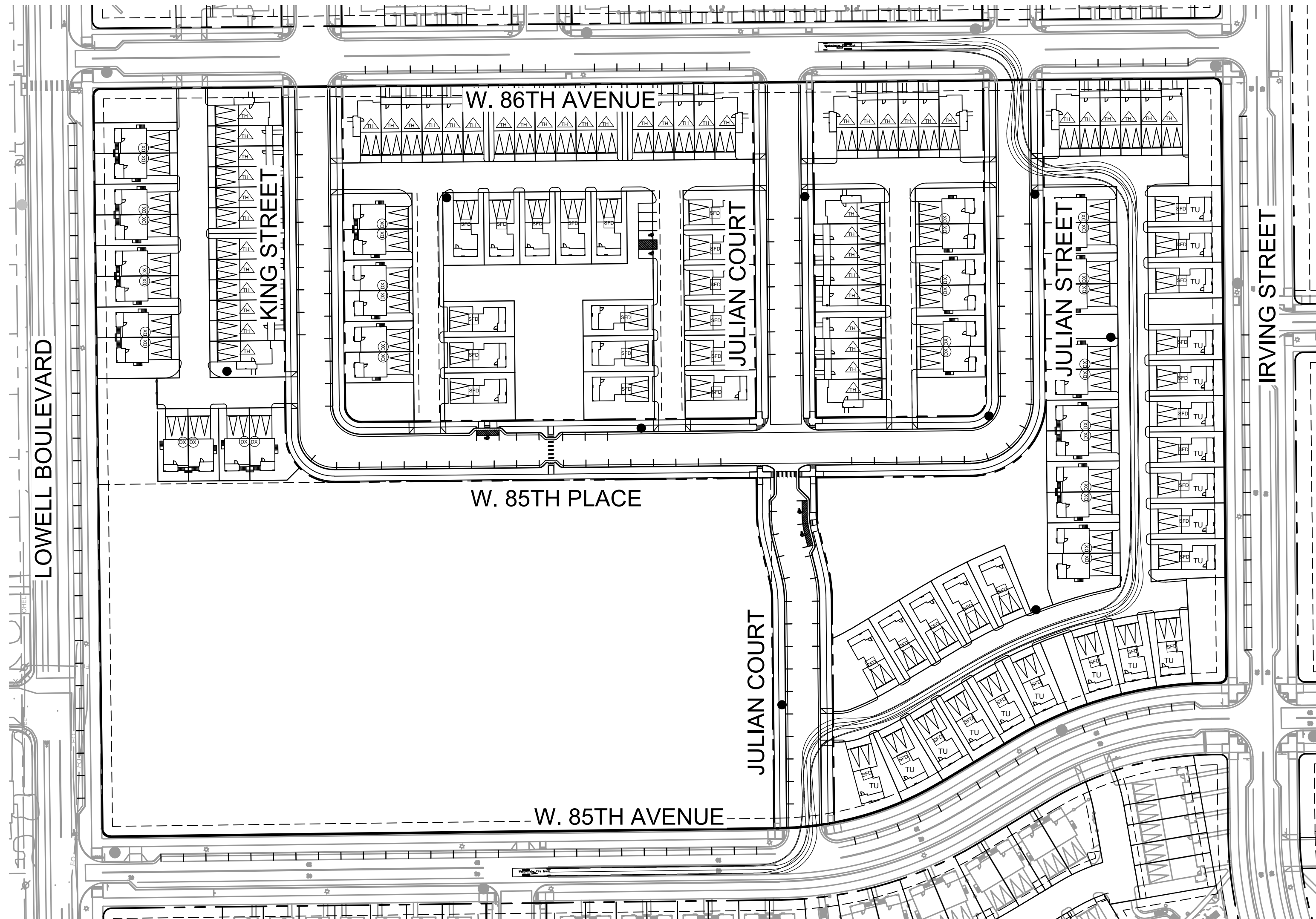
Westminster Fire Truck

	feet
Width	: 8.33
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 37.1
Inside Cramp Angle	: 40.0
Wall to Wall Turning Rad.	: 45.17

- EX. FIRE HYDRANT
- PR. FIRE HYDRANT PER ENG 22-0014
- PR. FIRE HYDRANT
- TU TUCKUNDER

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 45 OF 156

NOTE:  
 ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



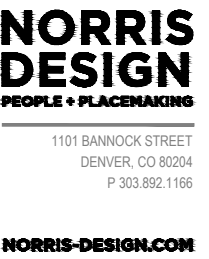
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

**OFFICIAL DEVELOPMENT PLAN**  
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 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 46 OF 156



		LANDSCAPE AREA (ROW EXCLUDED) * (310,117 SF = 40.1%)			RIGHT-OF-WAY LANDSCAPE AREA (44,421 SF)			TOTAL COMMON AREA LANDSCAPE (COMMON AREA AND RIGHT-OF-WAY LANDSCAPE) (ON-LOT & DETENTION POND AREA EXCLUDED.***)			PUBLICLY ACCESSIBLE PRIVATE PARK (42,202 SF = 5.5%) (23,941 SF LANDSCAPE AREA)		
		LANDSCAPE RATIO	# REQUIRED	#PROVIDED	LANDSCAPE RATIO	# REQUIRED	#PROVIDED	LANDSCAPE RATIO	# REQUIRED	#PROVIDED	LANDSCAPE RATIO	# REQUIRED	#PROVIDED
COMMON AREA LANDSCAPE (242,146) SF (TOTAL AREA EXCLUDING SF OF POND BELOW 5YR WATER LINE IS 115,958 SF)	TREES	1 / 550 SF	211***	253	1 / 550 SF	81	121	1 / 550 SF	292***	374	1 / 550 SF	44	33
	SHRUBS	3 / 550 SF	632***	1,081	3 / 550 SF	242	697	3 / 550 SF	874 ***	1788	3 / 550 SF	131	371
ON-LOT LANDSCAPE (67,941 SF)	TREES	1 / 550 SF	124	124**									
	SHRUBS	3 / 550 SF	371	371**									
TOTAL LANDSCAPE AREA (ROW EXCLUDED)*	TREES	1 / 550 SF	335***	377*									
	SHRUBS	3 / 550 SF	1003***	1,452*									

**NOTES:**

- \*INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE, PARK, AND ALL NON-ROW LANDSCAPE AREA.
- \*\*INCLUDES REQUIRED 1 TREE AND 3 SHRUBS PER 550 SF FOR ALL FRONT YARD LANDSCAPES. PLEASE SEE LOT AND LANDSCAPE TYPICALS FOR CRITICAL PARAMETERS OF LANDSCAPE PLANS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PENDING FINAL PRODUCT CONFIGURATION.
- \*\*\* DETENTION POND EXCLUDING POND BELOW 5 YEAR WATER SURFACE ELEVATION LINE (IS EXCLUDED FROM REQUIRED TREE AND SHRUB CALCS).
- WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.
- ALL LANDSCAPING SHOWN IN THE ROW SHALL BE MAINTAINED BY THE HOA.

**WESTMINSTER STANDARD STATEMENTS**

- ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC. NO WEED FABRIC IS REQUIRED UNDER WOOD MULCH.
- FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

LANDSCAPE QUANTITIES: HIGH WATER TURF AREA		
LANDSCAPE AREA (ON-LOT EXCLUDED)	MAX HIGH WATER TURF AREA (LESS THAN 20%)	PROVIDED HIGH WATER TURF AREA
286,567 SF	< 57,313 SF	12,831 SF (4.5%)

SOIL AMENDMENT REQUIRED				
LANDSCAPE AREA (EXCLUDING ROW)		X 5 YDS/1000 SF =		CU. YDS.
310,117			1,551	
RIGHT-OF-WAY AREA		X 5 YDS/1000 SF =		CU. YDS.
44,421			222	
TOTAL: 354,538 SF			1,773	CU. YDS.

LANDSCAPE WATER BUDGET				
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)	
HIGH	4.5	12,831	X 18 GAL =	230,958
MEDIUM	33.1	94,803	X 10 GAL =	948,030
LOW	62.4	178,963	X 3 GAL =	536,889
TOTAL ALL HYDROZONES:	100	286,597	TOTAL GAL:	1,715,877
<b>TOTAL GAL / TOTAL LANDSCAPED AREA =</b>			6.0	GAL / SF
MEDIUM (PRIVATELY IRRIGATED AREA)*	100%	67,941	X 10 GAL =	679,410

**NOTES:**

\* PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEETS 8 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
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 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024





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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 47 OF 156



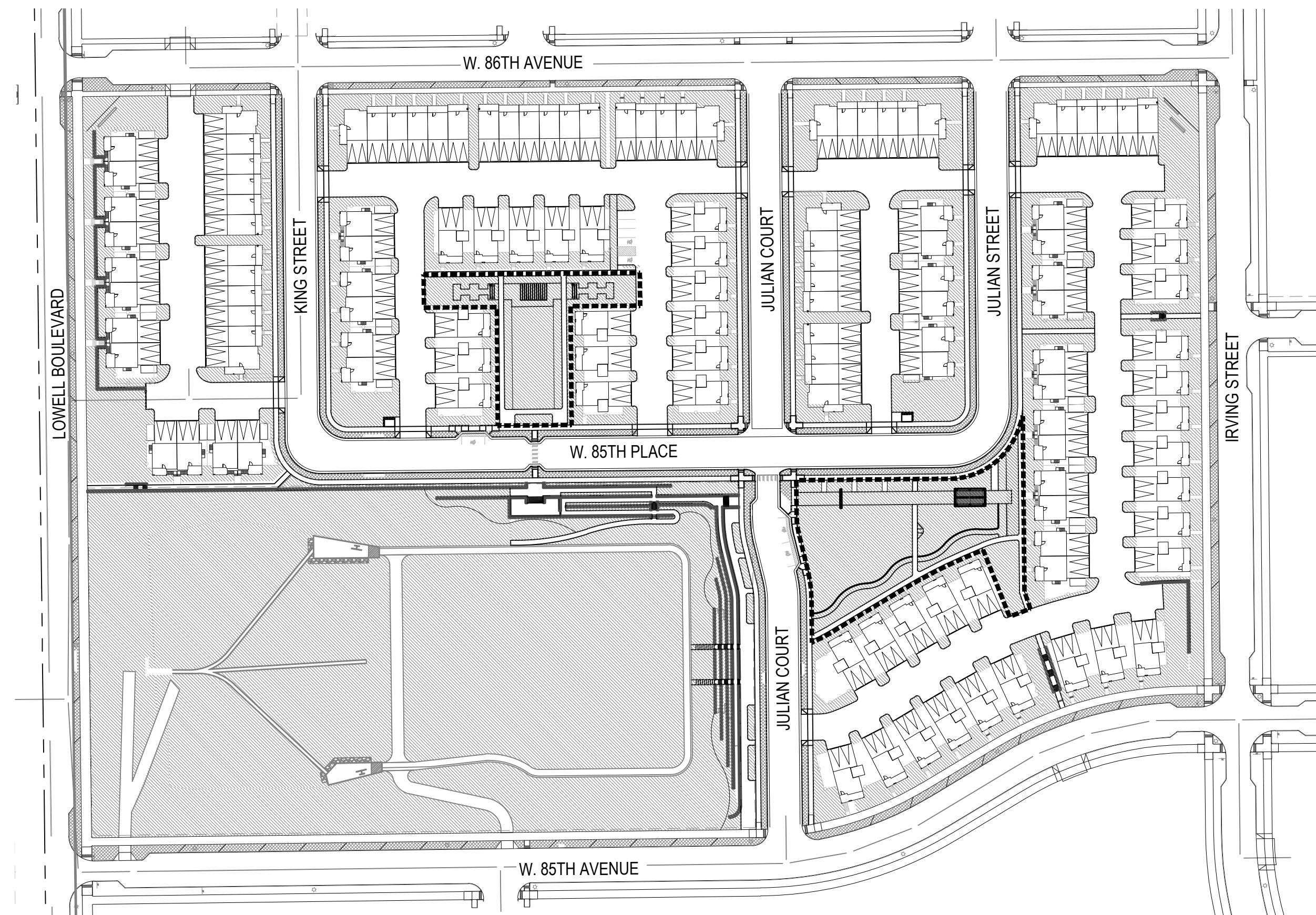
MATERIALS SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
M-03	CRUSHER FINES	CRUSHER FINES	PIONEER SAND COMPANY OR APPROVED EQUAL	TAN OR APPROVED EQUAL	LESS THAN 3/8"	SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH.
M-05	PLAY SAFETY SURFACING	ENGINEERED WOOD FIBAR	RECREATION PLUS, LTD. OR APPROVED EQUAL	NATURAL	SEE PLAN FOR DIMENSIONS	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-06	STEEL EDGING	INTERLOCKING ROLLED TOP EDGER	RYERSON OR APPROVED EQUAL	BLACK	6" X 14" GAUGE	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-07	RETAINING WALL STONE	AB ASHLAR PATTERN WITH CAP	ALLAN BLOCK OR APPROVED EQUAL	TAN BLEND	8" H X 12" D X 18" L	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-10	LANDSCAPE BOULDER - SIZE A	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-11	LANDSCAPE BOULDER - SIZE B	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS
M-12	LANDSCAPE BOULDER - SIZE C	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-15	WOOD MULCH	GORILLA HAIR CEDAR WOOD MULCH	PIONEER SAND OR APPROVED EQUAL	GORILLA HAIR CEDAR MULCH	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-17	ENHANCED CONCRETE - STANDARD GREY	CONCRETE COLOR PIGMENT	DAVIS COLORS OR APPROVED EQUAL	STANDARD GREY / ACID ETCH FINISH	SCORING PER PLAN	MIX AND INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE 5' X 5' X 6" MOCK-UP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

**UPLANDS**

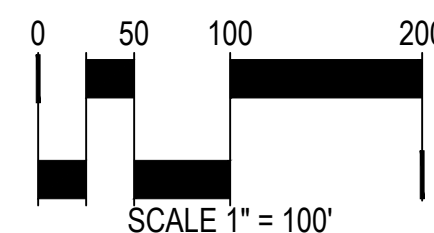
DATE: 10.10.2024

PA-A(3) LANDSCAPE AREA EXHIBIT



LEGEND

- LANDSCAPE AREA (ROW EXCLUDED)
- RIGHT OF WAY
- PUBLICLY ACCESSIBLE PRIVATE PARK BOUNDARY (42,879 SF)



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REVISIONS

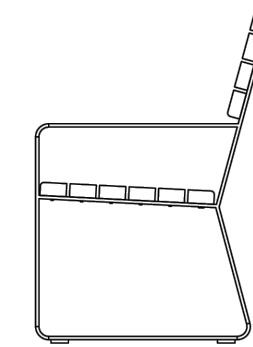
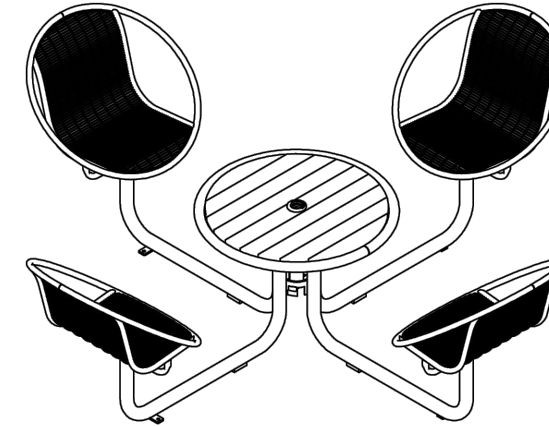
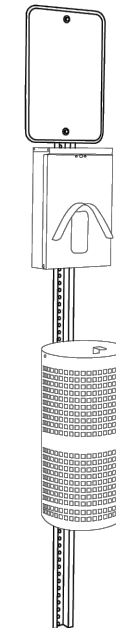
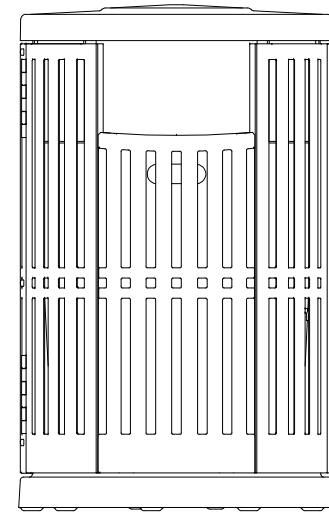
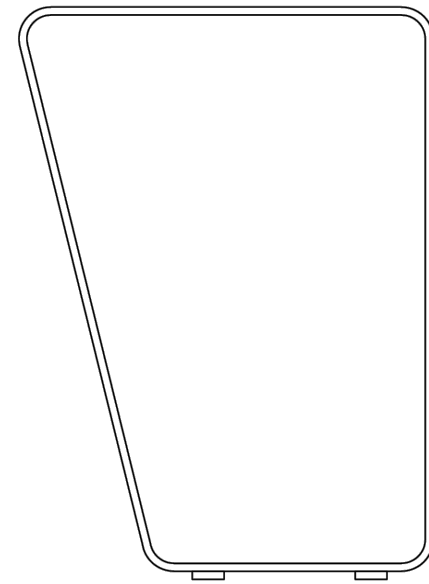
08.08.2024  
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 SHEET 48 OF 156



SITE AMENITY SCHEDULE



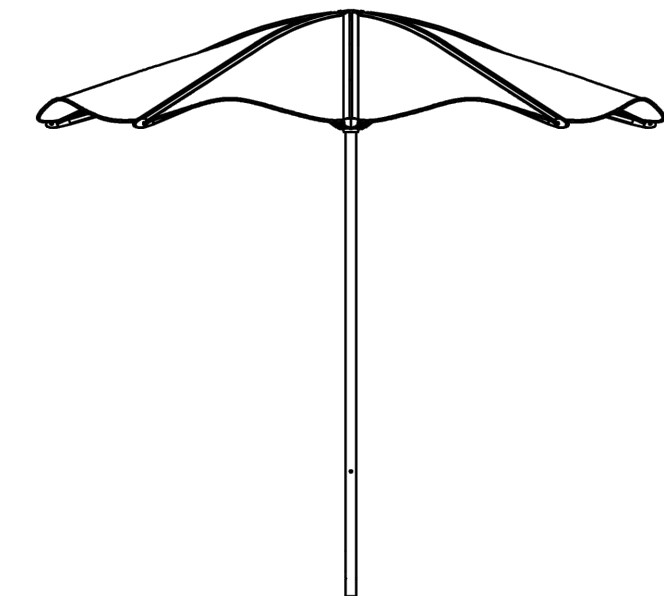
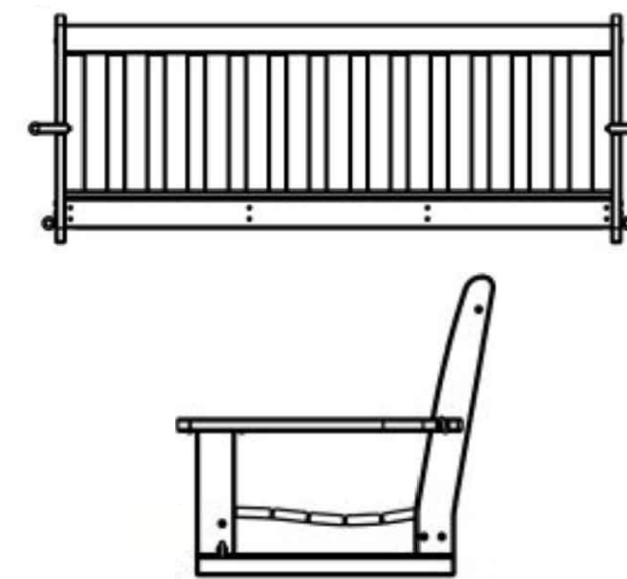
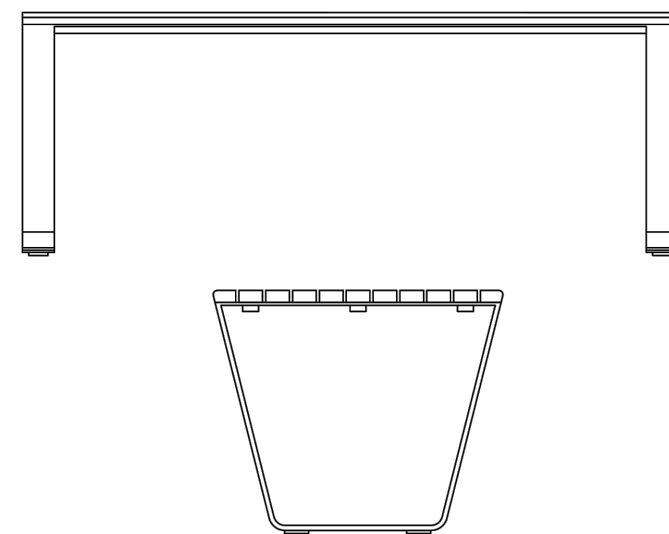
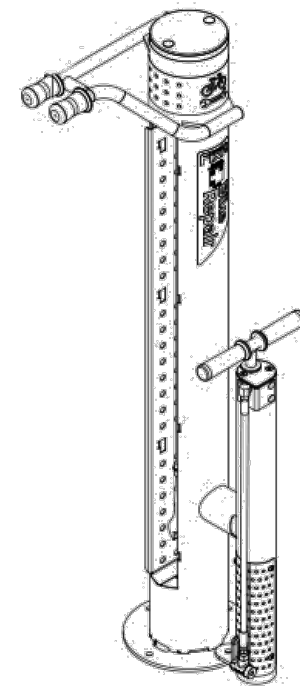
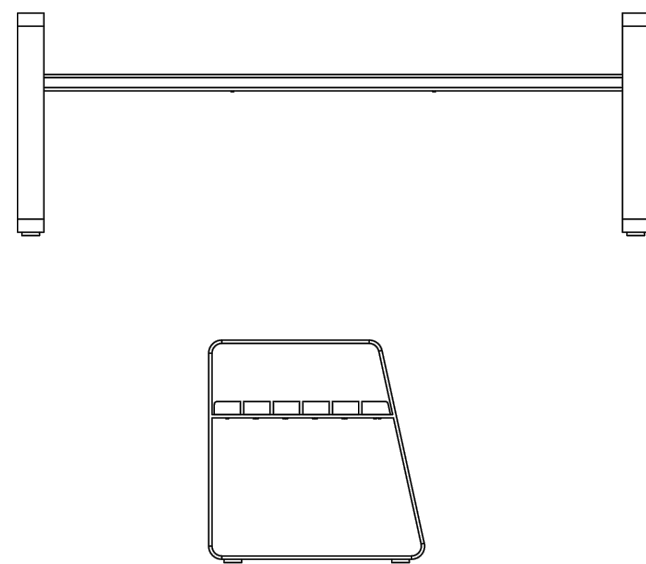
**S-01** DESCRIPTION: BIKE RACK  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE DUO BIKE RACK  
 OR APPROVED EQUAL  
 COLOR / FINISH: CAMPFIRE  
 EMBERS POWDER COAT  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S  
 SPECIFICATIONS.

**S-02** DESCRIPTION: LITTER RECEPTACLE  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: CHASE PARK LITTER SINGLE USE  
 UNIT WITH SIDE OPENING OR APPROVED  
 EQUAL  
 COLOR / FINISH: LOLL NAVY BLUE  
 POWDER COAT  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.

**S-03** DESCRIPTION: PET WASTE  
 STATION  
 MANUFACTURER: BARCOPRODUCTS.COM  
 MODEL: HEADER BAG PET WASTE STATION  
 OR APPROVED EQUAL  
 COLOR / FINISH: BROWN OR APPROVED  
 EQUAL  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.

**S-04** DESCRIPTION: 4 TOP TABLE  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: 4 SEATS HOOP OR APPROVED EQUAL  
 COLOR / FINISH: WHITE FRAME, STEELHEAD  
 WOOD TABLE TOP, HOOP SEAT, CASUAL  
 HEIGHT  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.  
 ACCESSIBILITY: MINIMUM OF ONE (1) TABLE  
 PER GROUPING OF TABLES TO BE 3-SEAT ADA  
 VERSION. REFER TO PLAN FOR LOCATION.

**S-05** DESCRIPTION: BACKED BENCH  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE BACKED BENCH  
 #ML-BENCH-72 OR APPROVED EQUAL  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / MIDNIGHT POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.



**S-06** DESCRIPTION: BACKLESS BENCH  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE FLAT BENCH  
 #ML-FLAT-72 OR APPROVED EQUAL  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / MIDNIGHT POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.

**S-07** DESCRIPTION: BIKE REPAIR STAND  
 MANUFACTURER: THE PARK CATALOG  
 MODEL: BIKE REPAIR STAND WITH AIR PUMP  
 OR APPROVED EQUAL  
 COLOR / FINISH: POWDERCOATED BLACK  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.

**S-08** DESCRIPTION: FARM TABLE  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE COMMUNITY TABLE OR  
 APPROVED EQUAL  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / MIDNIGHT POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.

**S-09** DESCRIPTION: PORCH SWING  
 MANUFACTURER: POLYWOOD  
 MODEL: VINEYARD 60" PORCH SWING OR  
 APPROVED EQUAL SKU # GNS60  
 COLOR / FINISH: SLATE GREY  
 NOTES: REFERENCE DETAIL FOR  
 INSTALLATION INSTRUCTIONS.

**S-10** DESCRIPTION: UMBRELLA  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: CYGNUS SOLSTICE UMBRELLA OR  
 APPROVED EQUAL  
 COLOR / FINISH: FOG GREY  
 POWDER COATED METAL  
 NOTES: SECURE TO TABLE PER  
 MANUFACTURER'S SPECIFICATIONS. NO  
 SURFACE MOUNT STAND REQUIRED.

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 49 OF 156

**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.862.1166  
 NORRIS-DESIGN.COM

SITE AMENITY SCHEDULE

**UPLANDS**

DATE: 10.10.2024

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 BLOCK 3  
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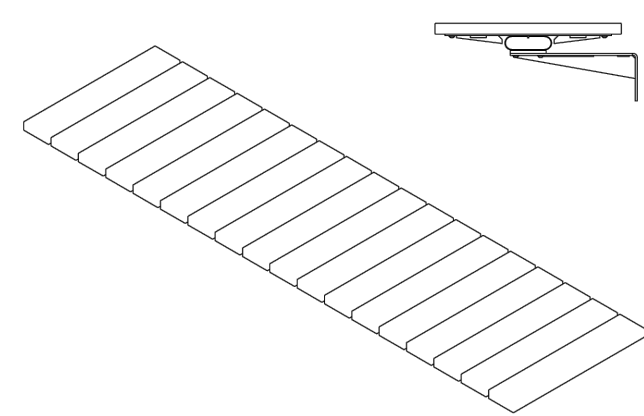
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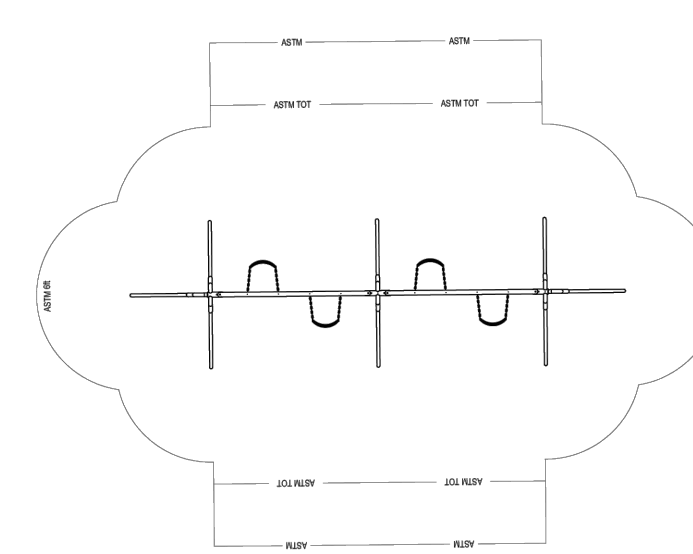
49 OF 156  
 LANDSCAPE SCHEDULES



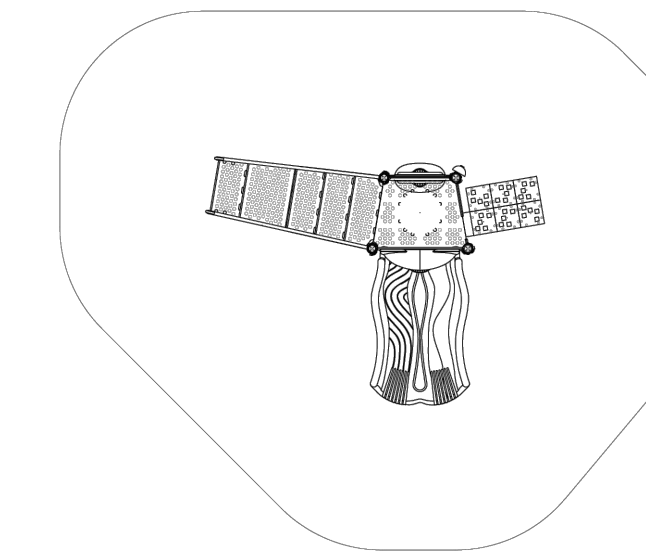
**S-11** DESCRIPTION: 3 TOP TABLE  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: 3 SEATS CAROUSEL; HOOP OR APPROVED EQUAL  
 COLOR / FINISH: LOLL NAVY BLUE FRAME, THERMALLY MODIFIED ASH WOODEN TABLE TOP, HOOP SEAT  
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.



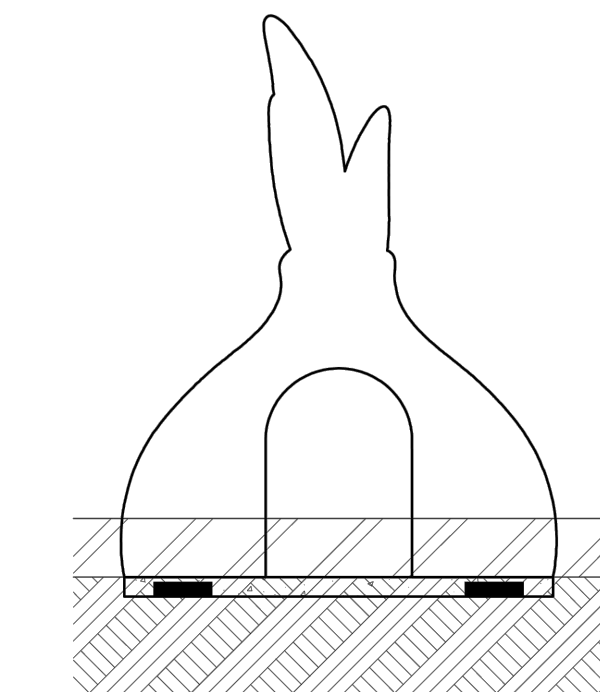
**S-48** DESCRIPTION: WALL MOUNTED BENCH  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: LINK BENCH OR APPROVED EQUAL  
 COLOR / FINISH: THERMALLY MODIFIED ASH WOOD SLATS / LOLL NAVY BLUE POWDER COAT FINISH  
 NOTES: PIANO KEY, STRAIGHT, BACKLESS, NO ARMS, WALL MOUNT SUPPORT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



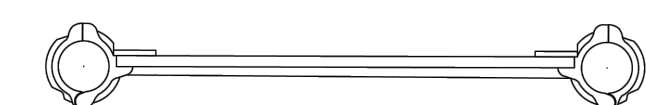
**S-49** DESCRIPTION: 4-SEAT SWINGS  
 MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
 MODEL: CLASSIC STANDARD SWINGS 4-SEATS #SWING-8-4  
 COLOR / FINISH: TBD  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS. AGES 2-12.



**S-50** DESCRIPTION: CHALLENGERS PLAYSET WITH TWIST AND SHOUT SLIDE  
 MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
 MODEL: CHALLENGERS #350-1731  
 COLOR / FINISH: TBD  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS. AGES 2-5.



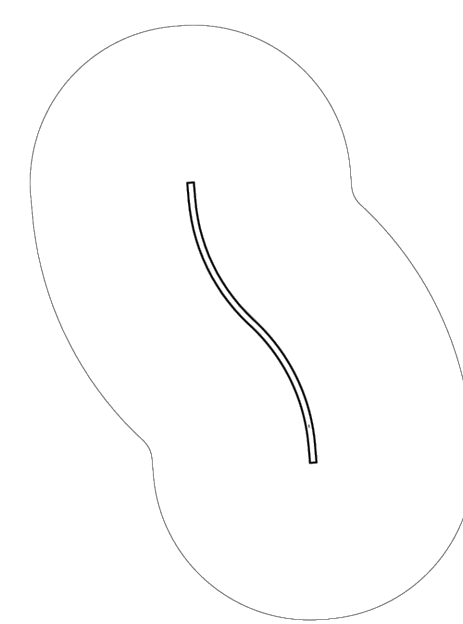
**S-51** DESCRIPTION: ONION CLIMBER  
 MANUFACTURER: ID SCULPTURE OR APPROVED EQUAL  
 MODEL: SC138  
 COLOR / FINISH: STANDARD  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS. AGES 5-12.



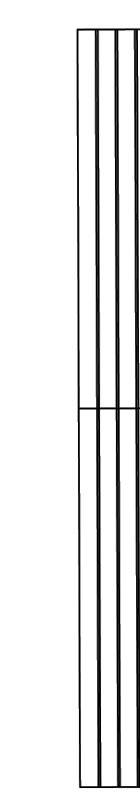
**S-52** DESCRIPTION: SLIDE-N-LEARN PANEL  
 MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
 MODEL: #ZZCH4446  
 COLOR / FINISH: STANDARD  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS. AGES 2-12.



**S-53** DESCRIPTION: SCAVENGER HUNT PANEL  
 MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
 MODEL: #ZZCH4547  
 COLOR / FINISH: STANDARD  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS. AGES 2-12.



**S-54** DESCRIPTION: BALANCE BEAM CURVED  
 MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
 MODEL: #ZZXX1020  
 COLOR / FINISH: TBD  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS. AGES 2-12.



**S-55** DESCRIPTION: TIMBER BENCH  
 MANUFACTURER: STREETLIFE OR APPROVED EQUAL  
 MODEL: HEAVY-HEAVY (H-H) INDUSTRY BENCH  
 COLOR / FINISH: FSC HARDWOOD III - VIRGIN / POWDER COATED SUPPORTS  
 NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 3

A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 50 OF 156

## A(3) PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
<b>DECIDUOUS TREES</b>								
AC BM	12	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	B & B	2" CAL	MOD	25'-30'	25'-30'
AC SE	15	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER MAPLE	B & B	3" CAL	LOW	25'-30'	20'-25'
AC PS	14	ACER PSEUDOPLATANUS	SYCAMORE MAPLE	B & B	2" CAL	MOD	40'-50'	30'-40'
AC FF	11	ACER SACCHARUM 'FALL FIESTA'	FALL FIESTA SUGAR MAPLE	B & B	2" CAL	MOD	50'-80'	30'-40'
CA SP	20	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL	LOW	40'-50'	25'-30'
CE OC	27	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL	LOW	50'-60'	30'-40'
GY DI	24	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	3" CAL	LOW	40'-50'	30'-40'
KO PA	6	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	B & B	2" CAL	LOW	25'-30'	25'-30'
QU MA	15	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL	LOW	50'-60'	40'-60'
QU MU	15	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL	LOW	40'-50'	40'-60'
UL PR	13	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	2" CAL	MOD	50'-80'	40'-60'
UL AL	16	ULMUS PARVIFOLIA 'ALLEE'	ALLEE@ LACEBARK ELM	B & B	2" CAL	MOD	40'-50'	30'-40'
<b>EVERGREEN TREES</b>								
JU SP	31	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6' HEIGHT	LOW	15'-20'	4'-6'
JU RM	18	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6' HEIGHT	LOW	25'-30'	8'-10'
PI DE	3	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	8' HT.	MOD	15'-20'	10'-15'
PI PU	9	PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HEIGHT	MOD	50'-60'	25'-30'
PI UY	3	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	B & B	6' HEIGHT	MOD	20'-25'	8'-10'
PI ED	4	PINUS EDULIS	PINON PINE	B & B	6' HT.	LOW	20'-25'	10'-15'
PI NG	18	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	8' HT.	LOW	40'-50'	30'-40'
<b>ORNAMENTAL TREES</b>								
AC HW	16	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL	LOW	20'-25'	15'-20'
AM AB	12	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6' CLUMP	LOW	20'-25'	15'-20'
CE CA	8	CERCIS CANADENSIS	EASTERN REDBUD	B & B	6' CLUMP	MOD	25'-30'	25'-30'
CR IN	17	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	B & B	2" CAL	LOW	20'-25'	15'-20'
MA SS	6	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2" CAL	MOD	20'-25'	20'-25'
PR MO	16	PRUNUS ARMENIACA 'MOORPARK'	MOORPARK APRICOT	B & B	2" CAL	MOD	20'-25'	20'-25'
PR CH	19	PRUNUS X VIRGINIANA 'P002'	SUCKER PUNCH CANADA CHOKECHERRY	B & B	2" CAL	LOW	25'-30'	15'-20'
SY RE	6	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2" CAL	MOD	20'-25'	15'-20'
<b>DECIDUOUS SHRUBS</b>								
AM BT	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	CONT.	#5	LOW	15' <	12'-15'
AR CN	23	ARTEMISIA CANA	SILVER SAGEBRUSH	CONT.	#5	LOW	3'-4'	2'-3'
BE TA	33	BERBERIS X 'TARA'	EMERALD CAROUSEL@ BARBERRY	CONT.	#5	LOW	5'-6'	5'-6'
CH MI	104	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	CONT.	#5	LOW	4'-5'	5'-6'
CO IS	21	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	CONT.	#5	MOD	5'-6'	4'-5'
CO CO	1	COTINUS COGGYGRIA	SMOKE TREE	CONT.	#5	MOD	13'-15'	7'-8'
ER AI	110	ERICAMERIA NAUSEOSA NAUSEOSA	BABY BLUE RABBITBRUSH	CONT.	#5	LOW	2'-3'	2'-3'
ER NA	48	ERICAMERIA NAUSEOSA SPECIOSA	TALL BLUE RABBITBRUSH	CONT.	#5	LOW	5'-6'	4'-5'
EU CO	5	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	MOD	5'-6'	5'-6'
FA PA	11	FALLUGIA PARADOXA	APACHE PLUME	CONT.	#5	LOW	5'-6'	5'-6'
FO AR	18	FORSYTHIA X 'ARNOLD'S DWARF'	ARNOLD'S DWARF FORSYTHIA	CONT.	#5	LOW	2'-3'	5'-6'
LI CH	3	LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	CONT.	#5	LOW	7'-8'	5'-6'
LI LO	11	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT.	#5	LOW	2'-3'	3'-4'
PE AT	169	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	#5	LOW	3'-4'	3'-4'
PE LS	231	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	#5	LOW	2'-3'	2'-3'
PY MI	6	PHYSOCARPUS OPULIFOLIUS 'MINDIA' TM	COPPERTINA NINEBARK	CONT.	#5	LOW	9'-12'	9'-10'
PH SE	12	PHYSOCARPUS OPULIFOLIUS 'SEWARD' TM	SEWARD NINEBARK	CONT.	#5	MOD	4'-5'	3'-4'
PO DR	194	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3'	2'-3'
PO MC	94	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3'	2'-3'
PR BS	3	PRUNUS BESSEYI	WESTERN SAND CHERRY	CONT.	#5	LOW	5'-6'	5'-6'
PR PB	83	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	CONT.	#5	LOW	1'-2'	5'-6'
PR RP	1	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	CONT.	#5	MOD	5'-6'	5'-6'
RH GR	8	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	CONT.	#5	LOW	2'-3'	7'-8'
RI GR	22	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	CONT.	#5	LOW	3'-4'	2'-3'
RO DO	26	ROSA X 'DOUBLE KNOCKOUT'	DOUBLE KNOCKOUT ROSE	CONT.	#5	MOD	3'-4'	3'-4'
RO FL	57	ROSA X 'FLOWER CARPET CORAL'	CORAL FLOWER CARPET ROSE	CONT.	#5	LOW	2'-3'	3'-4'
RO NW	23	ROSA X 'NEARLY WILD'	NEARLY WILD FLORIBUNDA ROSE	CONT.	#5	LOW	2'-3'	3'-4'
SP LI	18	SPIRAEA X BUMALDA 'MONHUB' TM	LIMEMOUND SPIREA	CONT.	#5	MOD	2'-3'	3'-4'
SY OR	6	SYMPHORICARPOS OREOPHILUS	MOUNTAIN SNOWBERRY	CONT.	#5	LOW	3'-4'	3'-4'
SY MA	38	SYMPHORICARPOS X DOORENBOSII 'MARLEEN'	MARLEEN SNOWBERRY	CONT.	#5	LOW	3'-4'	2'-3'
SY PA	5	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	CONT.	#5	LOW	5'-6'	5'-6'

NOTE:  
20% MIN SHADE TREES ARE INCREASED TO 3" CAL AND 20% MIN OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT.

EVERGREEN TOTALS	
TOTAL TREES	374
ROW TREES	121
COMMON AREA (NON-ROW) TREES	253
TOTAL EVERGREEN TREES REQUIRED (33%)	120
TOTAL EVERGREEN TREES PROVIDED	86
TOTAL PERCENTAGE OF EVERGREEN TREES	23%
PERCENTAGE OF EVERGREEN TREES (EXCLUDING ROW TREES)	34%



**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024






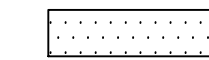
**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 51 OF 156



**A(3) PLANT SCHEDULE CONT.**

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
SY MI	43	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	CONT.	#5	LOW	4'-5'	4'-5'
SY VU	6	SYRINGA VULGARIS	COMMON LILAC	CONT.	#5	LOW	13'-15'	11'-12'
VI MA	6	VIBURNUM BUREJAETICUM	MANCHURIAN VIBURNUM	CONT.	#5	LOW	13'-15'	7'-8'
<b>EVERGREEN SHRUBS</b>								
AR CO	10	ARCTOSTAPHYLOS X COLORADOENSIS	MOCK BEARBERRY MANZANITA	CONT.	#5	LOW	1'-2'	4'-5'
AR PA	14	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	CONT.	#5	LOW	1'-2'	4'-5'
BU BE	73	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY'	GREEN BEAUTY JAPANESE BOXWOOD	CONT.	#5	MOD	4'-5'	4'-5'
HE PA	17	HESPERALOE PARVIFLORA	RED YUCCA	CONT.	#5	LOW	3'-4'	3'-4'
JU BH	24	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	#5	LOW	1'-2'	5'-6'
JU BL	6	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG CREEPING JUNIPER	CONT.	#5	LOW	1'-2'	9'-10'
JU BR	35	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	CONT.	#5	LOW	1'-2'	7'-8'
JU CC	59	JUNIPERUS SABINA 'CALGARY CARPET' TM	CALGARY CARPET JUNIPER	CONT.	#5	LOW	1'-2'	7'-8'
MA CO	32	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	CONT.	#5	LOW	2'-3'	2'-3'
MA RE	53	MAHONIA REPENS	CREEPING MAHONIA	CONT.	#5	LOW	2'-3'	3'-4'
PI MO	6	PINUS MUGO 'MOPS'	MOPS MUGO PINE	CONT.	#5	LOW	4'-5'	5'-6'
YU GO	4	YUCCA FILAMENTOSA 'GOLDEN SWORD'	GOLDEN SWORD ADAM'S NEEDLE	CONT.	#5	LOW	1'-2'	2'-3'
<b>ORNAMENTAL GRASSES</b>								
AN WI	89	ANDROPOGON GERARDII 'WINDWALKER'	WINDWALKER BIG BLUE STEM	CONT.	#1	LOW	5'-6'	2'-3'
BO BA	220	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	#1	LOW	1'-2'	1'-2'
CA KF	380	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	4'-5'	2'-3'
CO SE	5	CORTADERIA SELLOANA	PAMPAS GRASS	CONT.	#1	LOW	9'-12'	5'-6'
EI RA	12	ERIANTHUS RAVENNAE	RAVENNA GRASS	CONT.	#1	LOW	9'-12'	3'-4'
HA AU	100	HAKONECHLOA MACRA 'AUREOLA'	GOLDEN VARIEGATED FOREST GRASS	CONT.	#1	MOD	1'-2'	1'-2'
HE SE	236	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT.	#1	LOW	2'-3'	1'-2'
MI ML	72	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	CONT.	#1	MOD	4'-5'	2'-3'
MI VA	34	MISCANTHUS SINENSIS 'VARIEGATUS'	VARIEGATED MAIDEN GRASS	CONT.	#1	MOD	4'-5'	2'-3'
MU RE	34	MUHLENBERGIA REVERCHONI 'UNDAUNTED'	UNDAUNTED MUHLY	CONT.	#1	LOW	2'-3'	1'-2'
PA SH	165	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT.	#1	LOW	3'-4'	2'-3'
PN SH	33	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	CONT.	#1	LOW	3'-4'	2'-3'
PE HA	193	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT.	#1	LOW	1'-2'	1'-2'
SC SC	362	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	3'-4'	2'-3'
SP HE	268	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	LOW	2'-3'	1'-2'
<b>PERENNIALS</b>								
AC MO	229	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1	LOW	2'-3'	1'-2'
AG RU	81	AGASTACHE RUPESTRIS	SUNSET HYSSOP	CONT.	#1	LOW	2'-3'	1'-2'
AA AP	39	AGASTACHE RUPESTRIS 'APACHE SUNSET'	APACHE SUNSET THREADLEAF HYSSOP	CONT.	#1	LOW	1'-2'	1'-2'
AN SR	22	ANEMONE X HYBRIDA 'SERENADE'	SERENADE JAPANESE ANEMONE	CONT.	#1	MOD	1'-2'	1'-2'
AS SP	3	ASCLEPIAS SPECIOSA	SHOWY MILKWEED	CONT.	#1	MOD	3'-4'	1'-2'
AS TU	18	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	CONT.	#1	LOW	1'-2'	2'-3'
CA RA	19	CAMPISIS RADICANS	TRUMPET CREEPER	CONT.	#1	LOW	13'-15'	3'-4'
CO MO	36	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	CONT.	#1	LOW	1'-2'	1'-2'
EC PU	50	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	#1	LOW	1'-2'	1'-2'
GE RZ	28	GERANIUM X 'GERWAT'	ROZANNE GERANIUM	CONT.	#1	LOW	1'-2'	1'-2'
HE RC	10	HEMEROCALLIS X 'ROCKET CITY'	ROCKET CITY DAYLILY	CONT.	#1	LOW	2'-3'	1'-2'
HE PP	51	HEUCHERA MICRANTHA 'PURPLE PALACE'	PALACE PURPLE CORAL BELLS	CONT.	#1	MOD	1'-2'	1'-2'
HO PA	44	HOSTA FORTUNEI 'PATRIOT'	PATRIOT HOSTA	CONT.	#1	MOD	1'-2'	2'-3'
HO KR	16	HOSTA X 'KROSSA REGAL'	KROSSA REGAL HOSTA	CONT.	#1	MOD	2'-3'	3'-4'
LY AU	52	LYSIMACHIA NUMMULARIA 'AUREA'	GOLDEN CREEPING JENNY	CONT.	#1	MOD	3'-4'	1'-2'
NE LI	6	NEPETA X 'PSFIKE' TM	LITTLE TRUDY CATMINT	CONT.	#1	LOW	<1'	1'-2'
NE WL	342	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT.	#1	LOW	2'-3'	2'-3'
PE PE	17	PENSTEMON EATONII	FIRECRACKER PENSTEMON	CONT.	#1	LOW	1'-2'	1'-2'
RU FU	101	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	2'-3'	1'-2'
SA MN	40	SALVIA X SYLVESTRIS 'MAINACHT'	MAY NIGHT SALVIA	CONT.	#1	LOW	2'-3'	1'-2'
ST BY	12	STACHYS BYZANTINA	LAMB'S EAR	CONT.	#1	LOW	1'-2'	1'-2'
VI BV	11	VINCA MINOR 'BOWLES'	BOWLES COMMON PERIWINKLE	CONT.	#1	LOW	<1'	1'-2'

 NATIVE TURF GRASS: NATURE'S PRAIRIE TURF BY TURF MASTER SOD, LLC  
 NATURE'S PRAIRIE TURF BLEND

 SOD: VorTEX TEXAS HYBRID BLEND BY KORBY SOD, LLC  
 VorTEX TEXAS HYBRID BLUEGRASS BLEND

**NOTE:**  
 NATURES PRAIRIE TURFGRASS IS TO BE MAINTAINED TO A MAX HEIGHT OF 6" WITHIN TREE LAWNS AS WELL AS A 3' STRIP ALONG ALL SIDEWALKS. ALL OTHER INSTANCES OF NATURES PRAIRIE SOD SHALL BE ALLOWED TO GROW TO MATURE HEIGHT OF 6"

 WETLAND NATIVE SEED: PBSI PRAIRIE WETLAND MIX BY PAWNEE BUTTES SEED, INC.

COMMON NAME	% OF MIX	PLS/ACRE
ALKALI BULRUSH	8.33%	0.83
CANADA WILDRIE	8.33%	0.83
SWITCHGRASS	8.33%	0.83
INDIANGRASS	8.33%	0.83
PRAIRIE CORDGRASS	8.33%	0.83
SOFT STEM RUSH	8.33%	0.83
THREE SQUARE BULRUSH	8.33%	0.83
HARDSTEM BULRIUSH	8.33%	0.83
NEBRASKA SEDGE	8.33%	0.83
BALTIC RUSH	8.33%	0.83
CREEPING SPIKERUSH	8.33%	0.83
WOOLY SEDGE	8.33%	0.83
<b>TOTAL 100%</b>		<b>10.00 PLS/ACRE</b>

**\*NOTE:**  
 ALL NATIVE SEED SHALL BE MAINTAINED AND IRRIGATED AT A MAXIMUM OF 6 INCHES IN HEIGHT WHEN ADJACENT TO PATHWAYS. HEIGHT SHALL BE MAINTAINED FOR A MINIMUM OF 42 INCHES FROM PATHWAY EDGES ON BOTH SIDES.

\*IF BROADCAST METHOD IS USED, RATES SHALL BE DOUBLED



**UPLANDS**

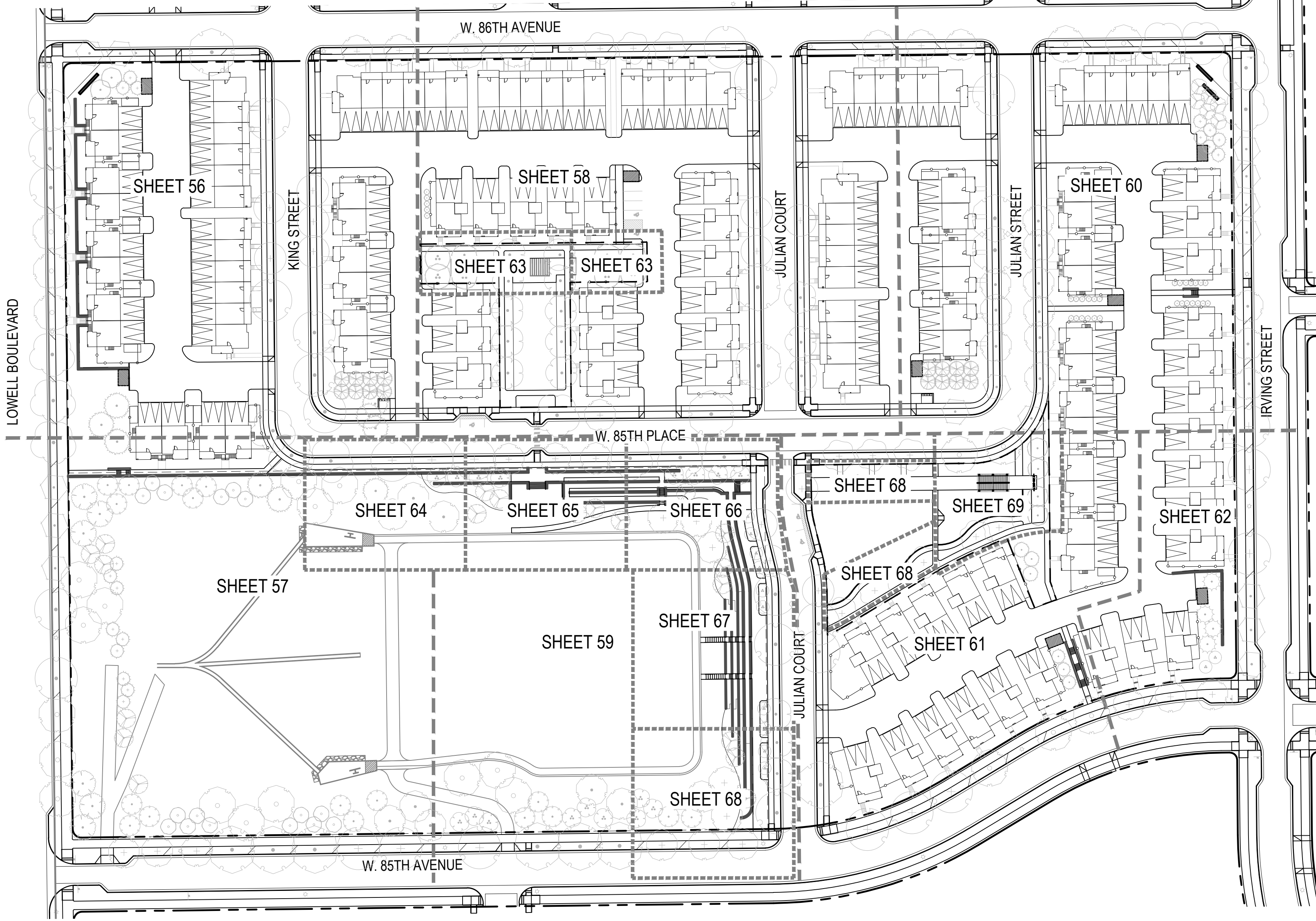
DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
		08.08.2024	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 52 OF 156

**NORRIS DESIGN**  
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**UPLANDS**

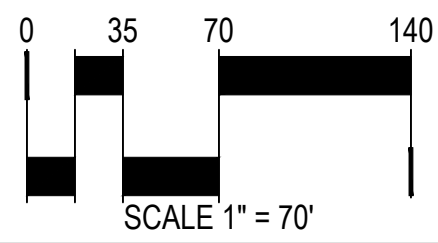
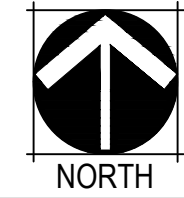
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UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

LEGEND

-  SNOW STORAGE LOCATIONS
-  MATCH LINE
-  SITE BOUNDARY
-  ENLARGEMENT LINE

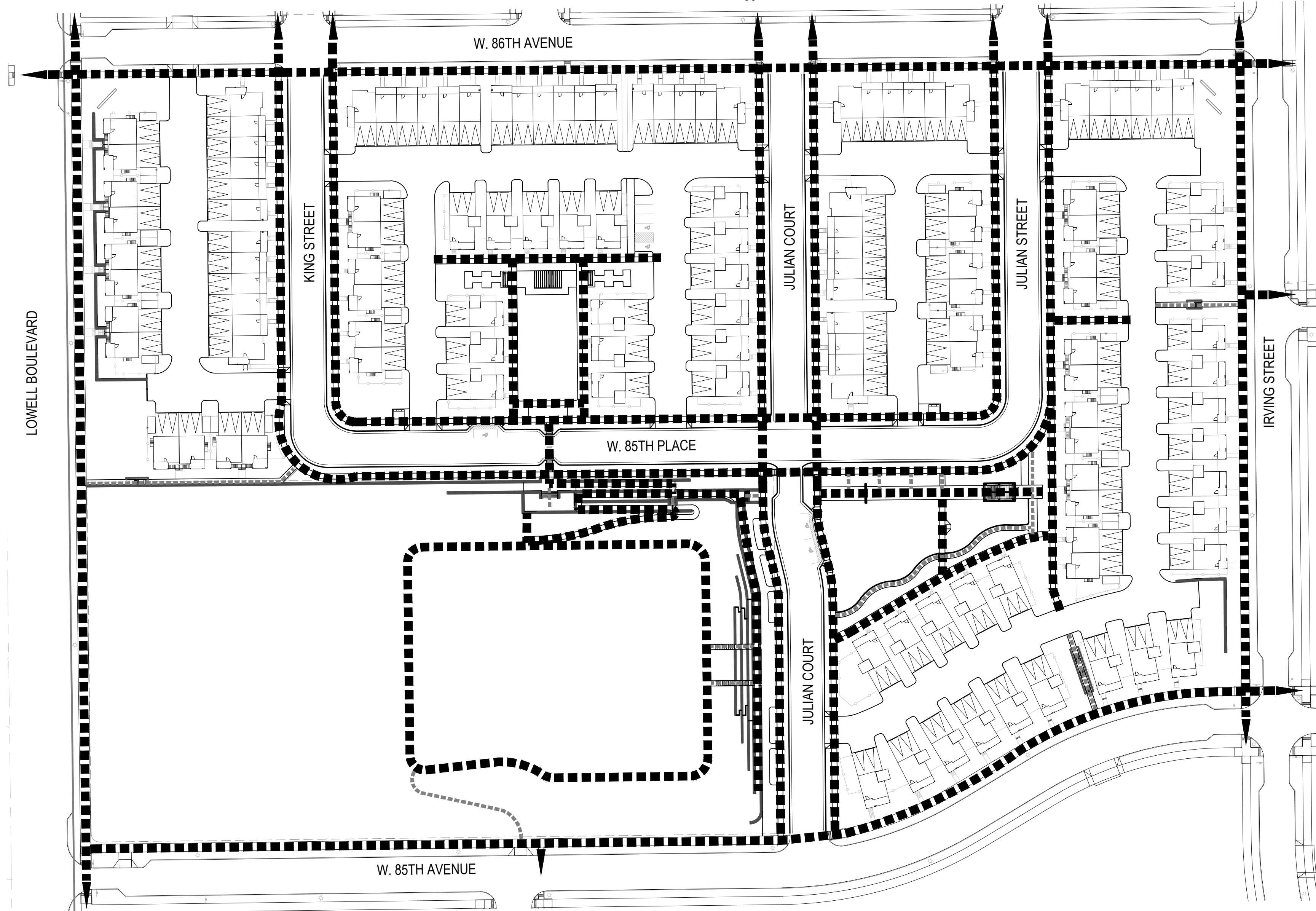
NOTE:  
1. WOOD MULCH AS SPECIFIED IN MATERIALS SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.






OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024
52 OF 156 OVERALL LANDSCAPE PLAN	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 53 OF 156

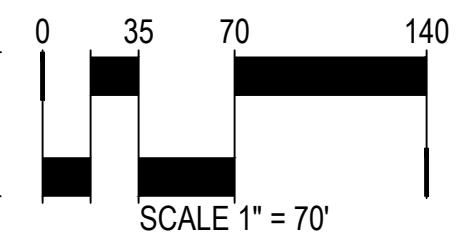
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LEGEND

-  ACCESSIBLE PEDESTRIAN CIRCULATION ROUTES
-  NON-ADA ACCESSIBLE CONNECTION
-  CROSSWALK LOCATION

NOTE:  
1. ADDITIONAL CROSSINGS MAY BE PROVIDED ONCE ADJACENT NEIGHBORHOOD LAYOUTS ARE DETERMINED TO PROMOTE SAFE PEDESTRIAN CROSSING.



**UPLANDS**

DATE: 10.10.2024

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WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 54 OF 156

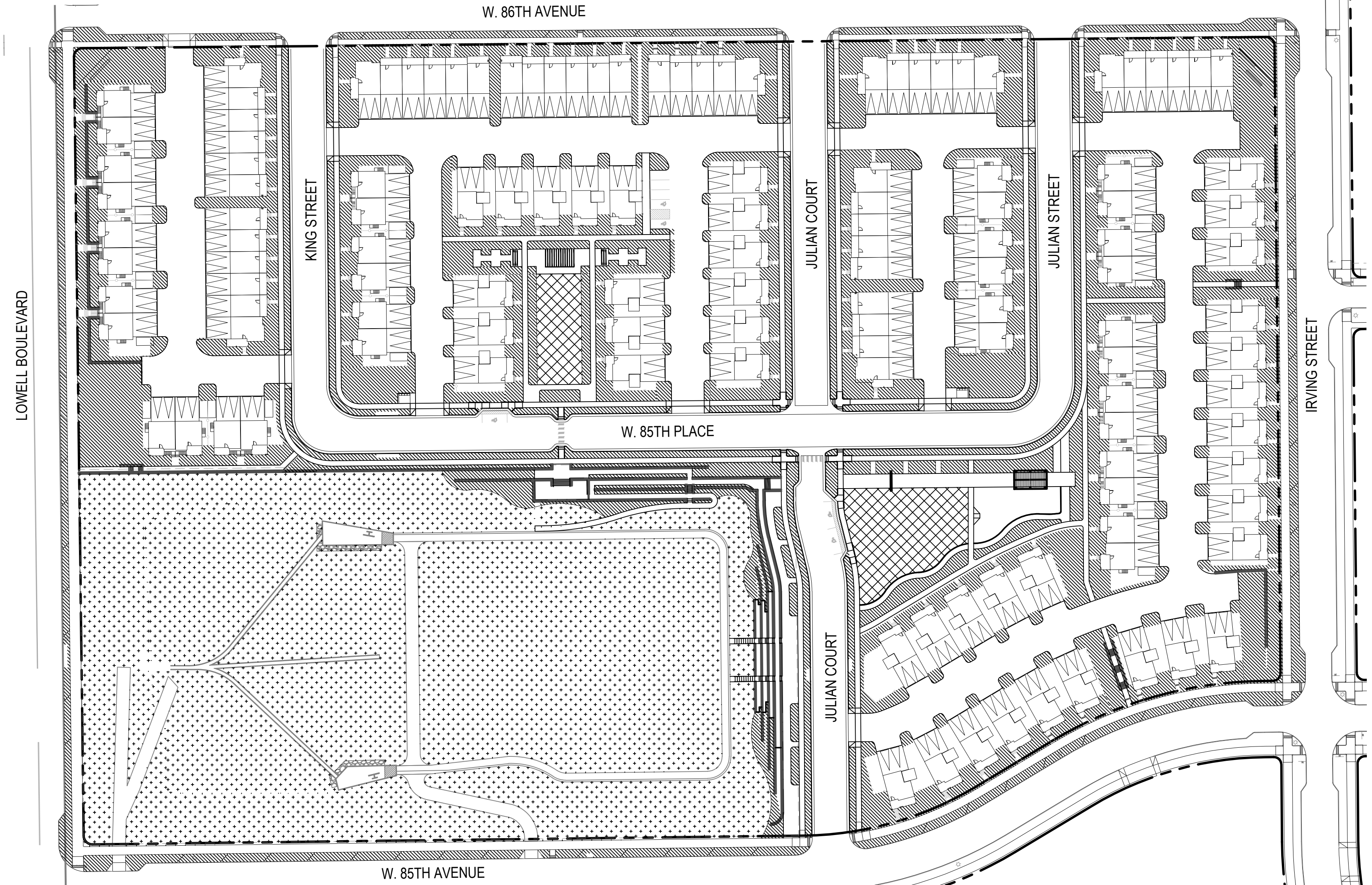
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**UPLANDS**

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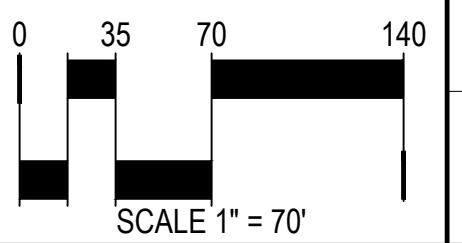
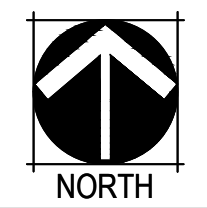


LANDSCAPE WATER BUDGET				
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)	
HIGH	4.5	12,831	X 18 GAL =	230,958
MEDIUM	33.1	94,803	X 10 GAL =	948,030
LOW	62.4	178,963	X 3 GAL =	536,889
<b>TOTAL ALL HYDROZONES:</b>	<b>100</b>	<b>286,597</b>	<b>TOTAL GAL:</b>	<b>1,715,877</b>
<b>TOTAL GAL / TOTAL LANDSCAPED AREA =</b>			<b>6.0</b>	<b>GAL / SF</b>
MEDIUM (PRIVATELY IRRIGATED AREA)*	100%	67,941	X 10 GAL =	679,410

- NOTES:
1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.
  2. TOTAL LANDSCAPE AREA EXCLUDES SFD HOMES.
  3. ALL IRRIGATION USES A POTABLE WATER SOURCE.
  4. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.
  5. HOSE BIBS WILL BE PROVIDED FOR INDIVIDUAL HOMEOWNER USE ON ALL SFD AND PAIRED HOMES.

LEGEND

- LOW WATER USE
- MODERATE WATER USE
- HIGH WATER USE
- SITE BOUNDARY



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 55 OF 156

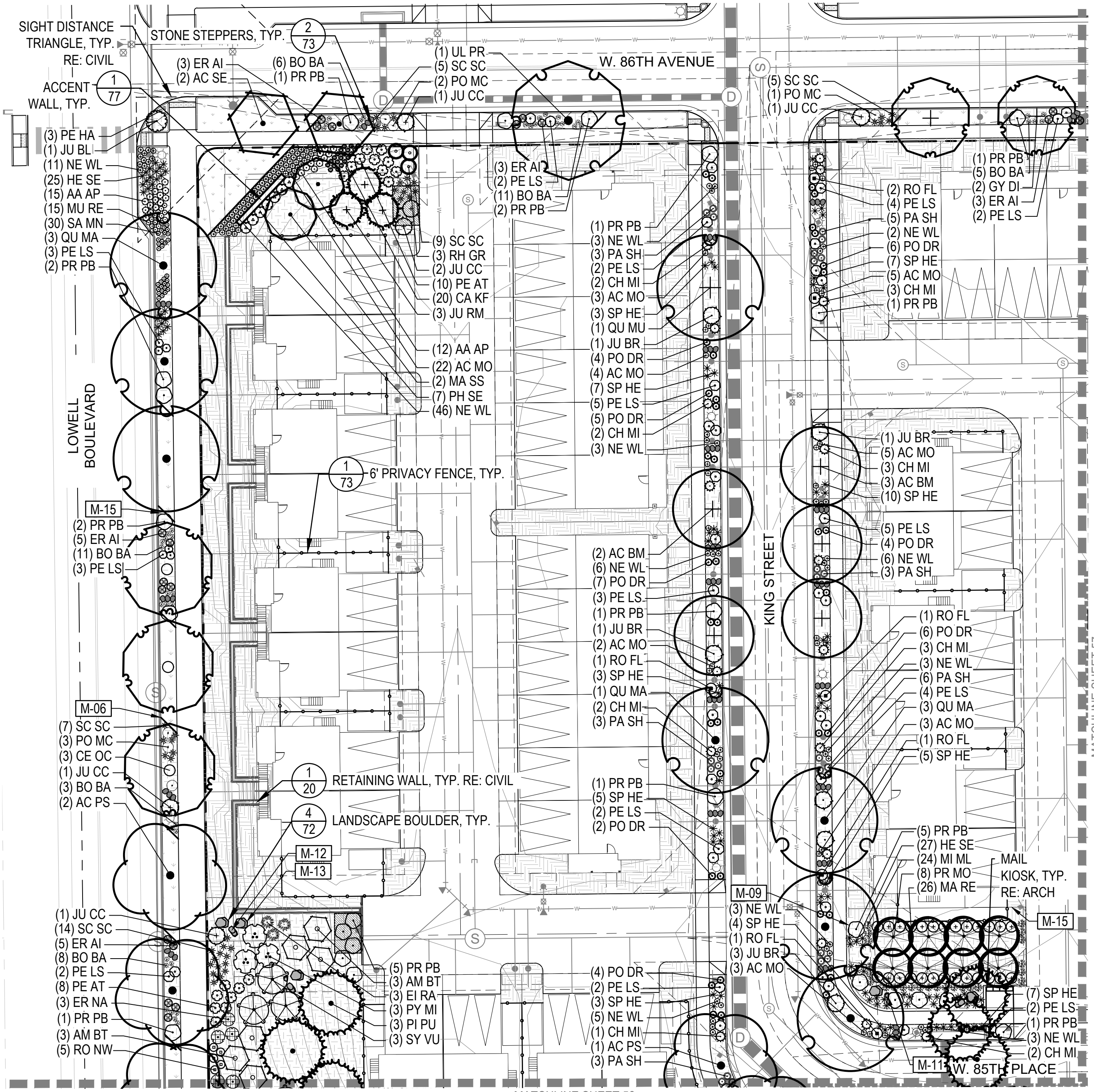
**NORRIS DESIGN**  
PEOPLE + PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P. 303.862.1166

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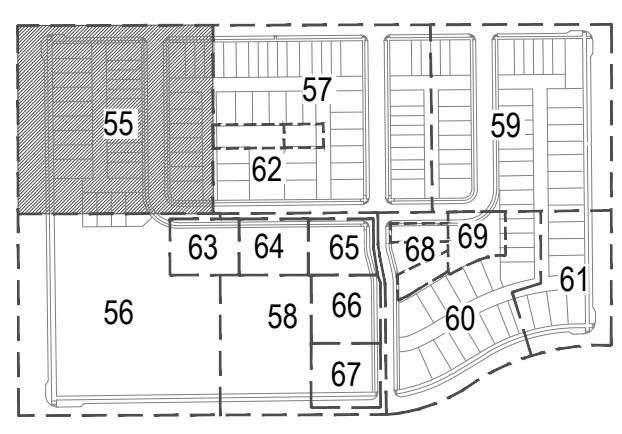
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**



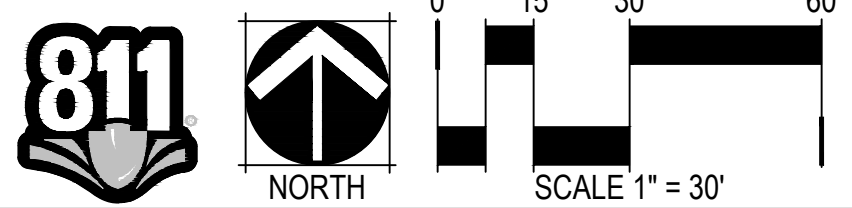
KEY MAP PA-A(3)



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH
- BIKE REPAIR STAND
- STONE STEPPERS
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- NATIVE SEED
- WETLAND NATIVE SEED
- LANDSCAPE BED - WOOD MULCH
- ENHANCED PAVING
- CRUSHER FINES
- ON-LOT LANDSCAPE
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE, RE: CIVIL
- STREET SIGN, RE: CIVIL
- MATCHLINE
- ENLARGEMENT LINE
- PUBLICLY ACCESSIBLE
- PRIVATE PARK BOUNDARY
- PLAYGROUND CURB

NOTE:  
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER.



OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 56 OF 156



UPLANDS

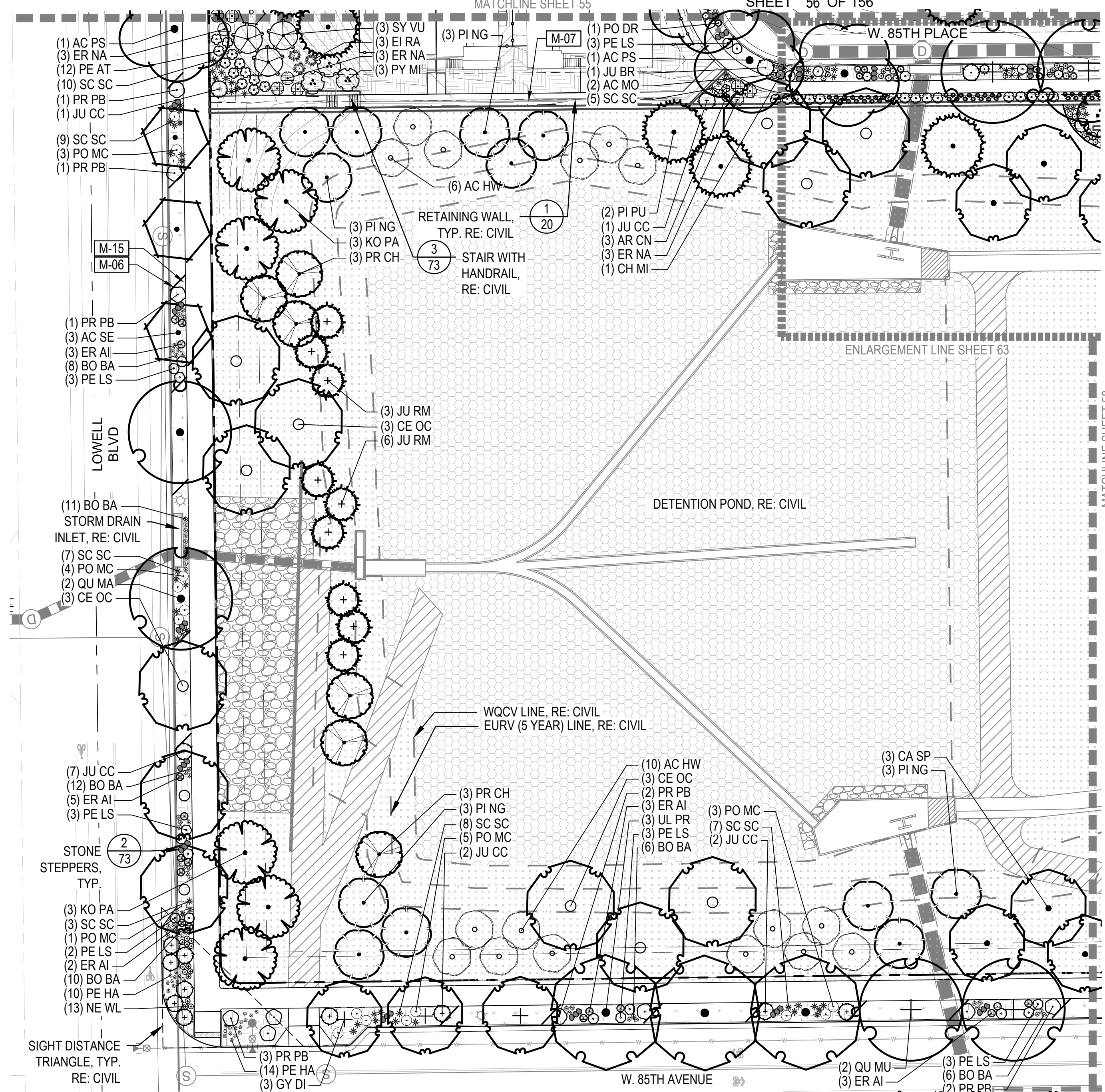
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UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

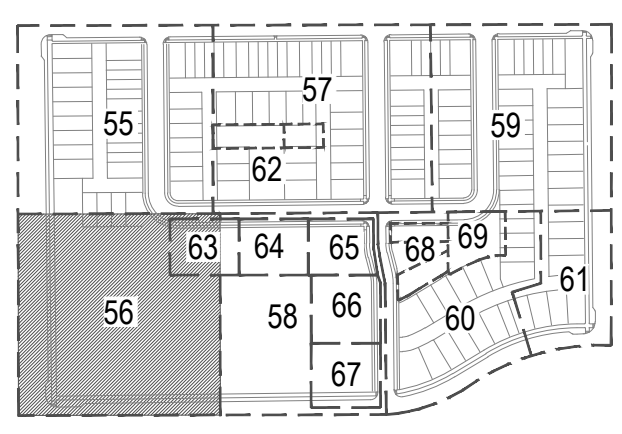
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024



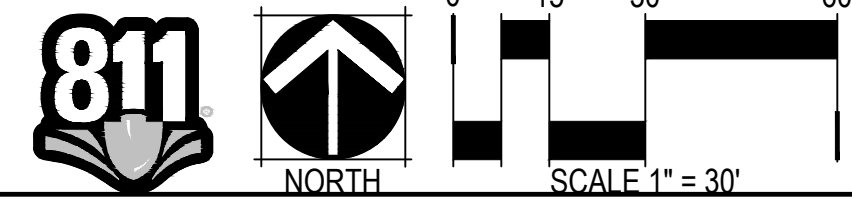
KEY MAP PA-A(3)



LEGEND

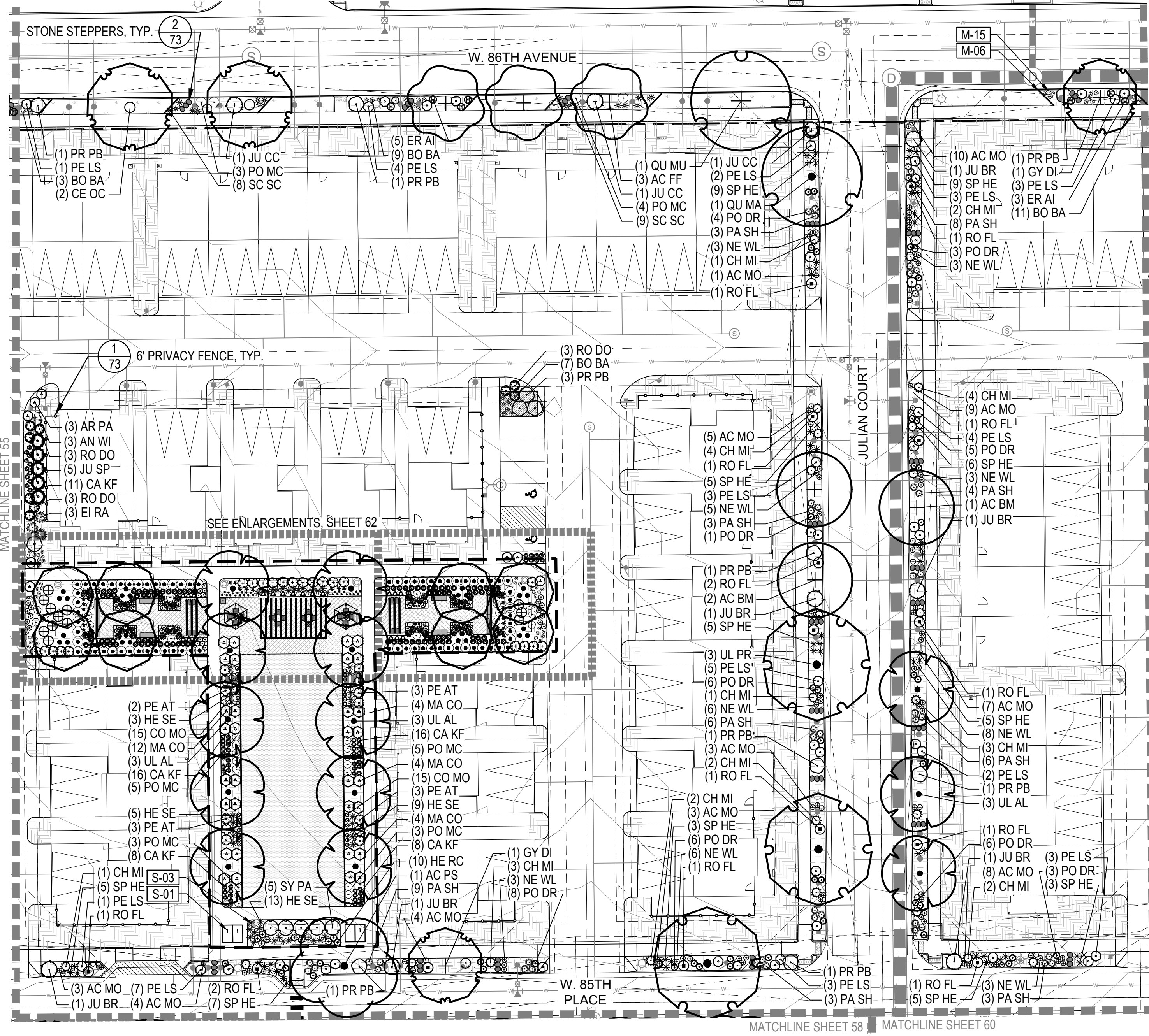
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
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- LANDSCAPE BED - WOOD MULCH
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- CRUSHER FINES
- ON-LOT LANDSCAPE
- MINOR CONTOUR
- MAJOR CONTOUR
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- SIGHT TRIANGLE
- STEEL EDGER
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE, RE: CIVIL
- STREET SIGN, RE: CIVIL
- MATCHLINE
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- PRIVATE PARK BOUNDARY
- PLAYGROUND CURB

NOTE:  
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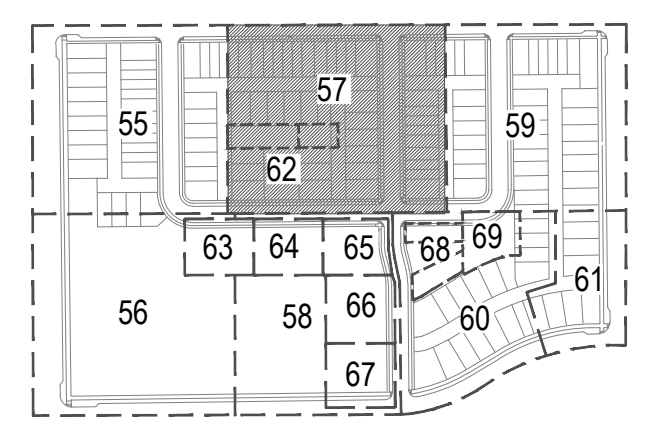




OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 57 OF 156



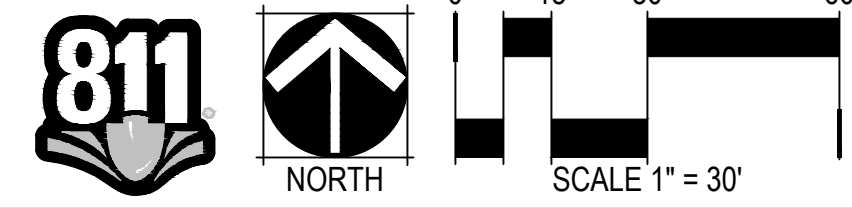
KEY MAP PA-A(3)



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
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UPLANDS

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

DATE: 10.10.2024

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

57 OF 156  
LANDSCAPE PLAN

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 58 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

**WESTMINSTER, COLORADO**

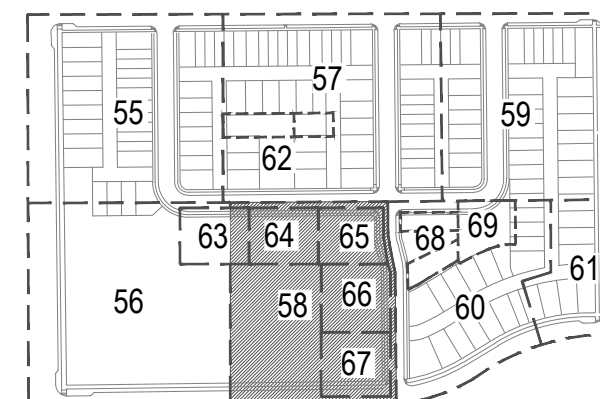
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024	
10.10.2024	

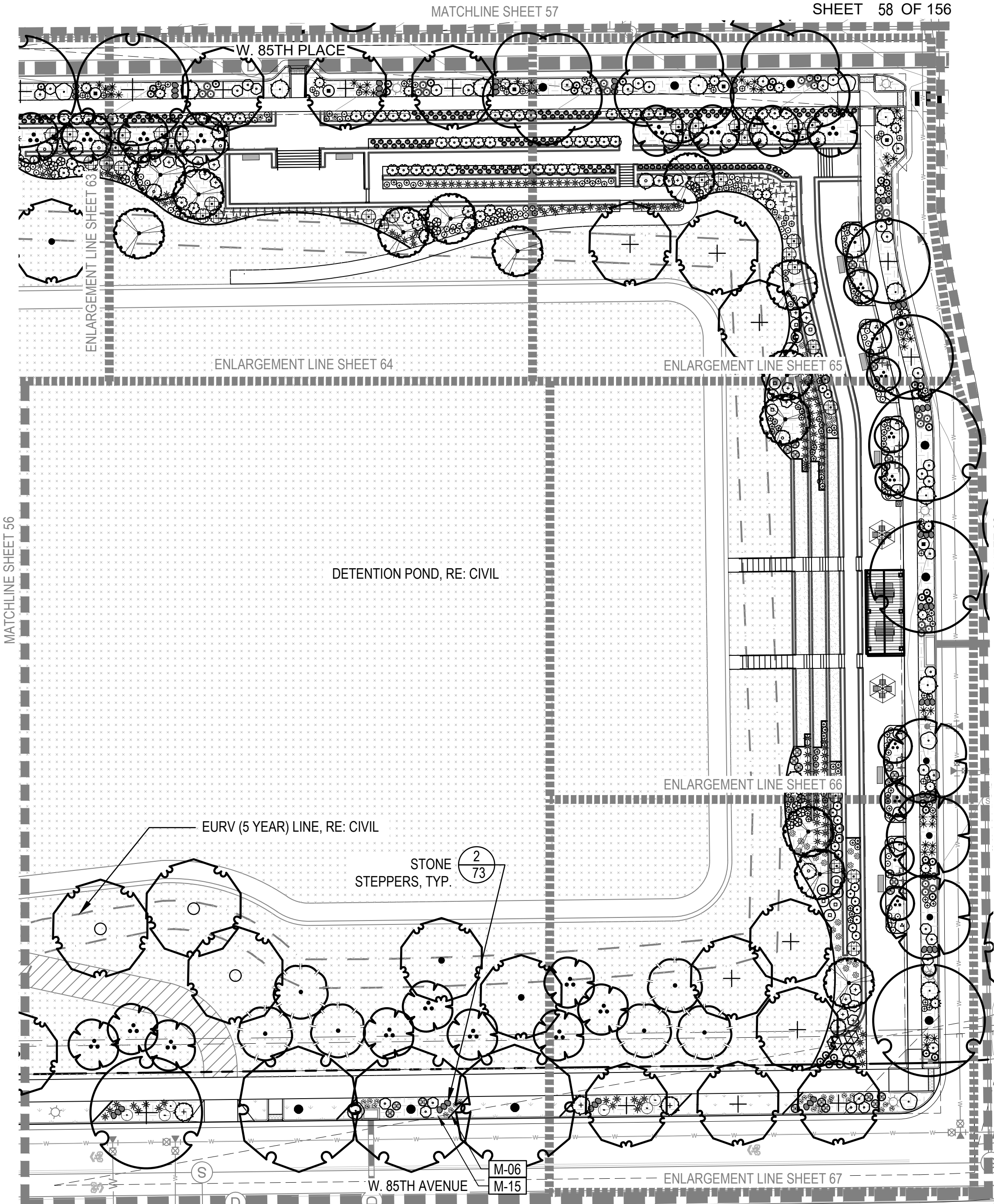
58 OF 156  
LANDSCAPE PLAN

KEY MAP PA-A(1)

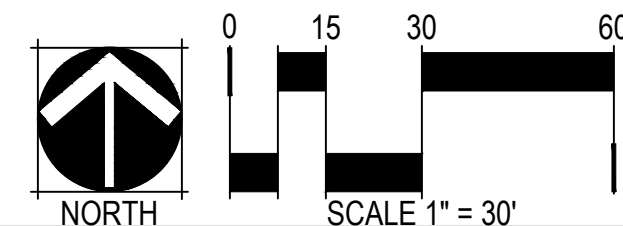


LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
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NOTE:  
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 59 OF 156



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UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN

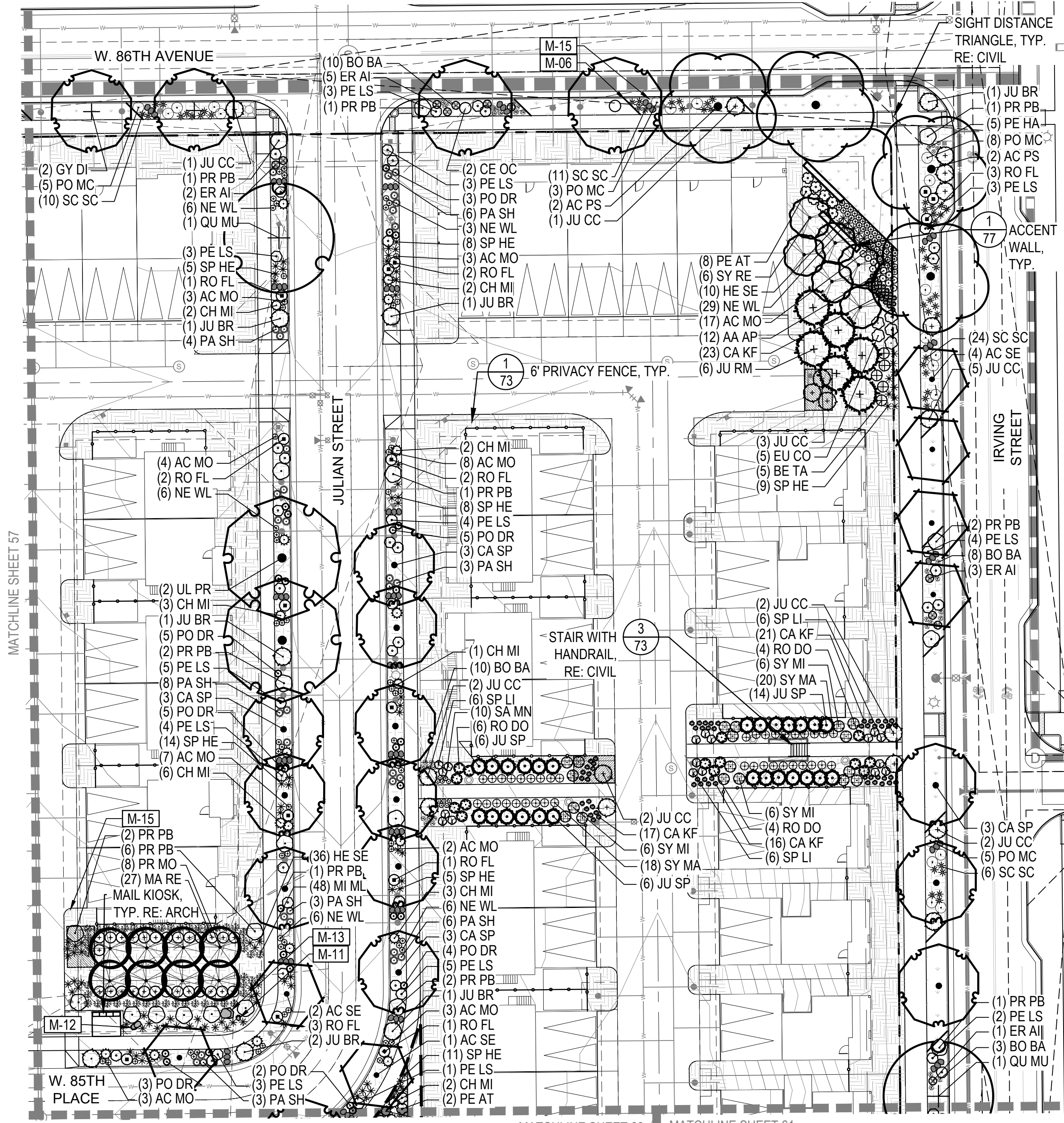
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REVISIONS

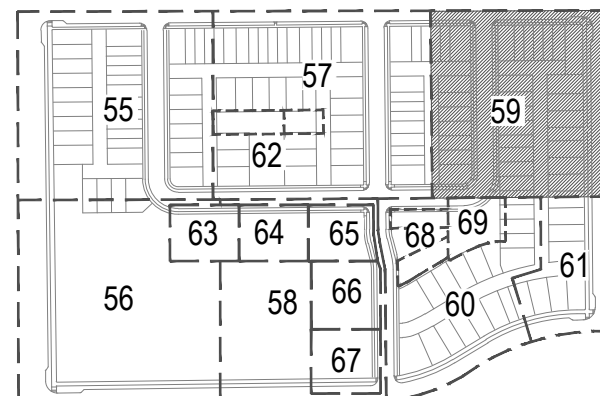
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59 OF 156  
LANDSCAPE PLAN



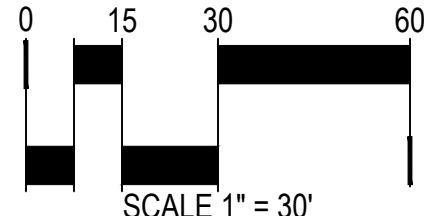
KEY MAP PA-A(3)



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 60 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

WESTMINSTER, COLORADO

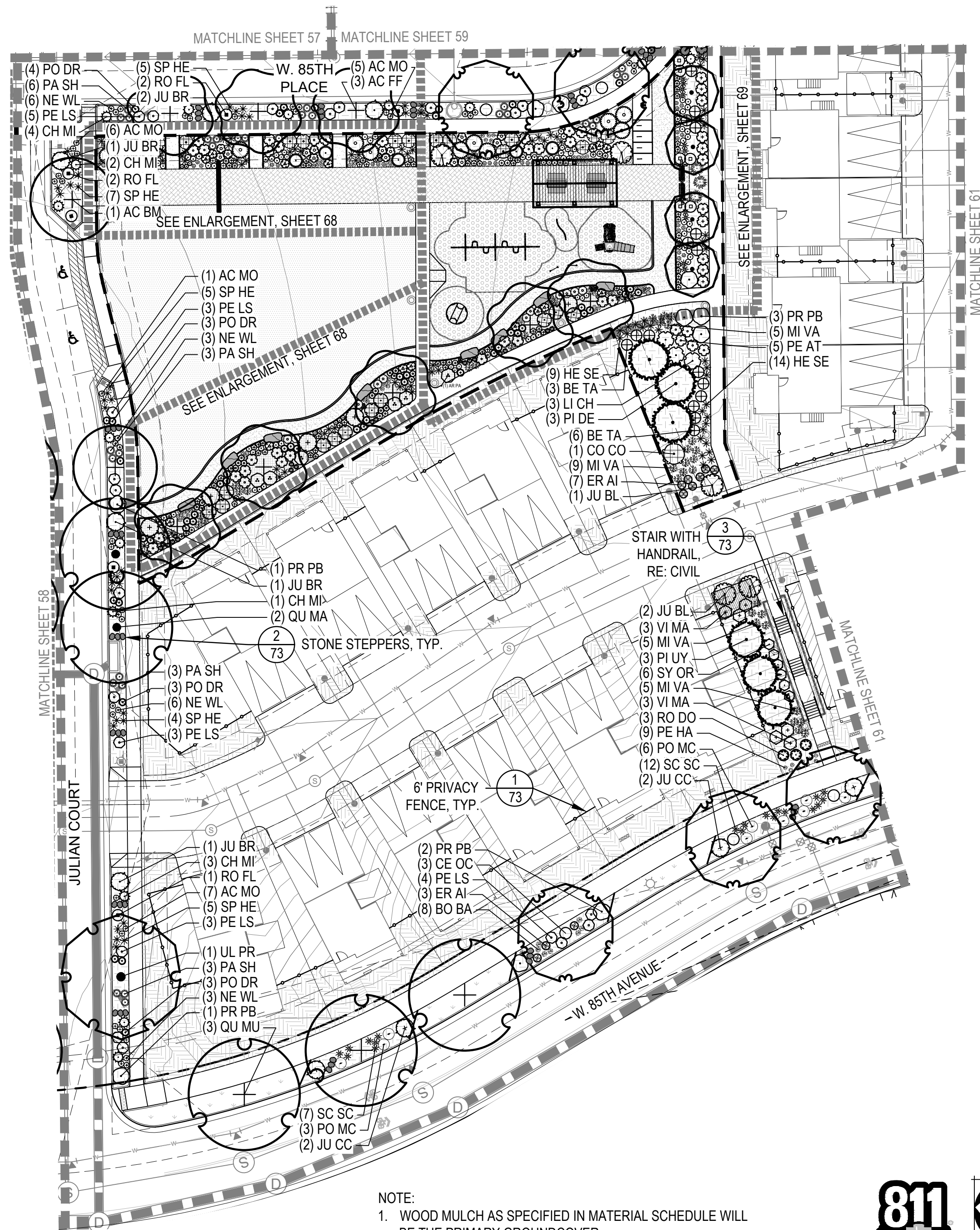
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PREPARED: 05.16.2024

REVISIONS

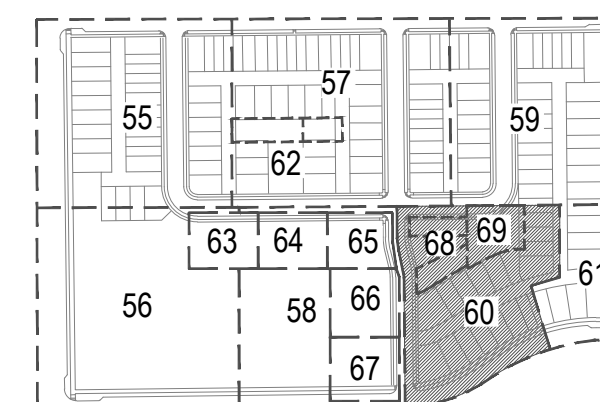
08.08.2024

10.10.2024

60 OF 156  
LANDSCAPE PLAN



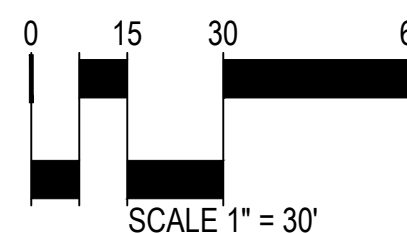
KEY MAP PA-A(3)



LEGEND

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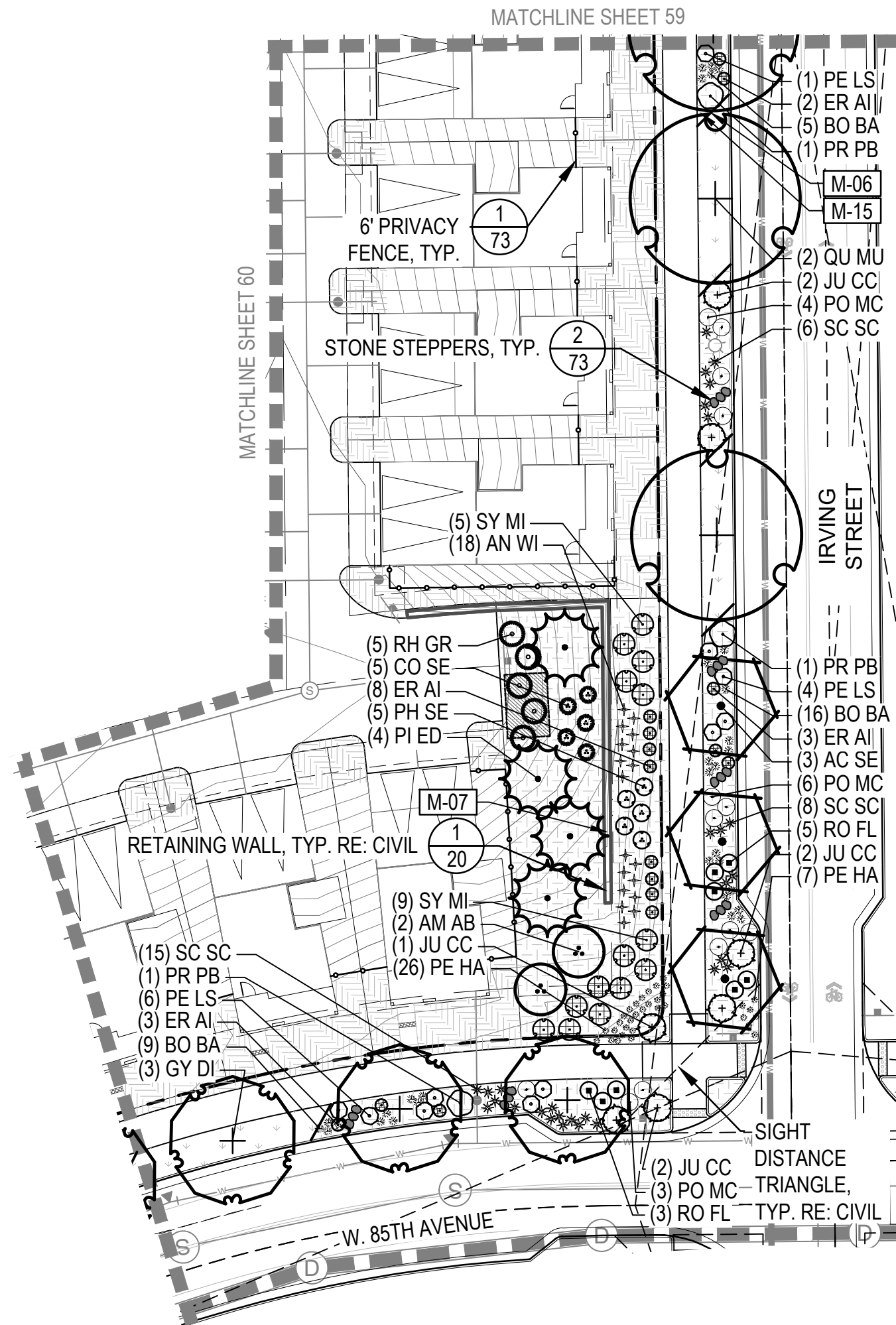
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 61 OF 156

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 PEOPLE + PLACEMAKING  
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 DENVER, CO 80204  
 P. 303.862.1166  
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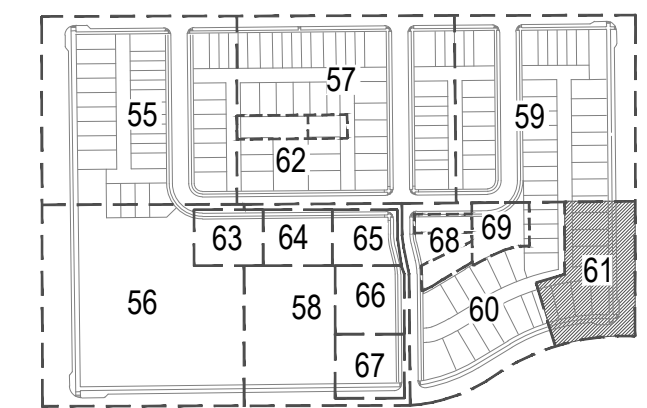
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



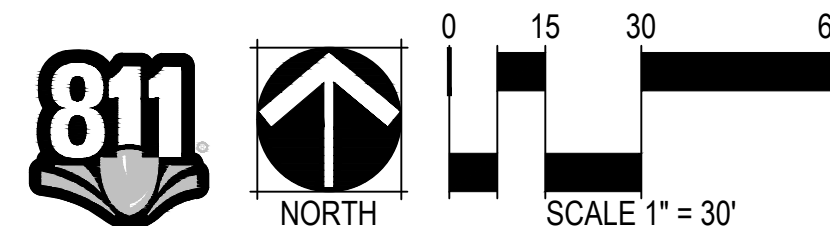
KEY MAP PA-A(3)



LEGEND

- CANOPY TREE
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OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 62 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

**WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

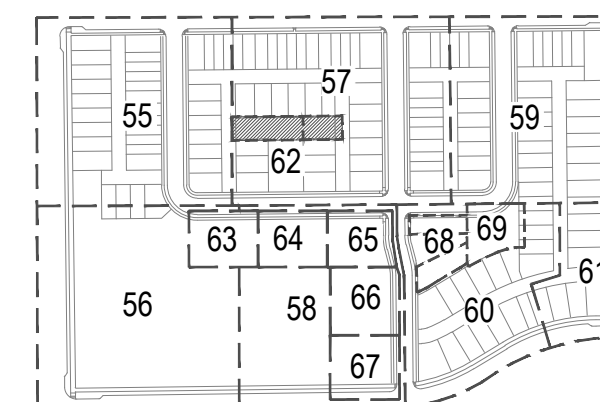
REVISIONS

08.08.2024

10.10.2024

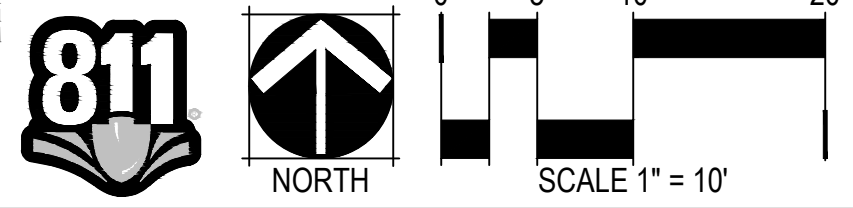
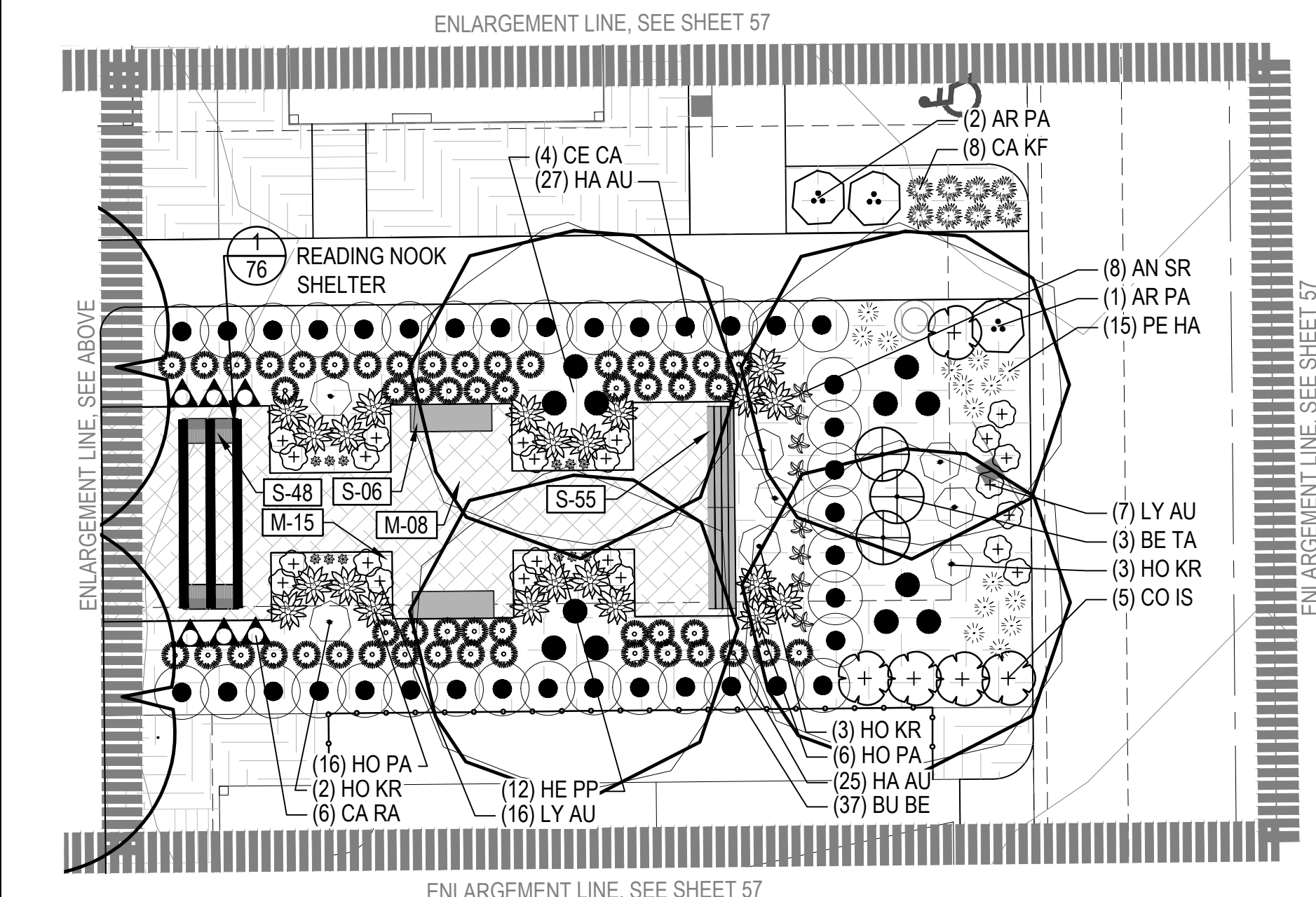
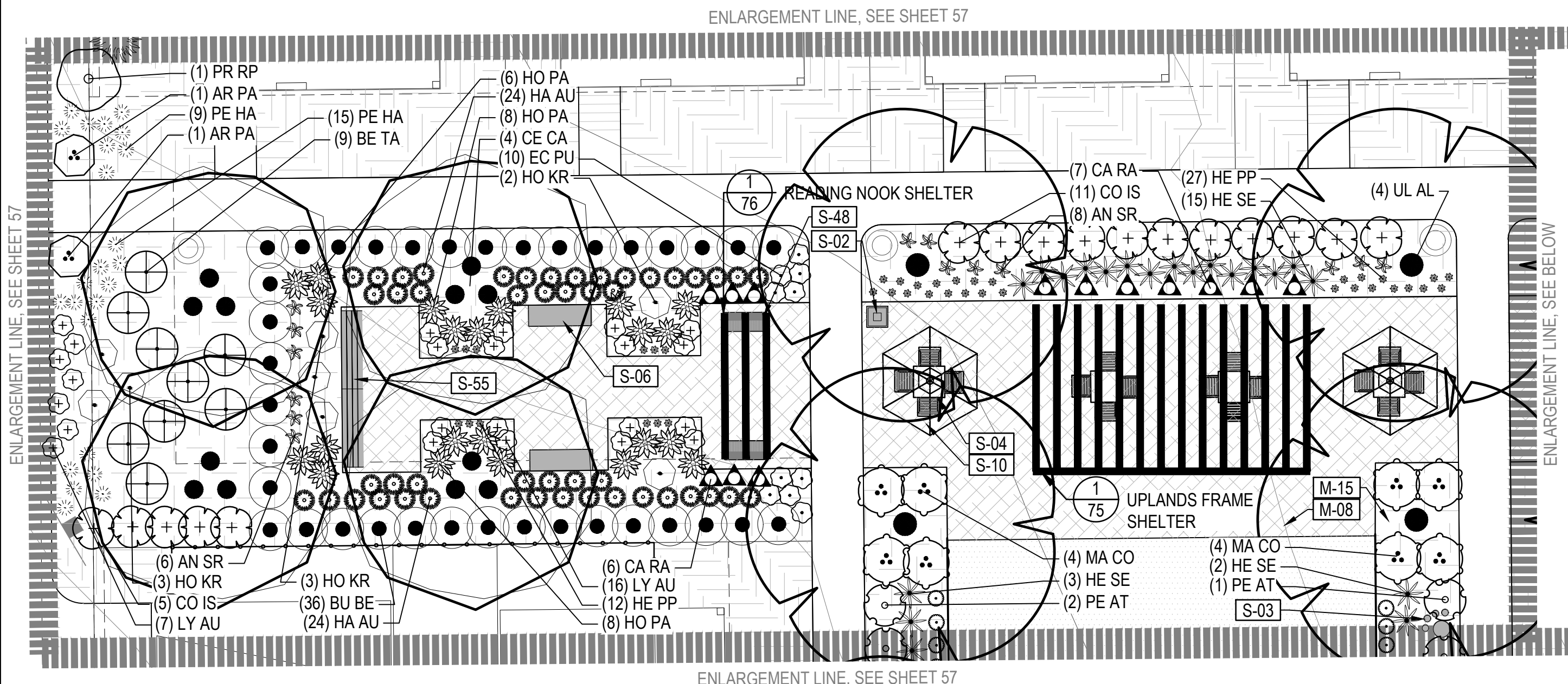
62 OF 156  
ENLARGEMENT PLAN

KEY MAP PA-A(3)



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 63 OF 156



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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

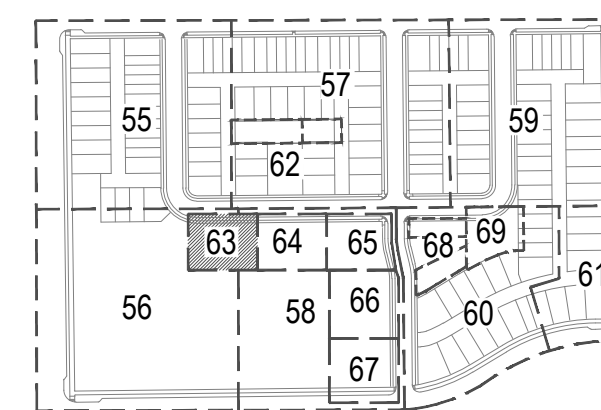
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

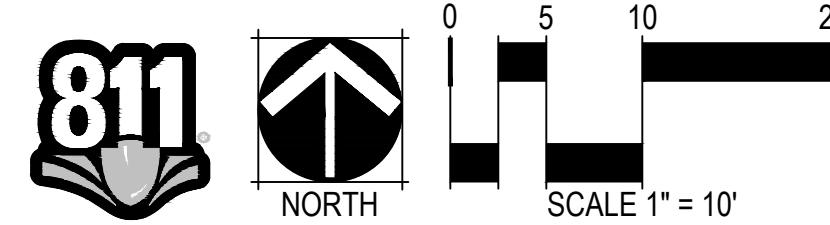
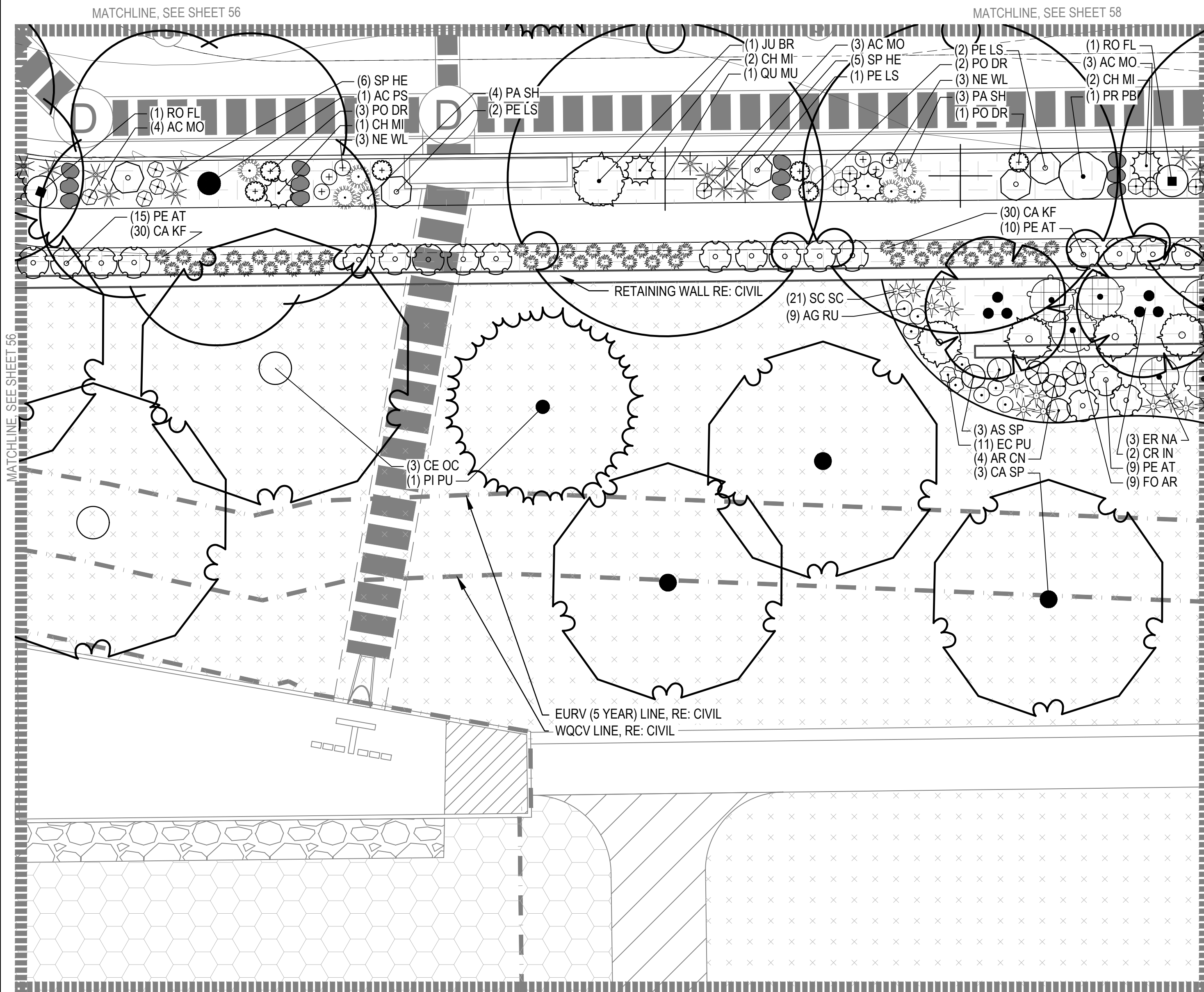
08.08.2024	
10.10.2024	

KEY MAP PA-A(3)



LEGEND

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MATCHLINE, SEE SHEET 56

MATCHLINE, SEE SHEET 58

MATCHLINE, SEE SHEET 56

ENLARGEMENT LINE, SEE SHEET 64

MATCHLINE, SEE SHEET 56

MATCHLINE, SEE SHEET 58

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 64 OF 156



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UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

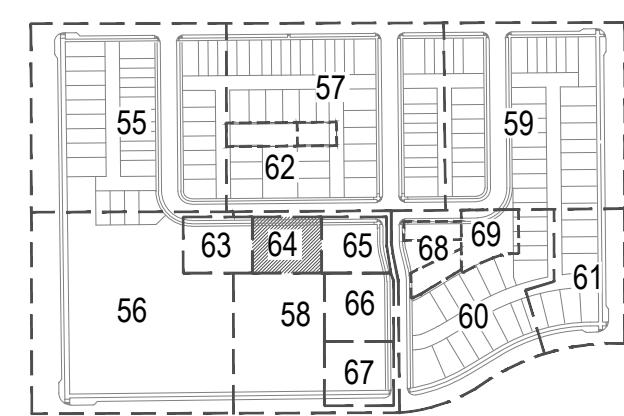
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

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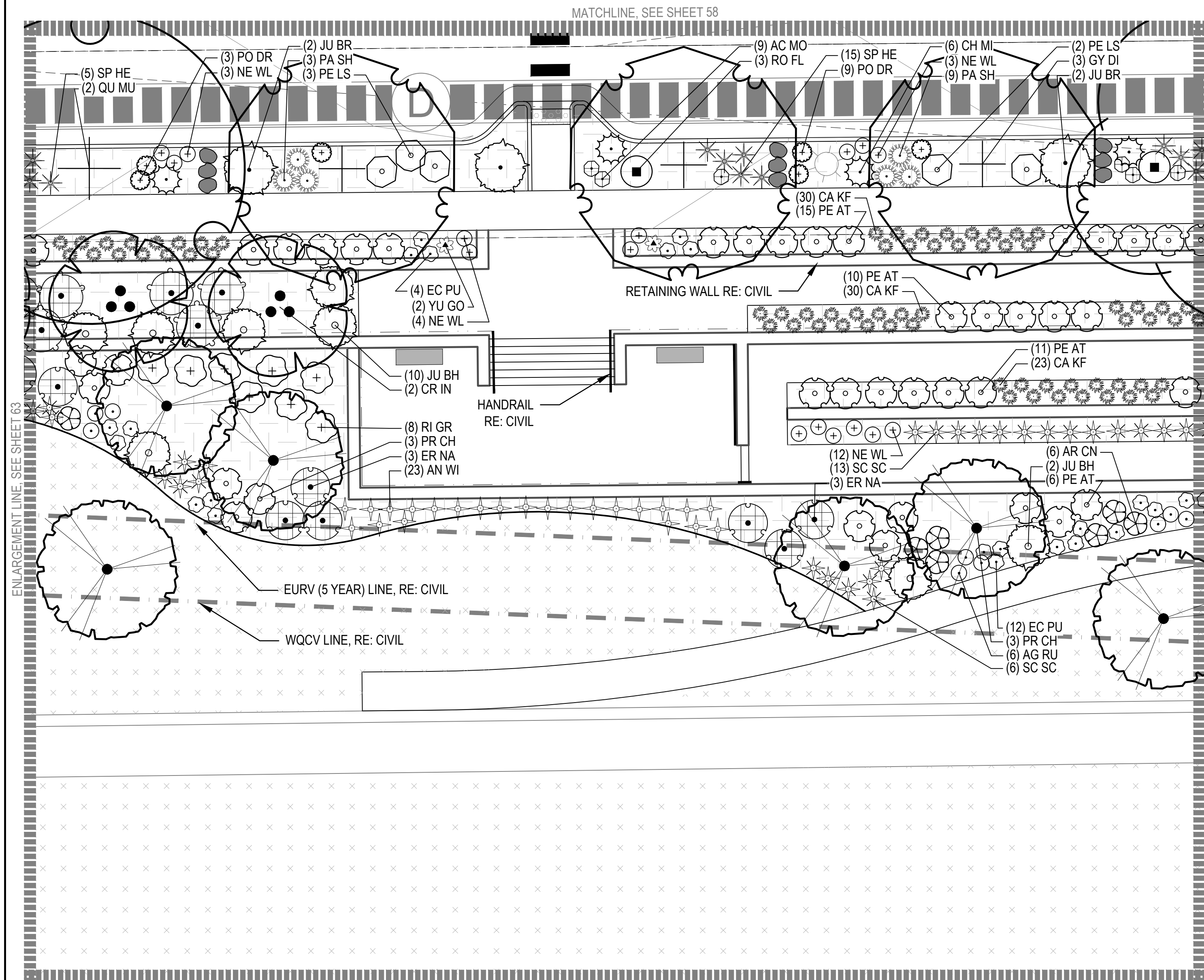
08.08.2024	
10.10.2024	

KEY MAP PA-A(3)

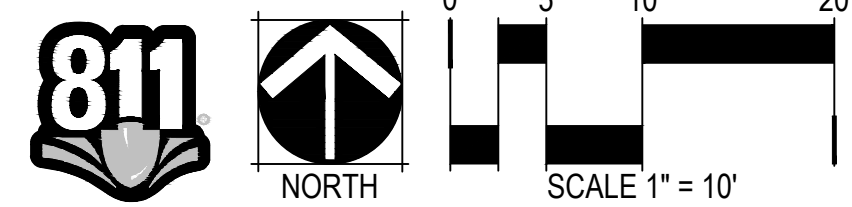


LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
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- DECIDUOUS SHRUB
- EVERGREEN SHRUB
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- STREET SIGN, RE: CIVIL
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- ENLARGEMENT LINE
- PUBLICLY ACCESSIBLE
- PRIVATE PARK BOUNDARY
- PLAYGROUND CURB



MATCHLINE, SEE SHEET 58



ENLARGEMENT LINE, SEE SHEET 63

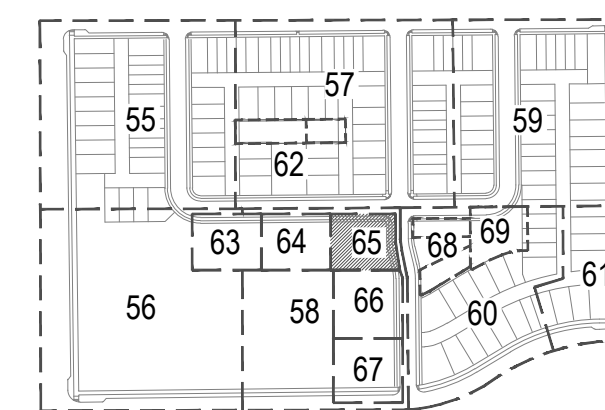
ENLARGEMENT LINE, SEE SHEET 65

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 65 OF 156

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KEY MAP PA-A(3)



**UPLANDS**

DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

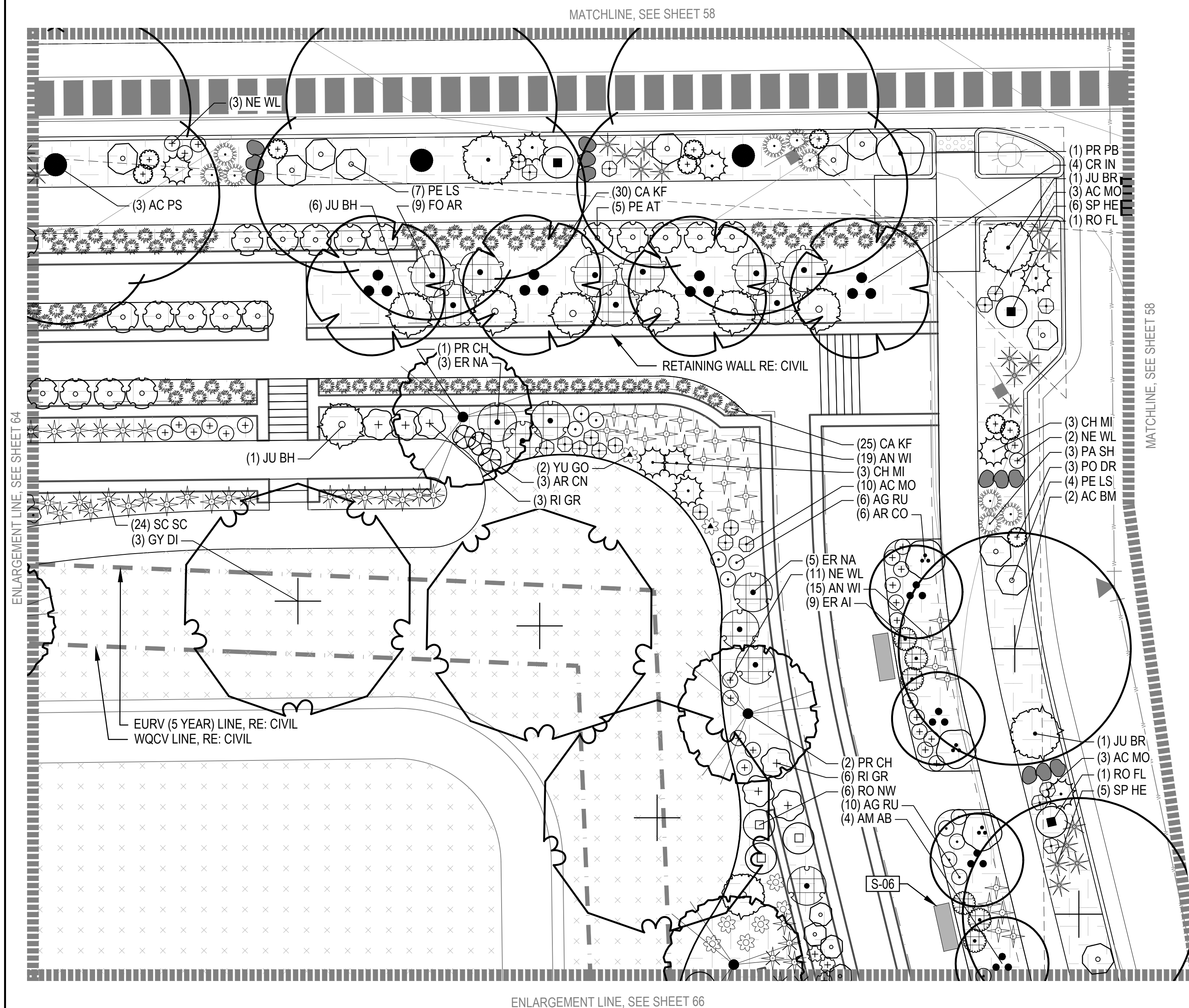
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PREPARED: 05.16.2024

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10.10.2024

65 OF 156  
ENLARGEMENT PLAN



MATCHLINE, SEE SHEET 58

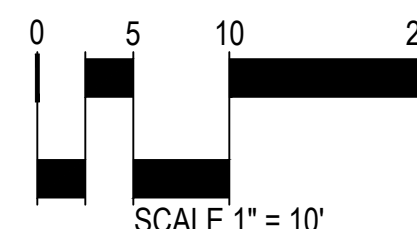
MATCHLINE, SEE SHEET 58

ENLARGEMENT LINE, SEE SHEET 64

ENLARGEMENT LINE, SEE SHEET 66

LEGEND

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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 66 OF 156

ENLARGEMENT LINE, SEE SHEET 65



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UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

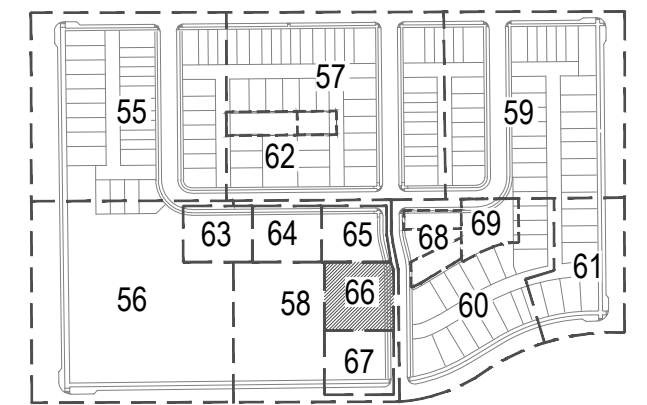
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

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10.10.2024

66 OF 156  
ENLARGEMENT PLAN

KEY MAP PA-A(3)

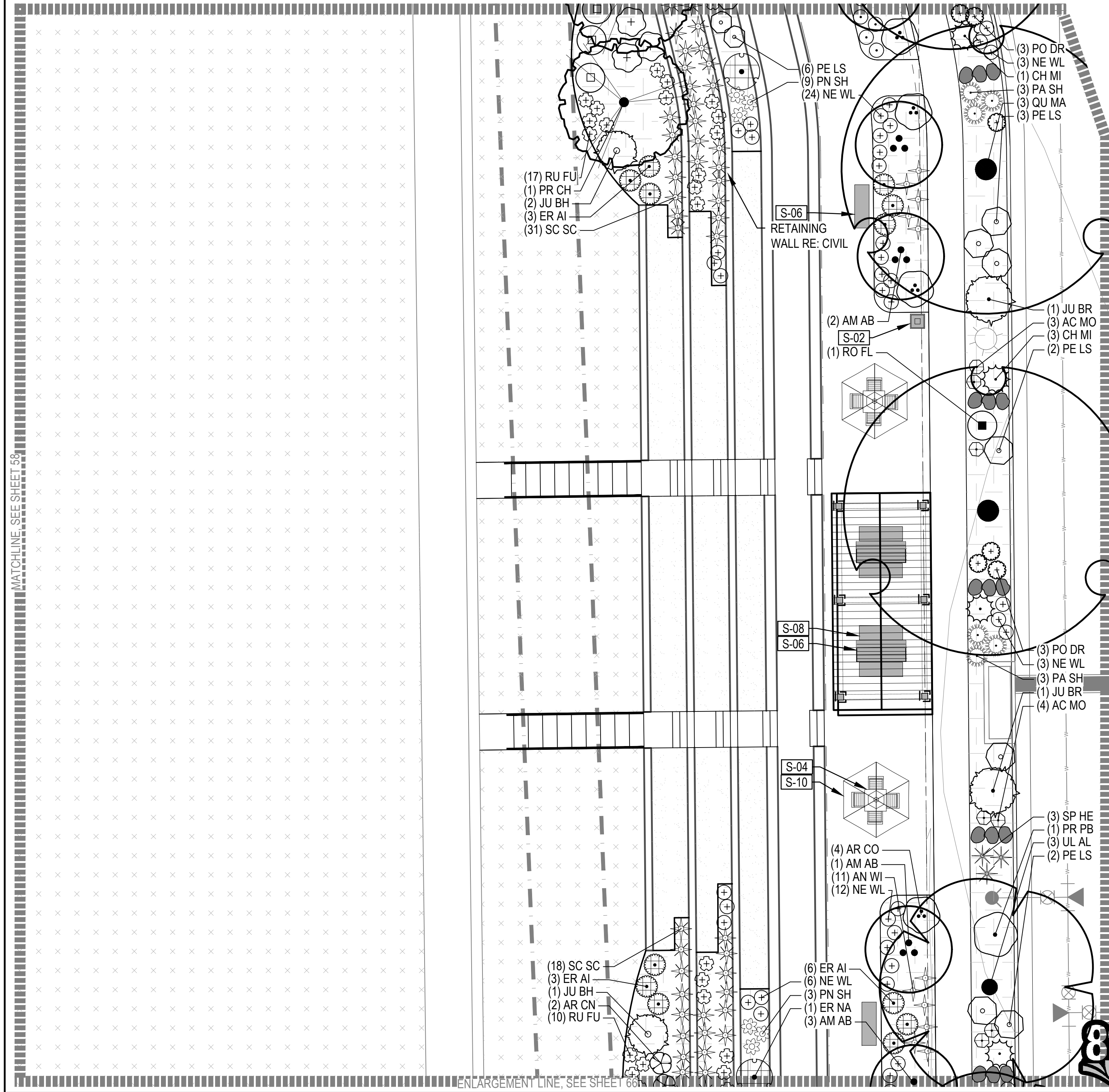


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SCALE 1" = 10'



MATCHLINE SEE SHEET 58

MATCHLINE SEE SHEET 58

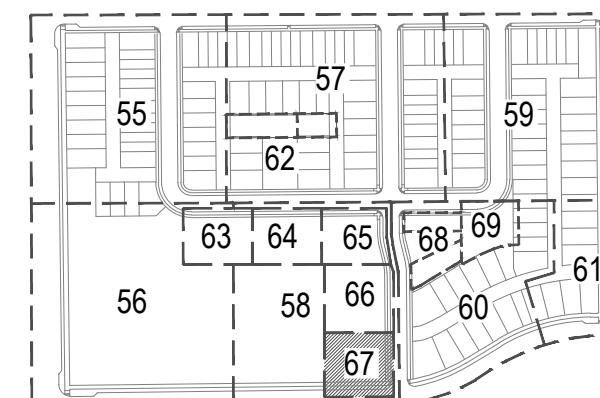
ENLARGEMENT LINE, SEE SHEET 65

# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 3

A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 67 OF 156

ENLARGEMENT LINE, SEE SHEET 66

KEY MAP PA-A(3)



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# UPLANDS

DATE: 10.10.2024

## UPLANDS FILING NO. 1

## BLOCK 3

## OFFICIAL DEVELOPMENT PLAN

## WESTMINSTER, COLORADO

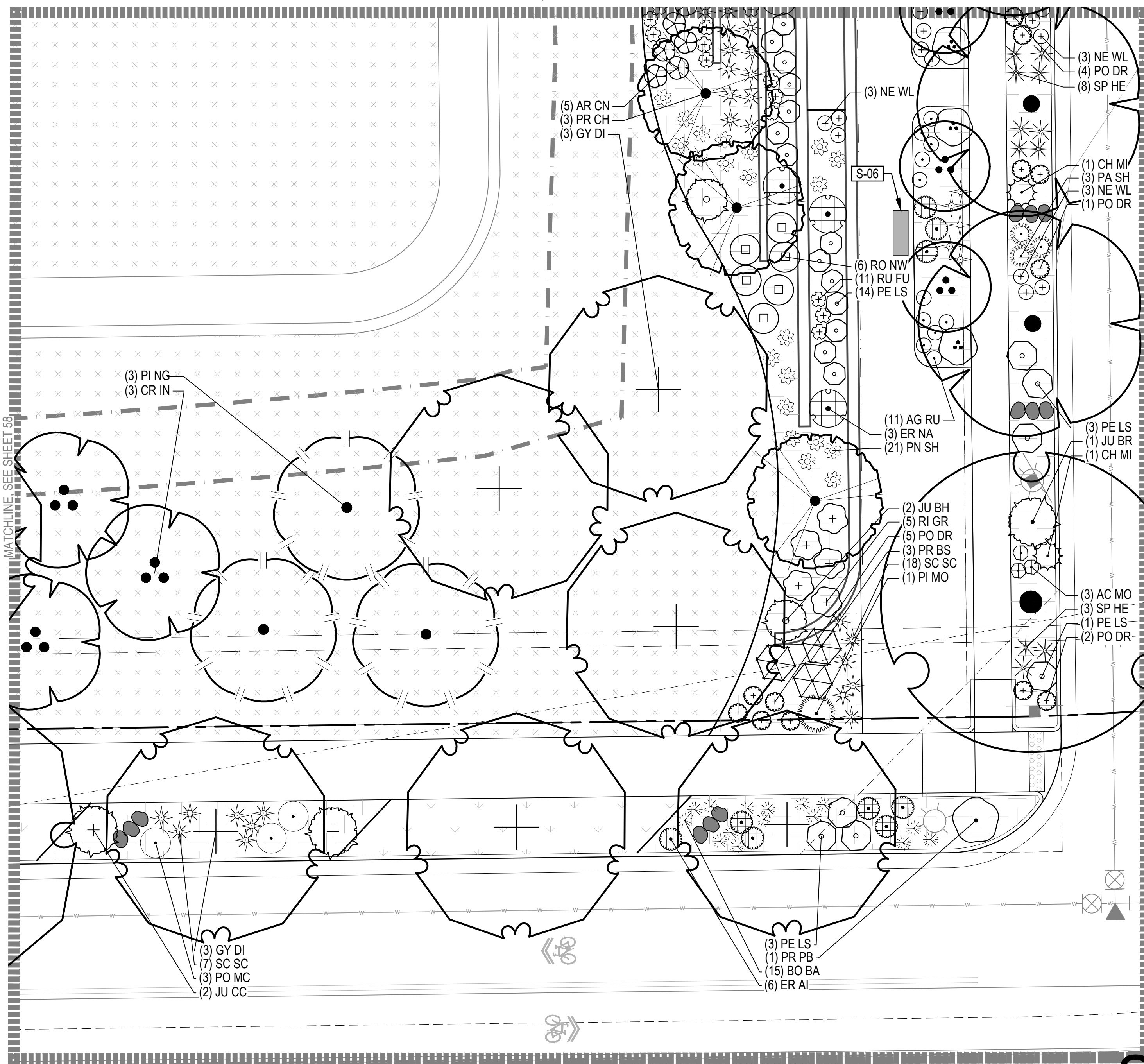
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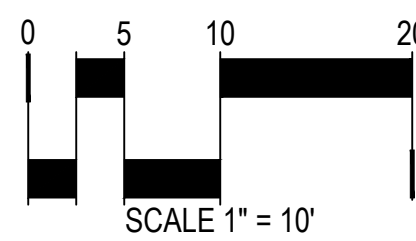
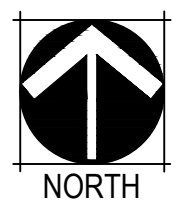
10.10.2024

67 OF 156  
ENLARGEMENT PLAN



### LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
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MATCHLINE, SEE SHEET 58

MATCHLINE, SEE SHEET 58

MATCHLINE, SEE SHEET 58

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 68 OF 156

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**UPLANDS**

DATE: 10.10.2024

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**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

WESTMINSTER, COLORADO

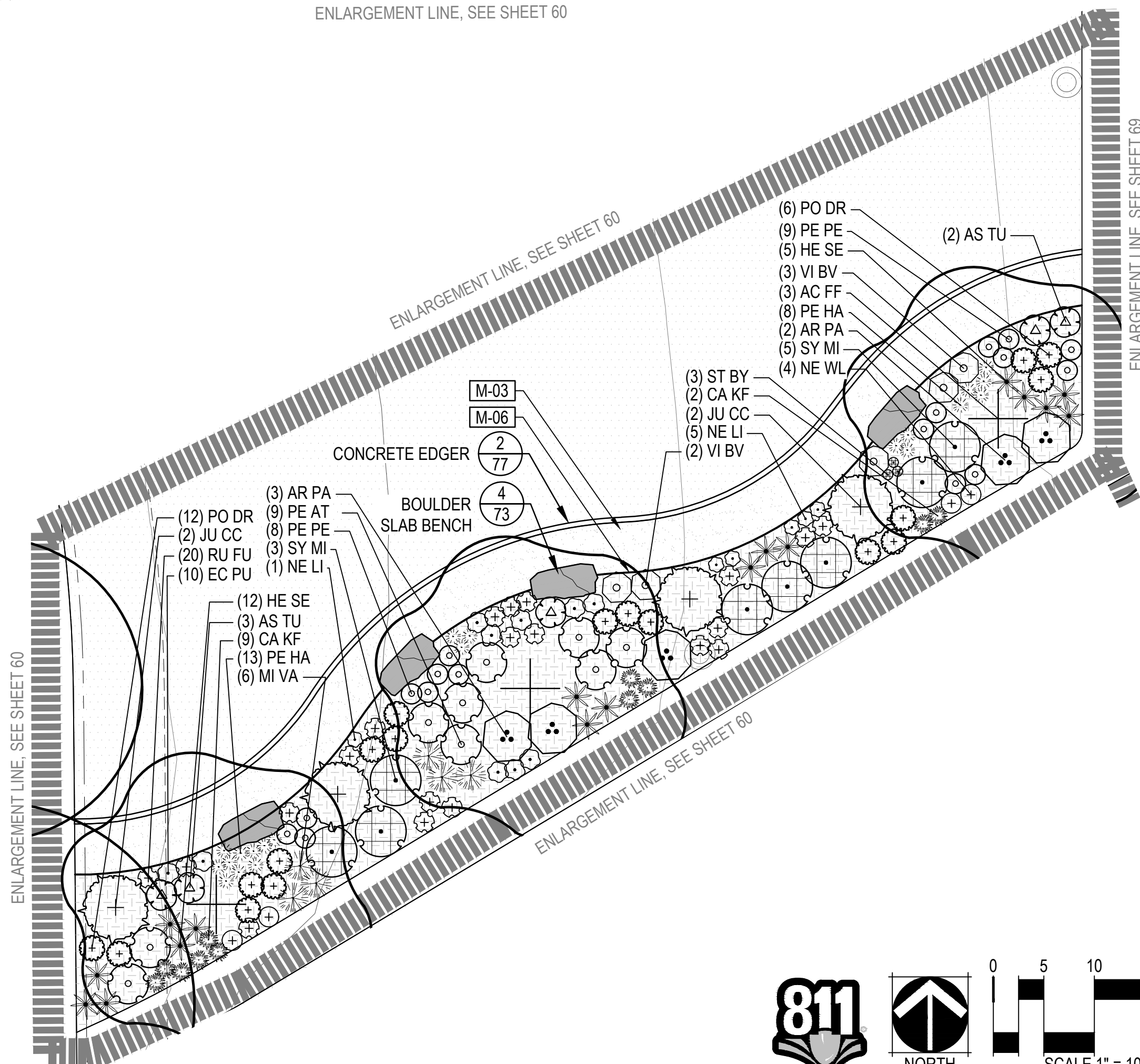
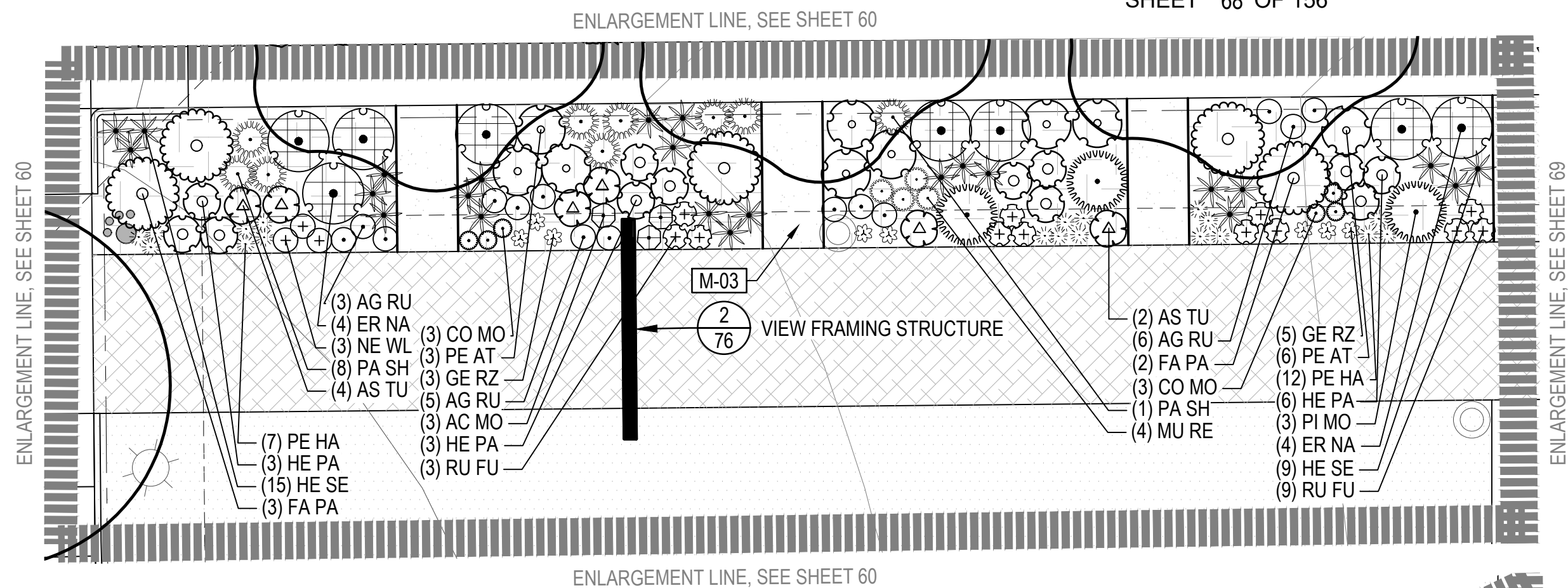
OFFICIAL DEVELOPMENT PLAN  
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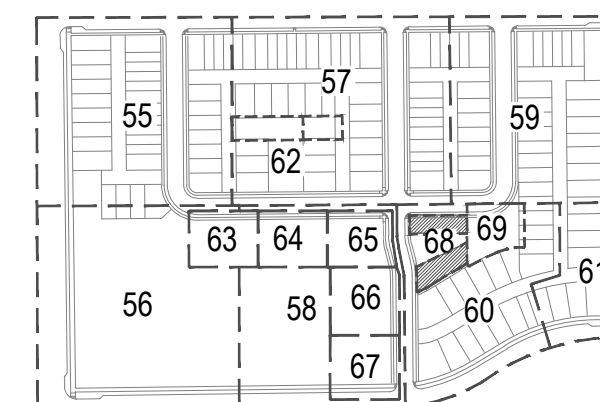
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68 OF 156  
ENLARGEMENT PLAN

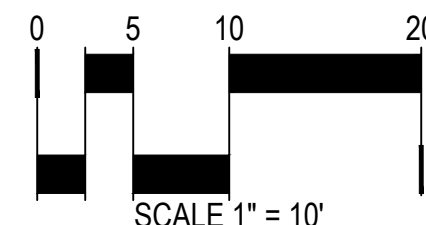


KEY MAP PA-A(3)



LEGEND

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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 69 OF 156

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**UPLANDS**

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3

OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

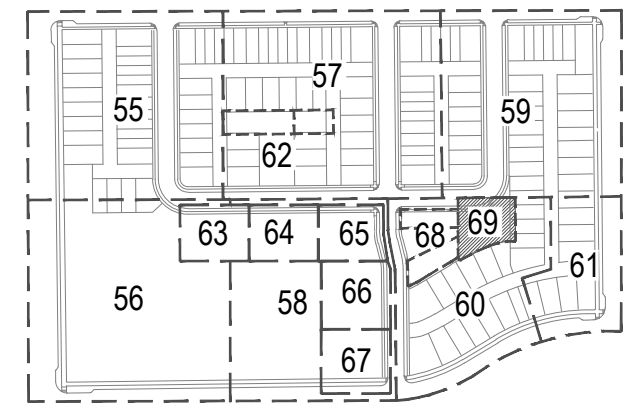
OFFICIAL DEVELOPMENT PLAN  
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08.08.2024  
10.10.2024

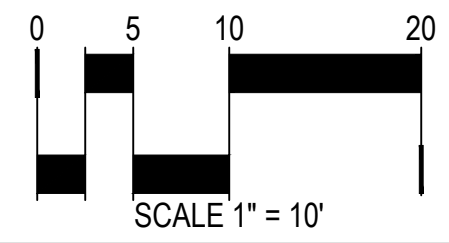
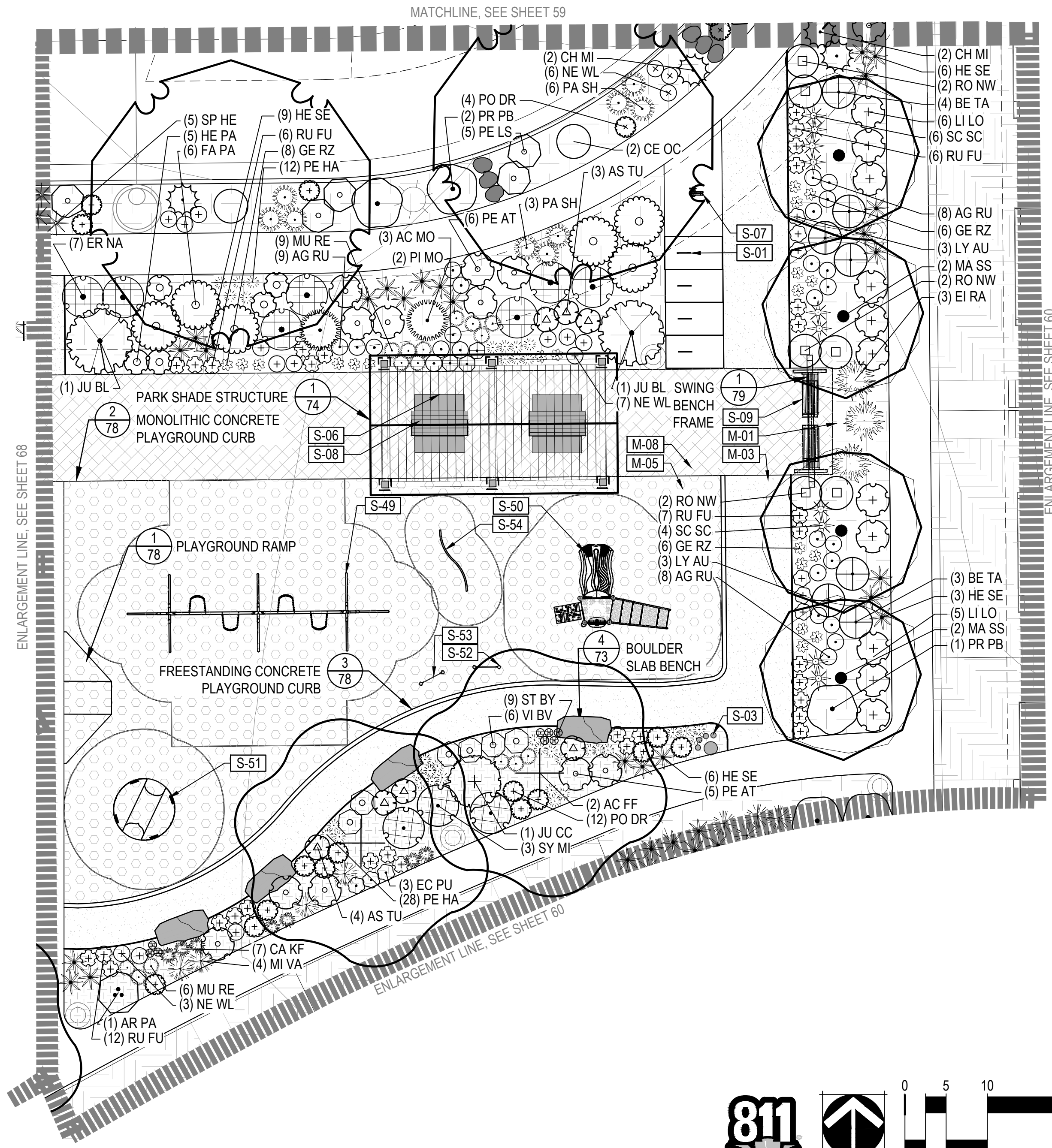
69 OF 156  
ENLARGEMENT PLAN

KEY MAP PA-A(3)



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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 70 OF 156

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**UPLANDS**

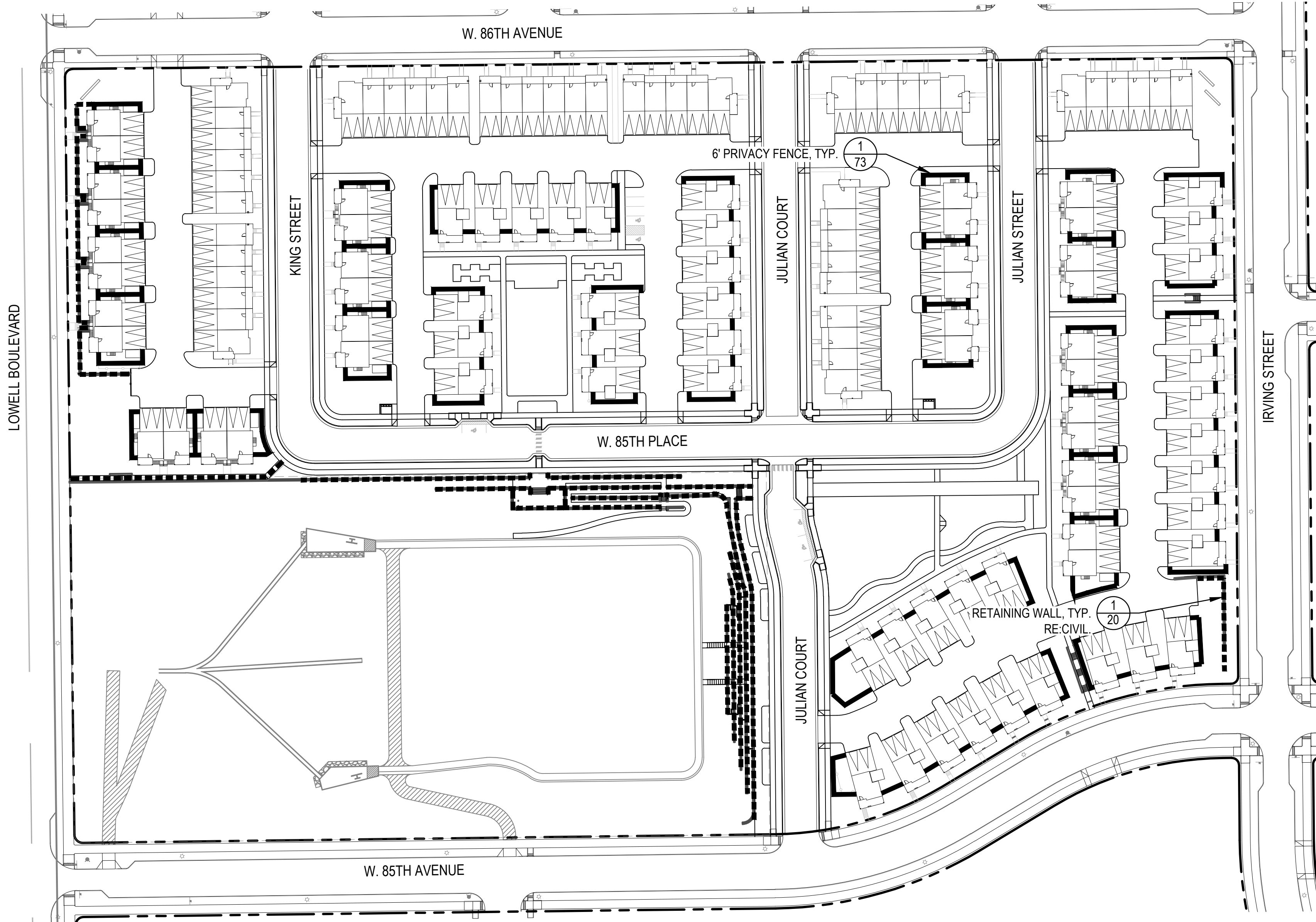
DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

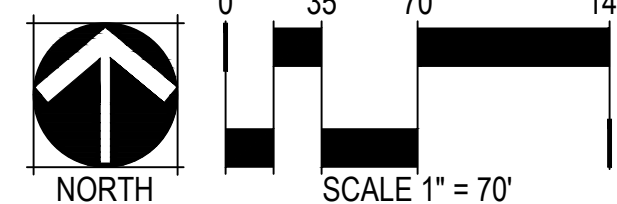
WESTMINSTER, COLORADO



LEGEND

- SITE BOUNDARY
- 6' PRIVACY FENCE (SEE DETAIL 1, SHEET 73)
- RETAINING WALLS. RE: CIVIL GRADING SHEETS FOR HEIGHTS & CIVIL SHEET 20 FOR DETAIL.

NOTE: ALL FENCING WILL BE CONSTRUCTED BY THE HOME BUILDER AND WILL BE MAINTAINED / REPLACED BY THE HOA.



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REVISIONS

08.08.2024	
10.10.2024	

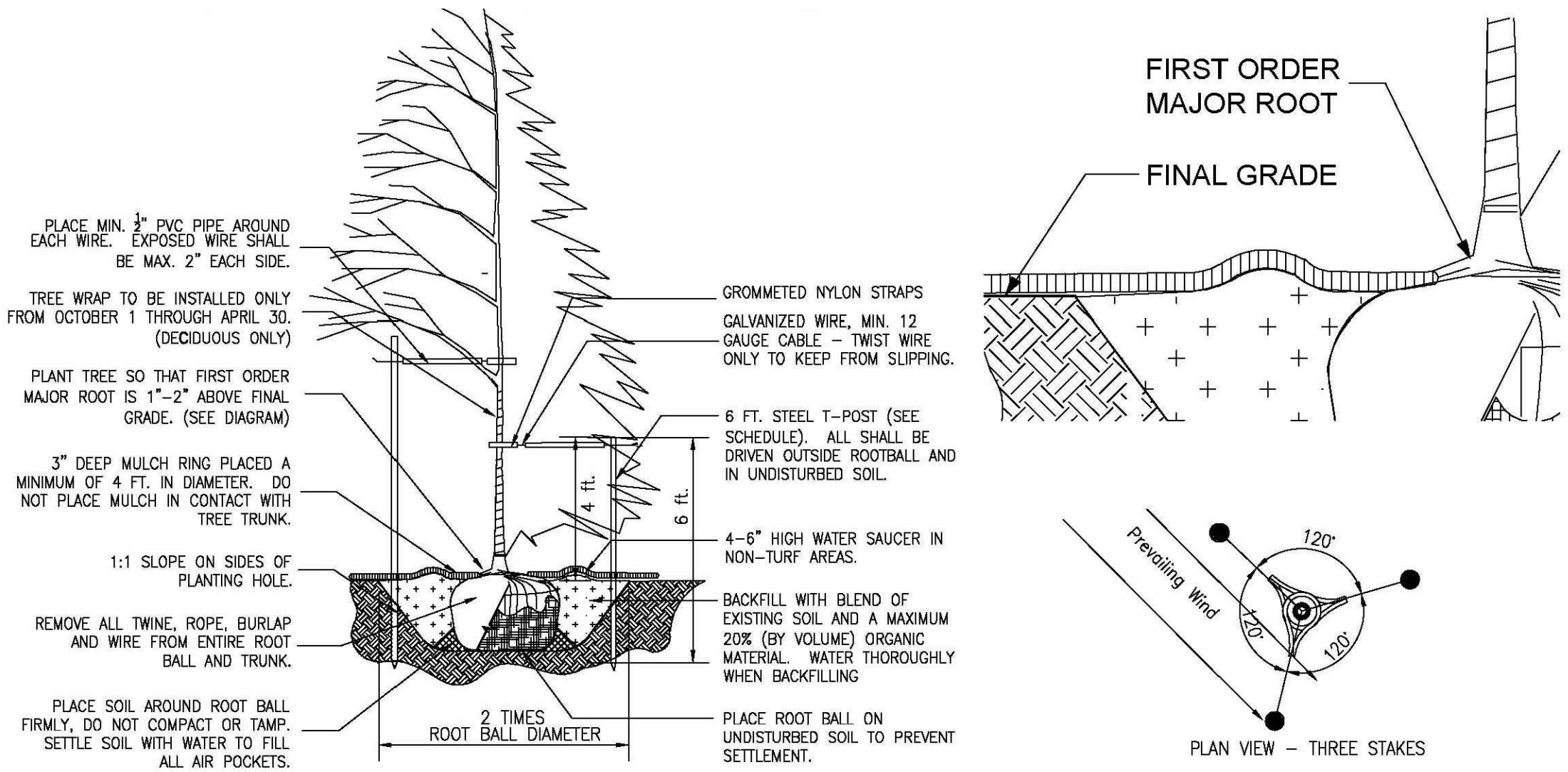
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 71 OF 156

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DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



**PRUNING NOTES:**

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

**STAKING NOTES:**

STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:

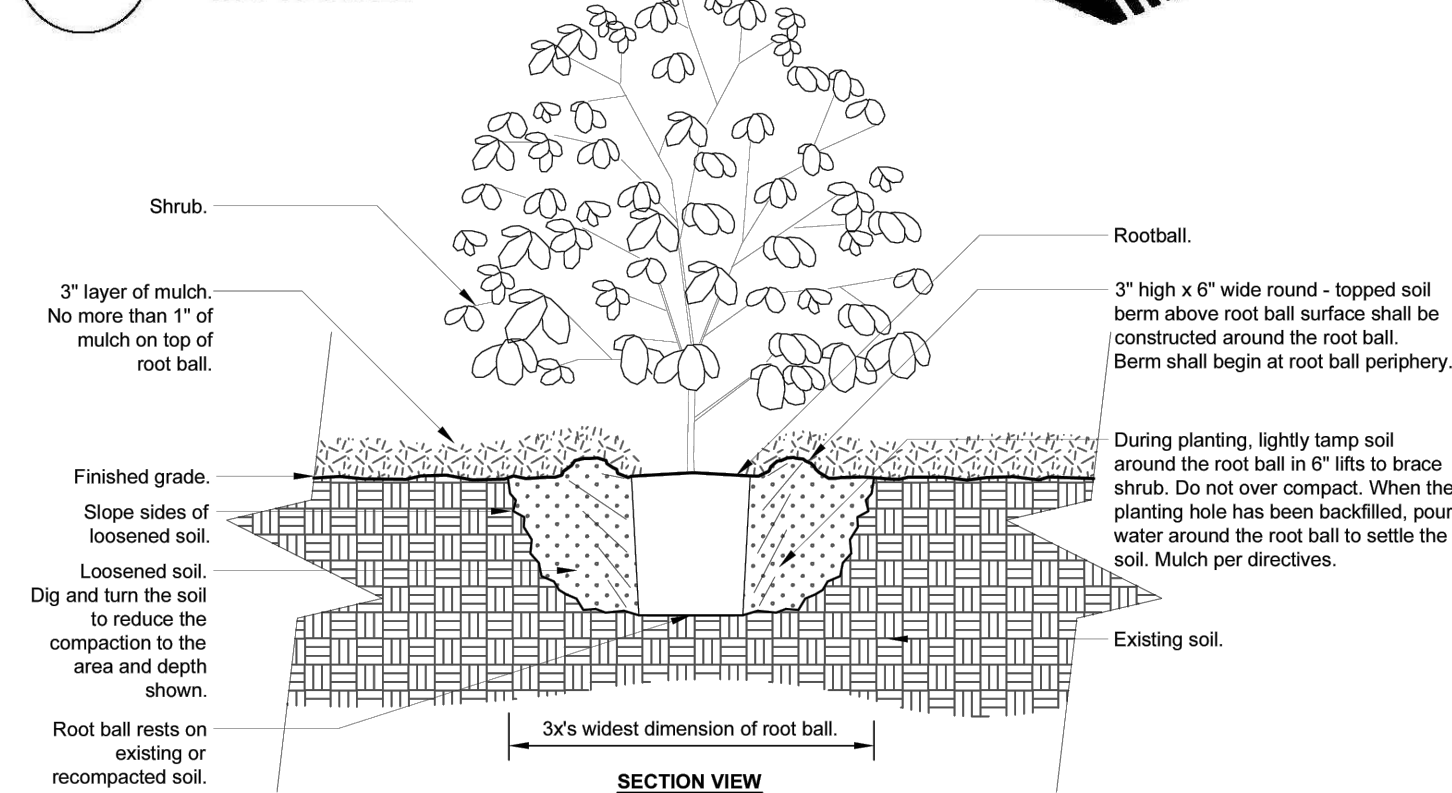
1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).

1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.

3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM

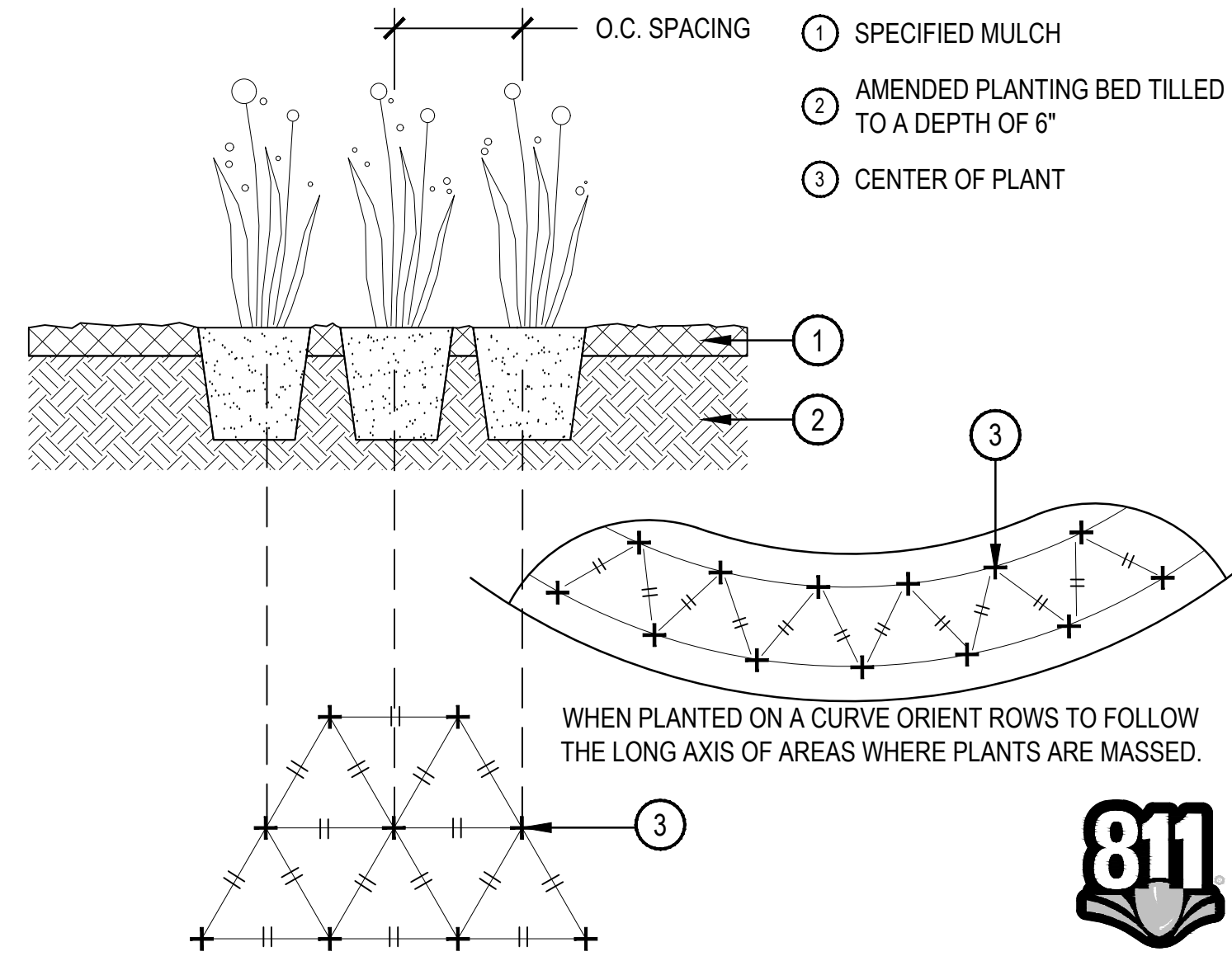
WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

**1 TREE PLANTING DETAIL**  
 NOT TO SCALE



- Notes:
- 1- Shrubs shall be of quality per ANSI Standards Z-60.
  - 2- Backfill with soil from planting hole that has been previously modified to meet City requirements.

**2 SHRUB PLANTING DETAIL**



**3 PERENNIAL PLANT LAYOUT**



SCALE: 1" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 72 OF 156

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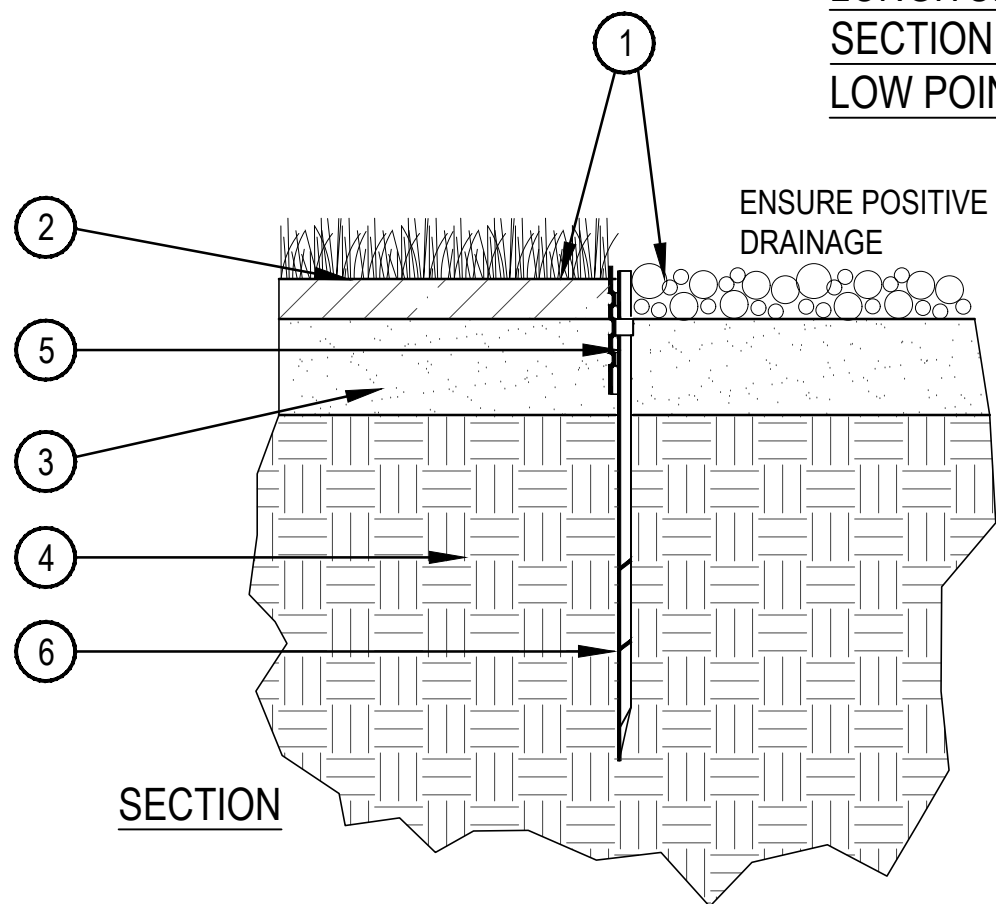
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

(16) 1/2" DIA. HOLES MIN. AT ALL LOW POINTS

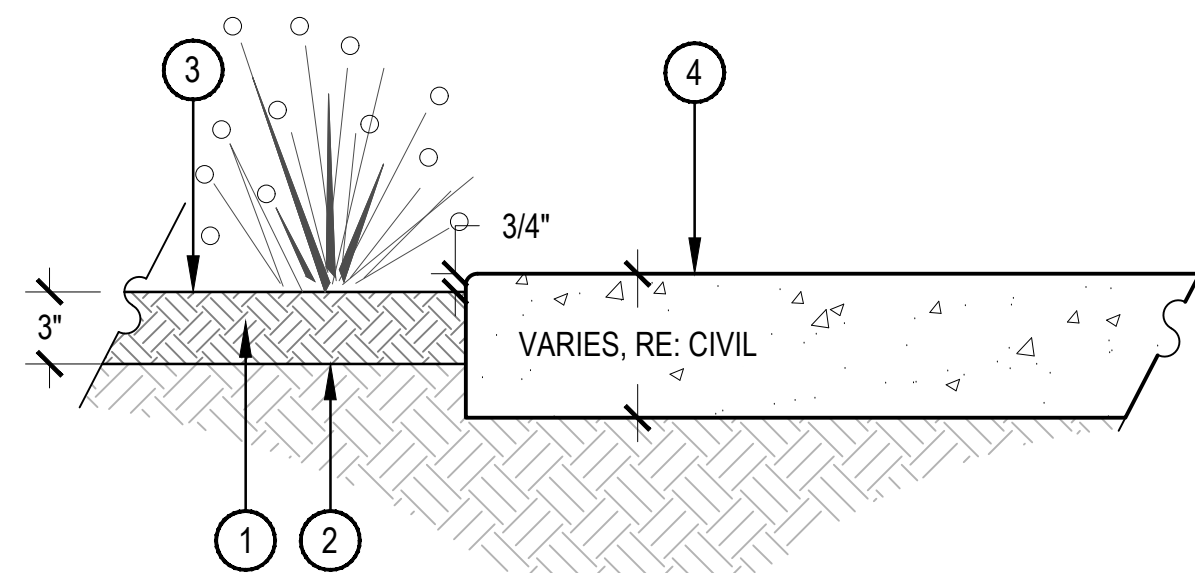
**LONGITUDINAL SECTION OF EDGER AT LOW POINT**



- ① FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ SUBGRADE
- ⑤ STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ EDGER STAKE

- ① SPECIFIED LANDSCAPE MULCH
- ② FINISHED SOIL GRADE
- ③ FINISHED GRADE
- ④ CONCRETE FLATWORK, RE: CIVIL

**NOTES:**  
 1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.  
 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

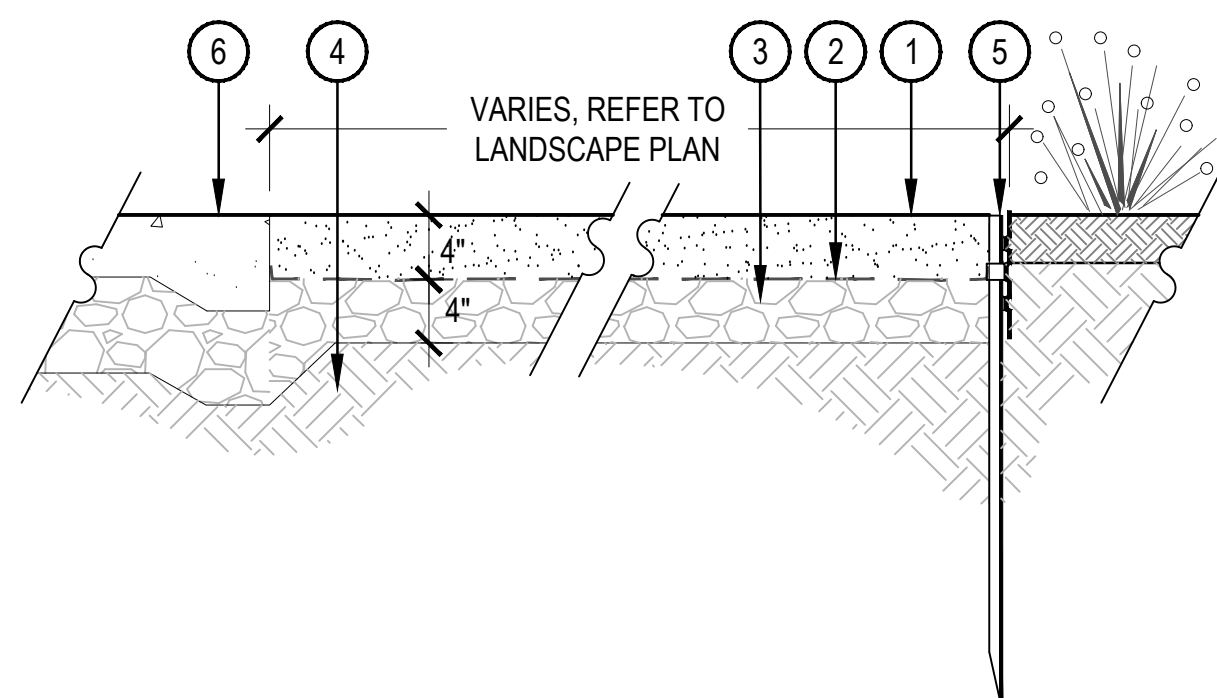


**1 STEEL EDGER**

SCALE: 1" = 1'-0"

**2 TYPICAL CONCRETE TO PLANTING BED TRANSITION**

SCALE: 1 1/2" = 1'-0"

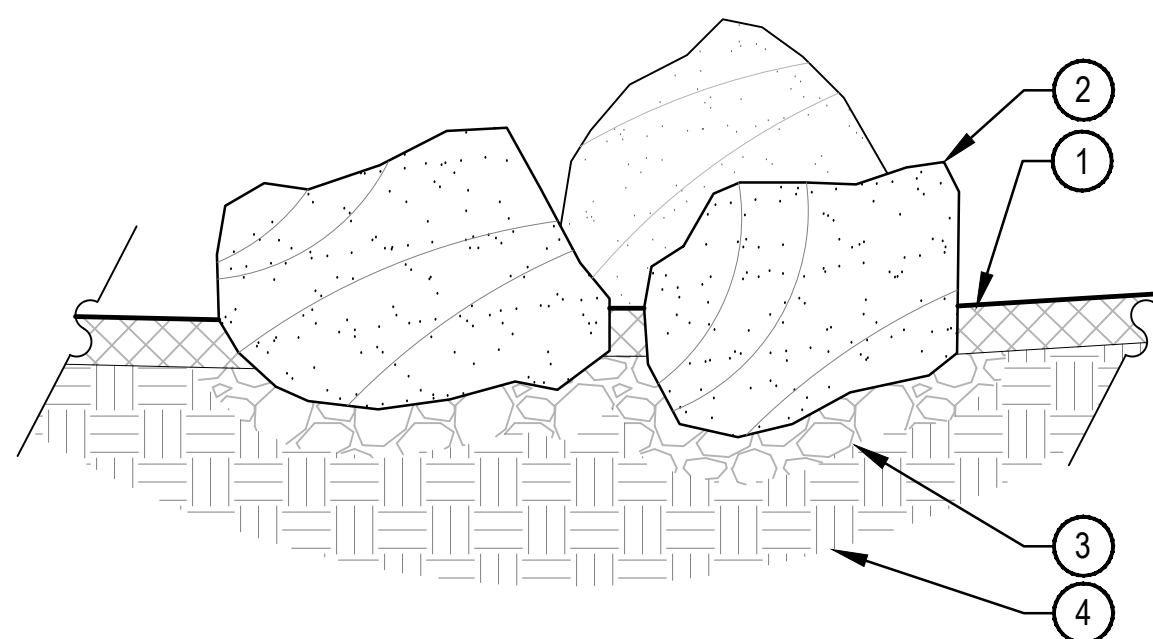


- ① 4" COMPACTED CRUSHER FINES WITH STABILIZER SOLUTIONS NATURALIZED DECOMPOSED GRANITE PATH STABILIZER OR ADA APPROVED EQUAL
- ② GEOTEXTILE FABRIC -MIRAFI 140 NS OR APPROVED EQUAL
- ③ COMPACTED CRUSHED STONE
- ④ COMPACTED SUBGRADE
- ⑤ EDGER AT ABUTTING LANDSCAPE, REFER TO LANDSCAPE PLAN
- ⑥ ABUTTING CONCRETE FLATWORK, REFER TO CIVIL PLAN

**NOTES:**  
 1. ROLLER COMPACT DECOMPOSED GRANITE WET WITH STABILIZER PER MANUFACTURER SPECIFICATIONS. COMPACT IN 2" LIFTS  
 2. PITCH TO DRAIN SURFACE AT 1-2% PER CIVIL GRADING PLAN.  
 3. TOLERANCES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.  
 4. REFER TO LANDSCAPE PLAN FOR ABUTTING CONDITIONS.  
 5. HOA WILL MAINTAIN ALL LANDSCAPE AND CRUSHER FINES SURFACES ON A ROUTINE BASIS TO MAINTAIN COMPACTION AND CONTROL ANY POTENTIAL MATERIAL TRAVELING.

**3 CRUSHER FINES**

SCALE: 1" = 1'-0"



- ① REFER TO LANDSCAPE PLAN FOR ABUTTING LANDSCAPE SURFACE, NO GAPS
- ② NATURALLY SET SANDSTONE BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE; SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL
- ③ 3" MINIMUM COMPACTED AGGREGATE
- ④ UNDISTURBED GRADE

**NOTES:**  
 1. REFER TO LANDSCAPE MATERIALS SCHEDULE FOR BOULDER SPECIFICATIONS AND ADDITIONAL NOTES.  
 2. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.  
 3. BOULDERS MUST BE INSTALLED AS THE APPROXIMATE WIDTHS SHOWN ON PLAN.

BOULDER SIZES		
QTY.	ITEM	SIZE
6	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
4	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
3	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

**4 LANDSCAPE BOULDER**

SCALE: 1" = 1'-0"



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 PREPARED: 05.16.2024

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08.08.2024  
 10.10.2024

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 73 OF 156

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**UPLANDS**

DATE: 10.10.2024

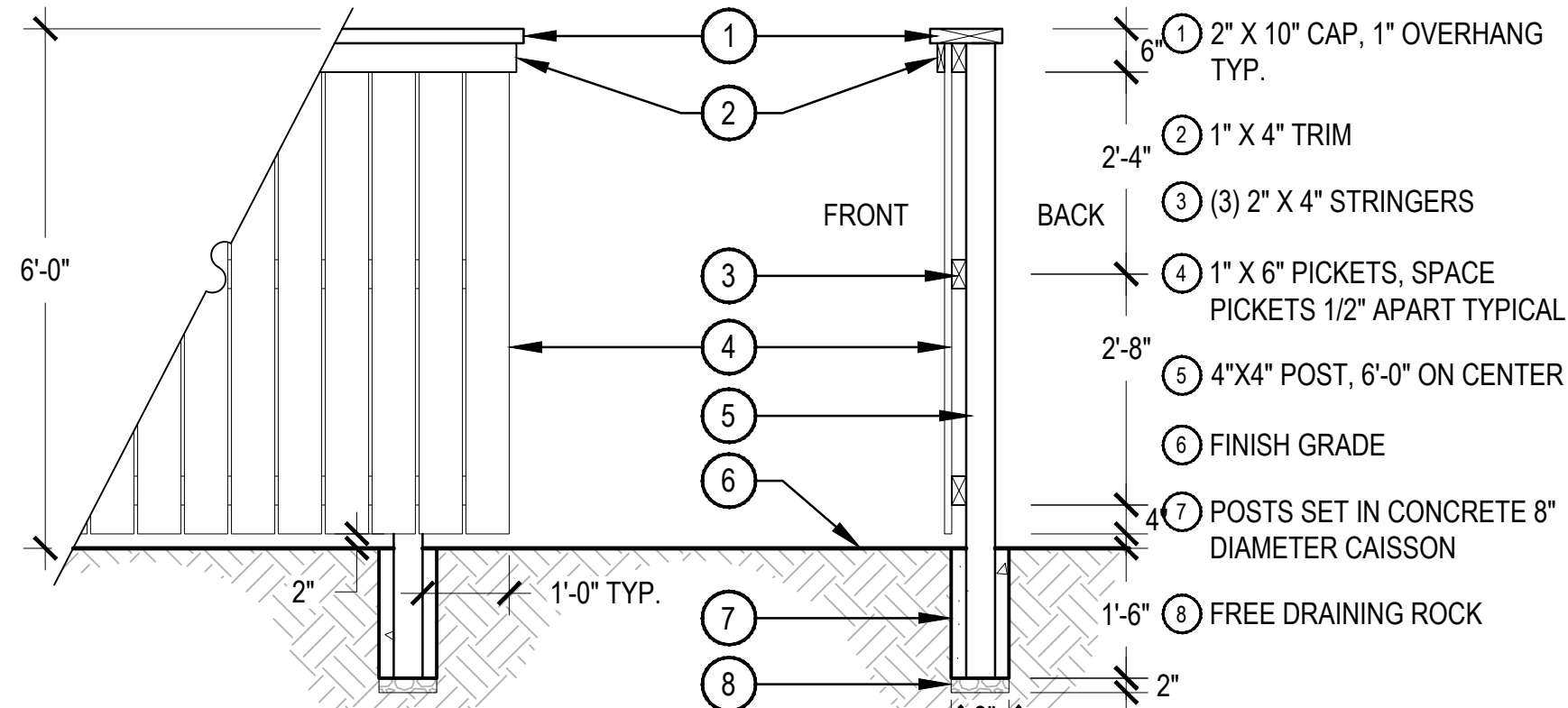
UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

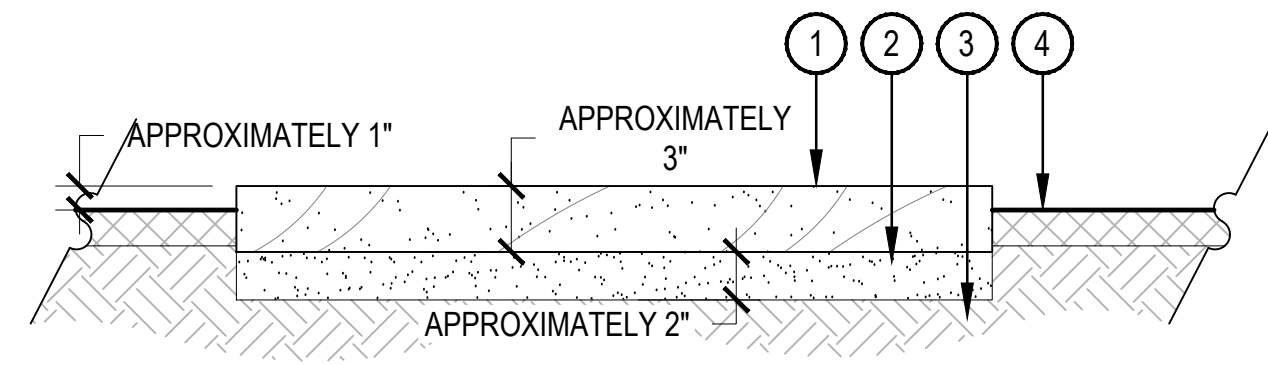
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08.08.2024  
 10.10.2024

73 OF 156  
 LANDSCAPE DETAILS



- ① SANDSTONE STEPPER WITH NATURAL CLEFT FACE, APPROXIMATELY 36" x 18" x 3"
- ② 2" SAND SETTING LAYER
- ③ SUBGRADE COMPACTED TO 95% PROCTOR DENSITY
- ④ SURROUNDING LANDSCAPE, TOP OF STEPPER SHALL BE SET 1" ABOVE ADJACENT LANDSCAPE, REFER TO PLANS



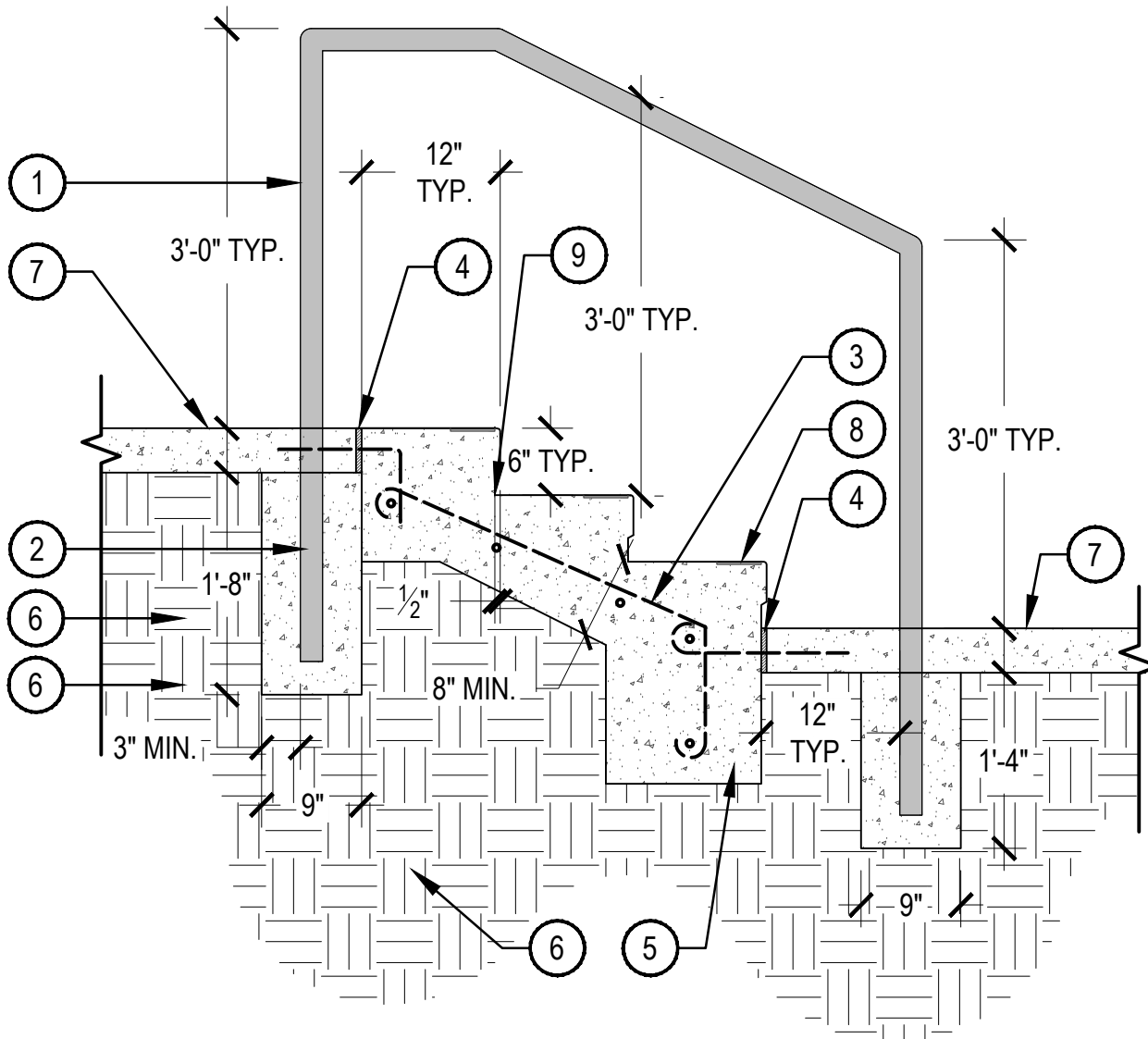
- NOTES:
1. TAMP STONES WITH VIBRATORY PLATE COMPRESSOR TO LOCK STONES IN PLACE.
  2. SEE PLAN FOR LOCATION.

NOTES:

1. UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE. FRONT AND REAR LOT WING FENCING SHALL BE SET BACK TO THE FRONT AND BACK FACE OF BUILDING RESPECTIVELY AT A MINIMUM.
2. ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION. WOOD STAIN COLOR: BANYAN BROWN
3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
4. ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

① 6' PRIVACY FENCE

SCALE: 1/2" = 1'-0"



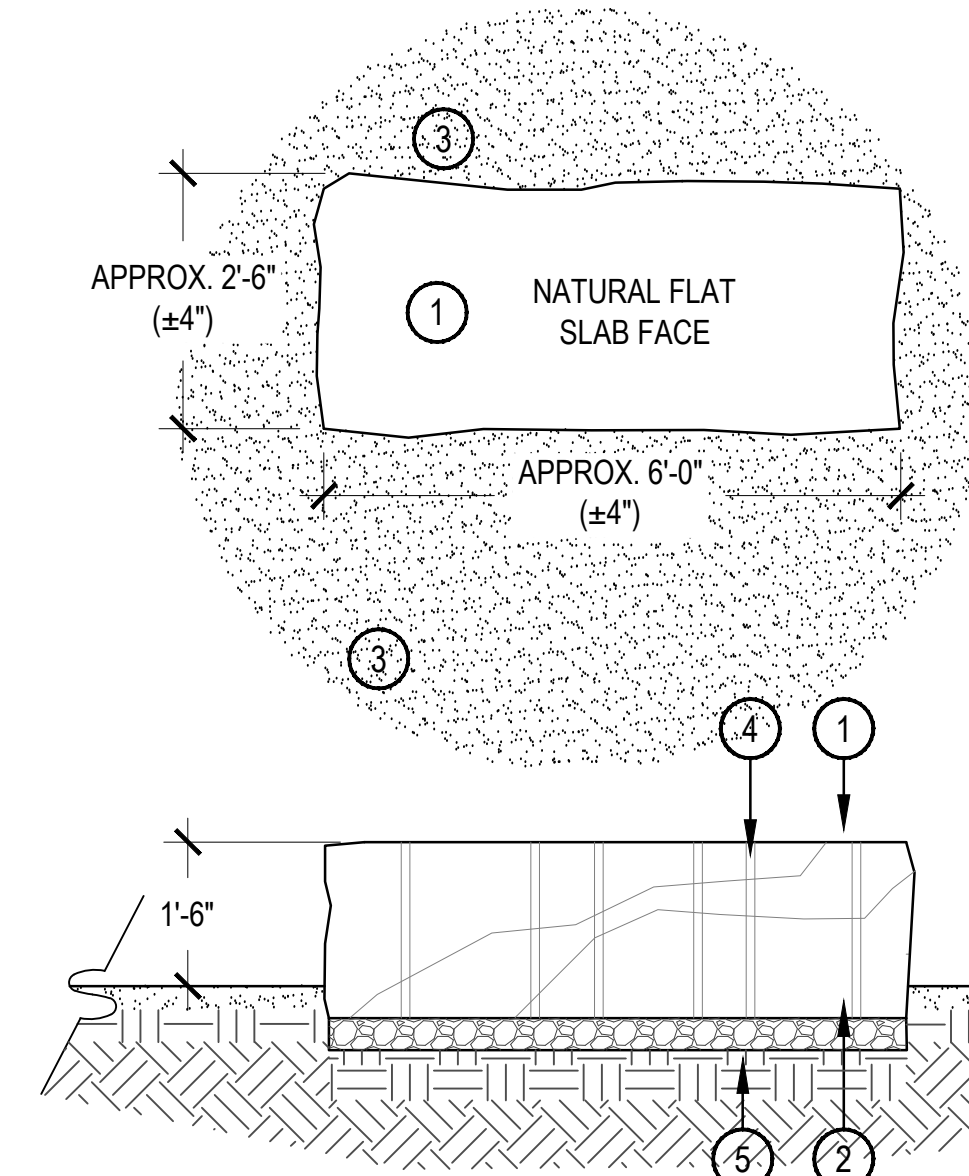
- ① 2" STEEL TUBE RAILING. RAILING SHALL BE CONSTRUCTED USING WELDED JOINTS GROUND SMOOTH AND PAINTED BLACK. RAILING SHALL BE INSTALLED ON BOTH SIDES OF STEPS. HANDRAIL TO COMPLY WITH LOCAL BUILDING CODES AND ADA REGULATIONS
- ② EMBED RAILING - MINIMUM 9" INTO CONCRETE
- ③ REINFORCING PER STRUCTURAL TYP.
- ④ EXPANSION JOINTS @ TOP AND BOTTOM
- ⑤ CAST IN PLACE CONCRETE FOOTING
- ⑥ COMPACTED SUBGRADE
- ⑦ CAST-IN-PLACE CONCRETE STEPS AND PAVING- SEE PAVING SCHEDULE
- ⑧ SAND BLASTED TREAD MARKERS - DARKER THAN THE STAIR CONCRETE
- ⑨ 1/2" DEPTH CHAMFERED TOE KICK. CHAMFER TO BE AT 30° ANGLE FROM HORIZONTAL

③ STAIR WITH HANDRAIL

SCALE: 3/4" = 1'-0"

② STONE STEPPER

SCALE: 1 1/2" = 1'-0"



- ① SANDSTONE SLAB, APPROX. 2'-6" WIDE x 6'-0" LONG x 1'-10" THICK. ALL SIDES SHALL HAVE A NATURAL BROKEN FACE. CONTACT LANDSCAPE ARCHITECT TO SELECT STONES. TOP FACE SHALL BE PREDOMINANTLY FLAT AND SET LEVEL FOR SEATING.
- ② 4" DEPTH COMPACTED ROAD BASE
- ③ LANDSCAPE AREA, SEE PLANS
- ④ STONES TO HAVE VERTICAL QUARRY DRILL MARKINGS ON ALL SIDES
- ⑤ COMPACTED SUBGRADE

④ BOULDER SLAB BENCH

SCALE: 1/2" = 1'-0"



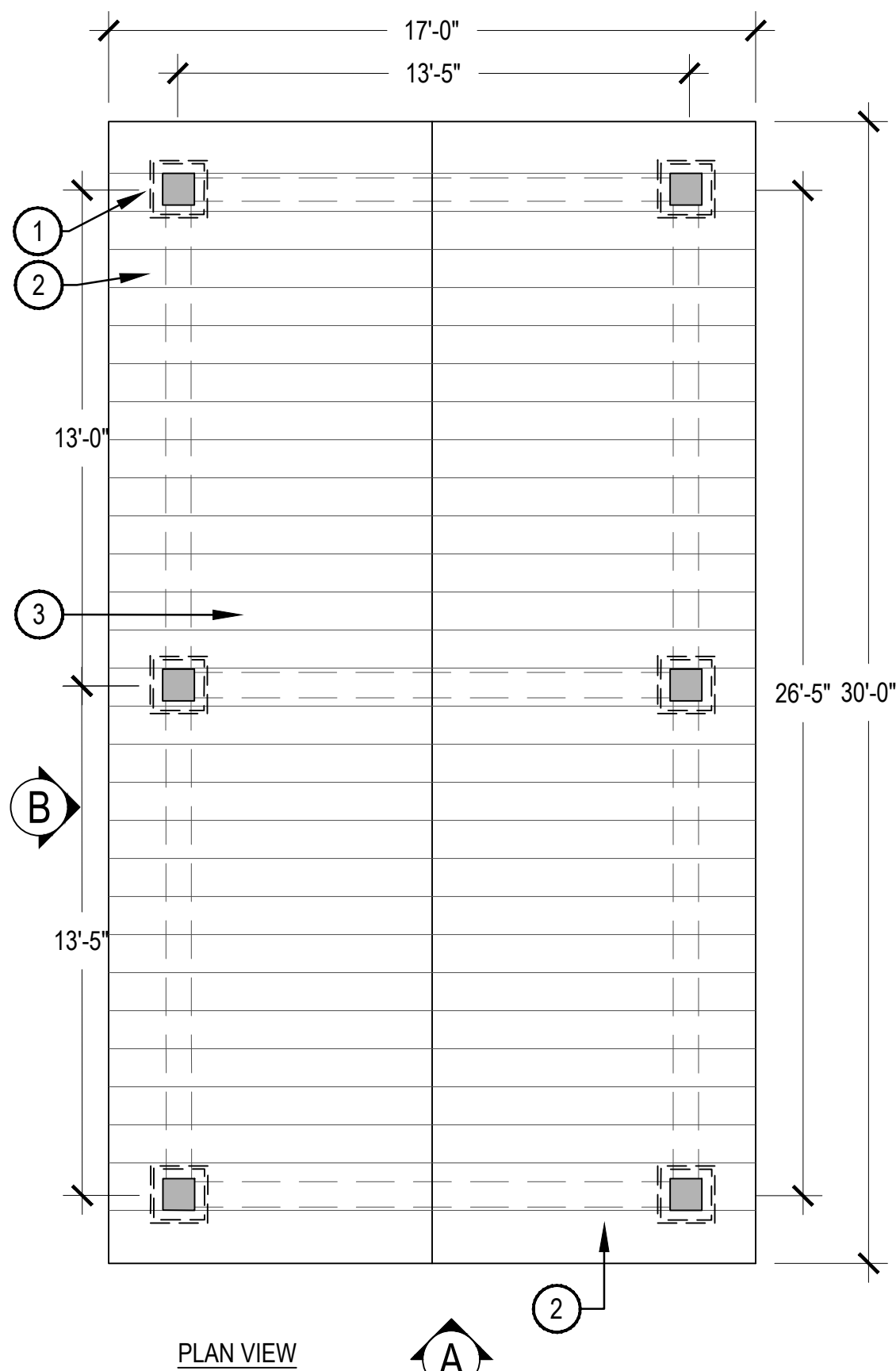
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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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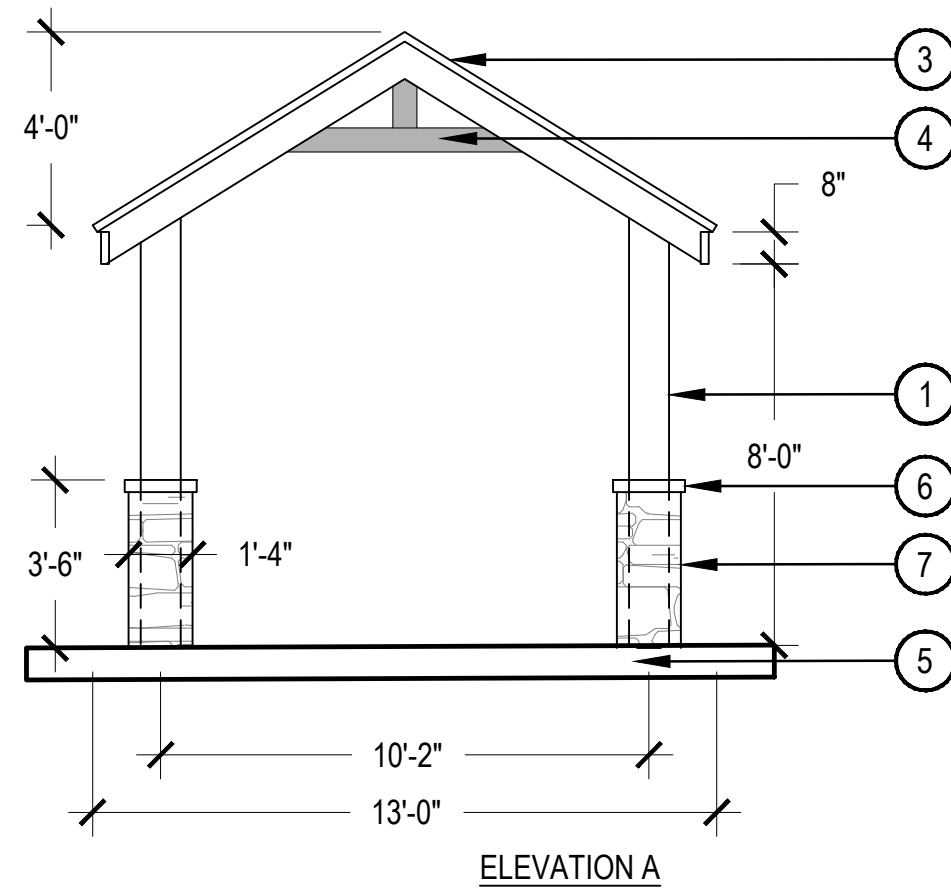
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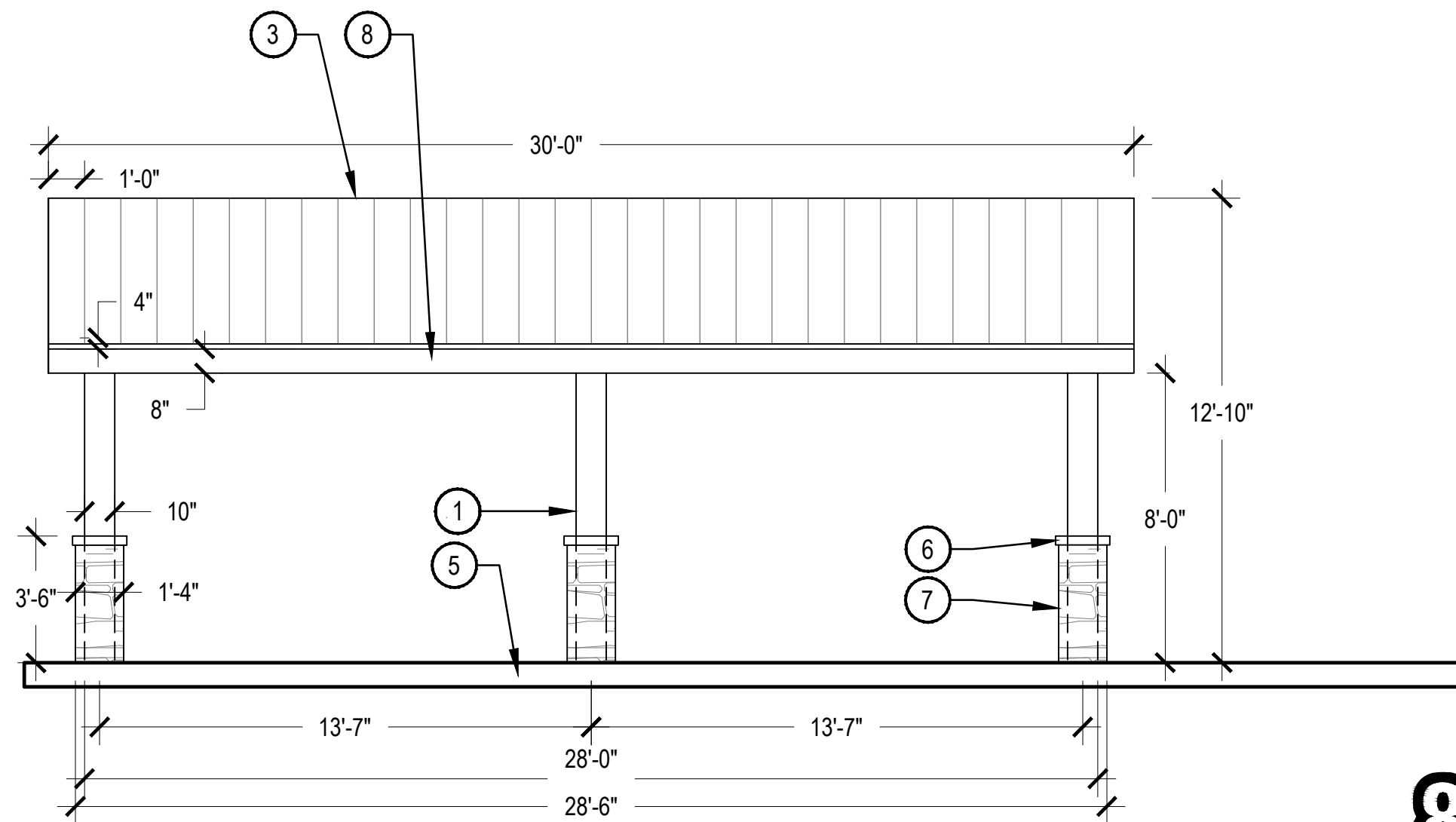
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WESTMINSTER, COLORADO



PLAN VIEW



ELEVATION A



ELEVATION B

- ① 10"x10" ROUGH SAWN CEDAR COLUMN. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ② 8"x8" ROUGH SAWN CEDAR BEAM. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ③ 7x12" STANDING SEAM METAL ROOF TO MATCH MAIL KIOSK, RE: ARCH.
- ④ ROUGH-SAWN DECORATIVE DETAIL TO MATCH MAIL KIOSK, RE: ARCH
- ⑤ CONCRETE PAVING. RE: PLAN
- ⑥ 3" THICK PRECAST GREY CONCRETE CAP, 1" OVERHANG, TYP.
- ⑦ STONE TO MATCH MAIL KIOSK, RE: ARCH
- ⑧ 8"x2" ROUGH SAWN CEDAR BEAM. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).

NOTES:

- 1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
- 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS



1 PARK SHADE STRUCTURE

SCALE: 1/4" = 1'-0"

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REVISIONS

08.08.2024	
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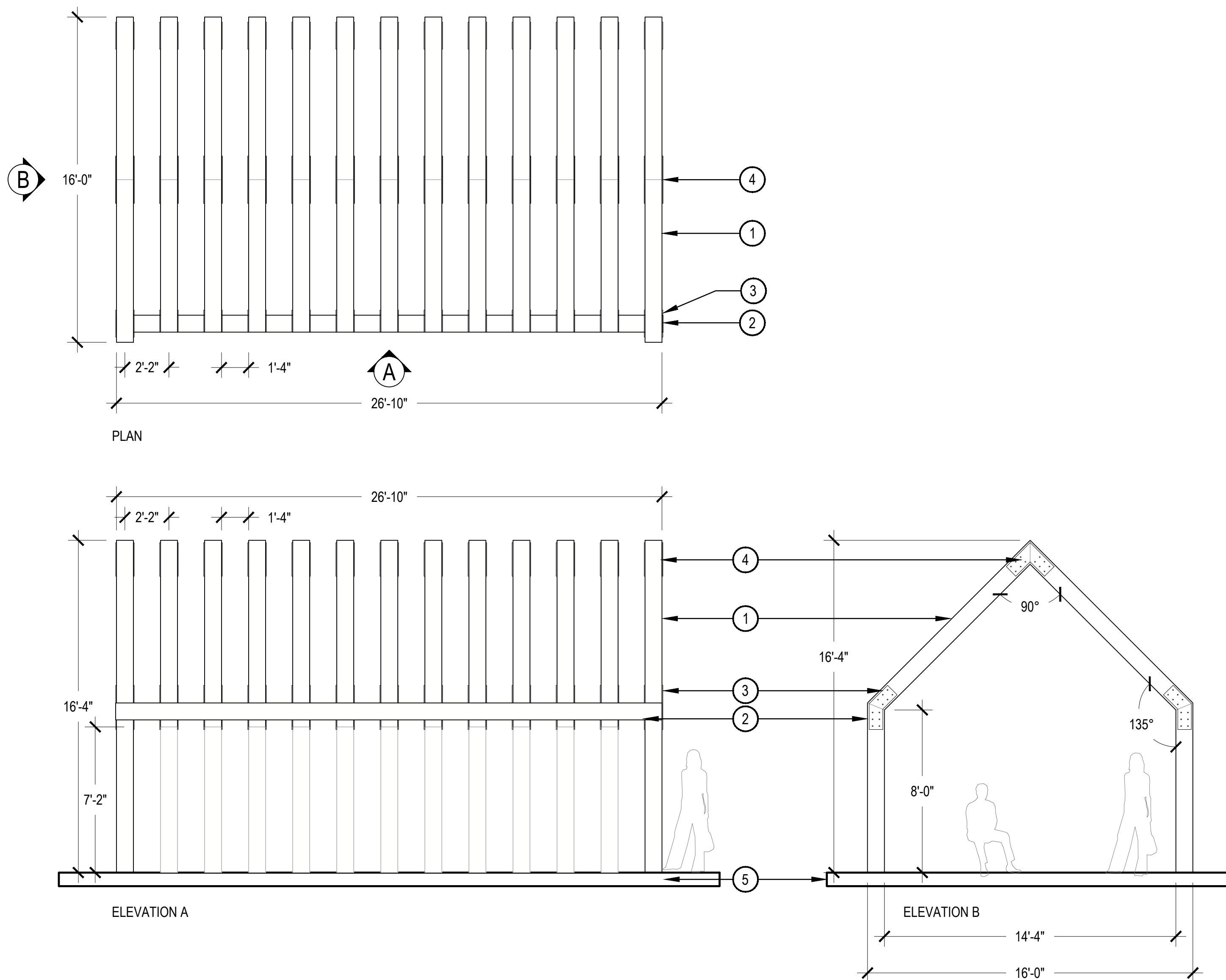
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 SHEET 75 OF 156

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- ① 10 x 10" ROUGH SAWN CEDAR COLUMN. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ② 10 x 10" ROUGH SAWN CEDAR BEAM. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ③ 45 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- ④ 90 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- ⑤ CONCRETE PAVING. RE: PLAN

- NOTES:
1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
  2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.



SCALE: 1/4" = 1'-0"

① UPLANDS A3 FRAME SHELTER

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08.08.2024

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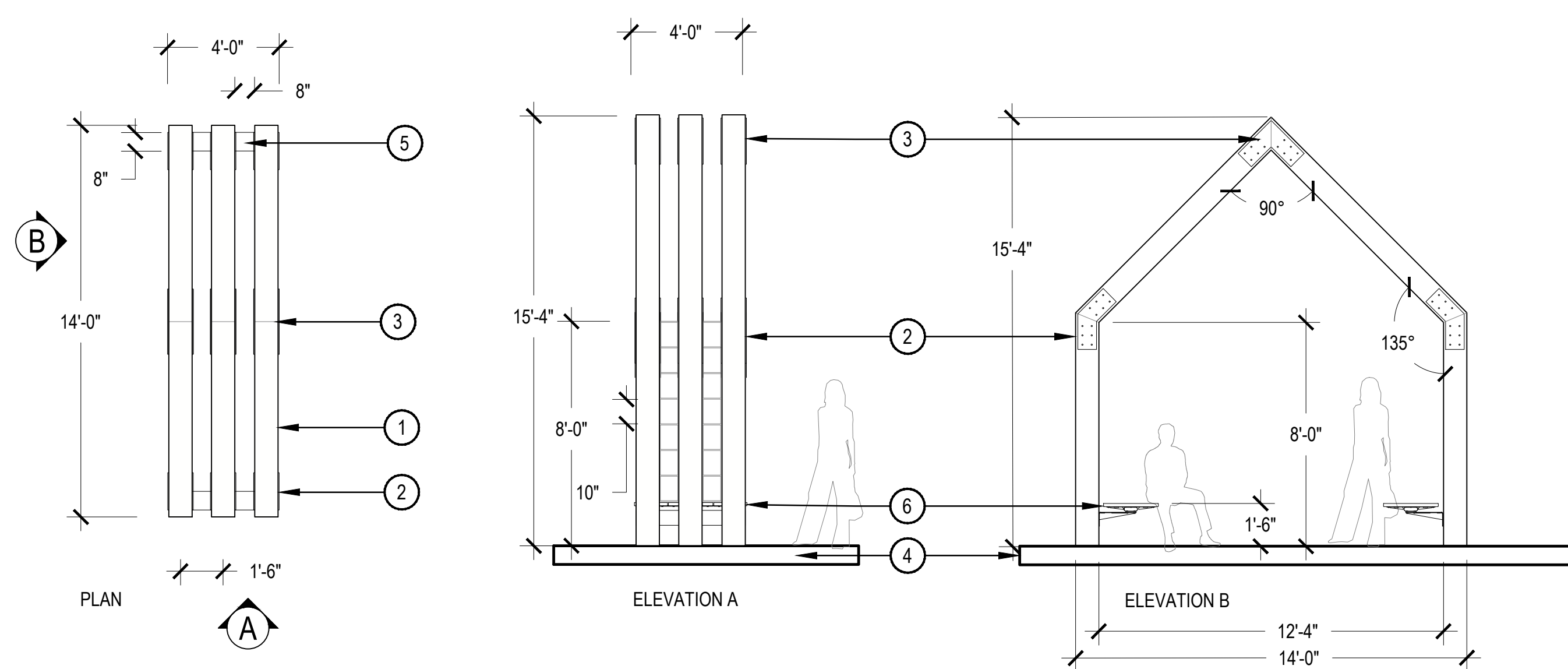
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 SHEET 76 OF 156

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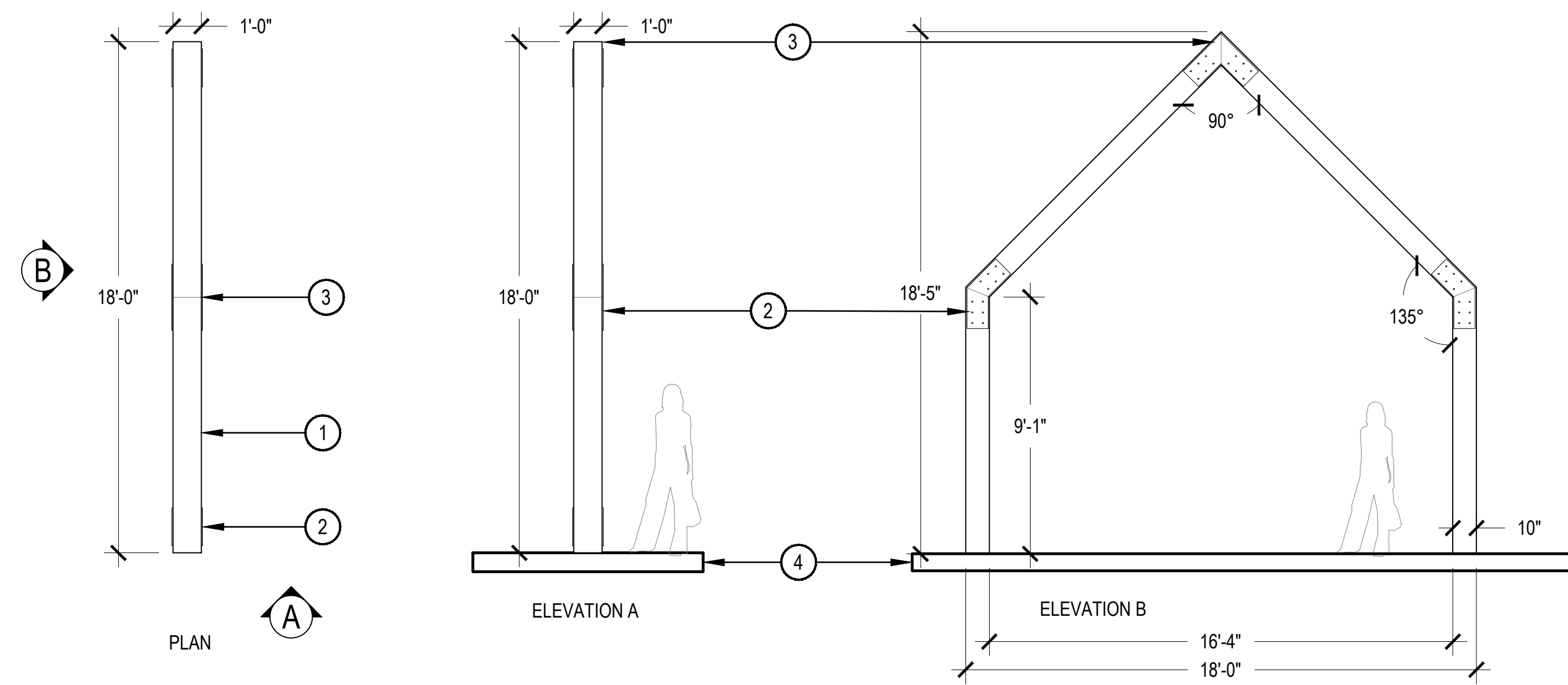


- ① 10 x 10" ROUGH SAWN CEDAR COLUMN. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ② 45 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- ③ 90 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- ④ CONCRETE PAVING. RE: PLAN
- ⑤ CUSTOM CEDAR BOOK SHELVING, COLOR AND FINISH TBD. 16" L X 11" H X 8" D SHELVES.
- ⑥ LINK BENCH, PIANO KEY, STRAIGHT, BACKLESS, NO ARMS, WALL MOUNT SUPPORT. LANDSCAPE FORMS OR APPROVED EQUAL, REFER TO AMENITY SCHEDULE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NOTES:  
 1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.  
 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.

**1 READING NOOK SHELTER**

SCALE: 1/4" = 1'-0"



- ① 10 x 10" ROUGH SAWN CEDAR COLUMN. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- ② 45 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- ③ 90 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- ④ CONCRETE PAVING. RE: PLAN

NOTES:  
 1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.  
 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.

**2 VIEW FRAMING STRUCTURE**

SCALE: 1/4" = 1'-0"

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		08.08.2024	10.10.2024

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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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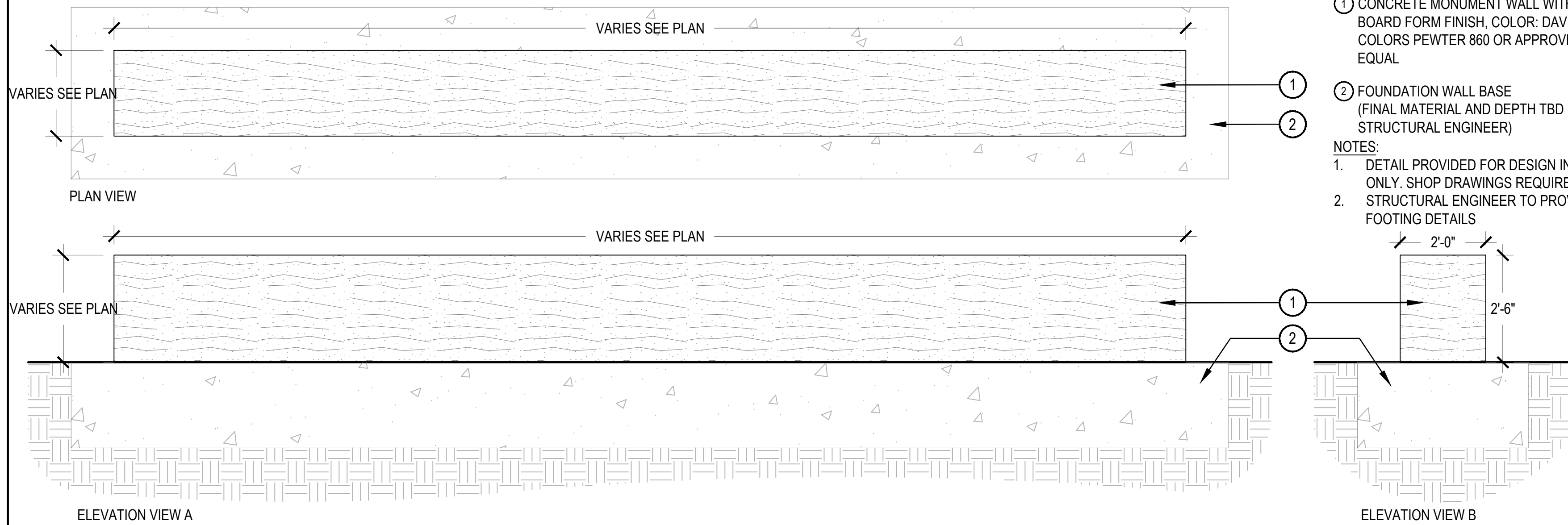
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

77 OF 156  
 LANDSCAPE DETAILS



① CONCRETE MONUMENT WALL WITH BOARD FORM FINISH, COLOR: DAVIS COLORS PEWTER 860 OR APPROVED EQUAL

② FOUNDATION WALL BASE (FINAL MATERIAL AND DEPTH TBD BY STRUCTURAL ENGINEER)

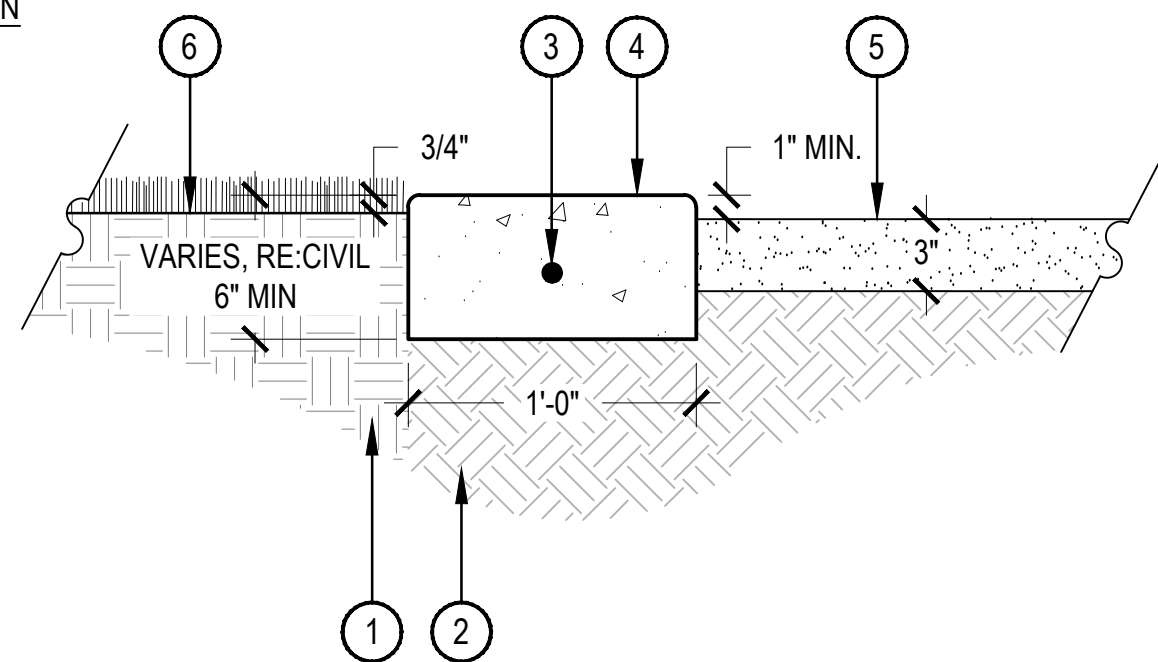
NOTES:

1. DETAIL PROVIDED FOR DESIGN INTENT ONLY. SHOP DRAWINGS REQUIRED.
2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS

SCALE: 1/2" = 1'-0"

**1 ACCENT WALLS**

CONCRETE EDGER CONDITION



- ① UNDISTURBED GRADE
- ② SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ③ #4 CONTINUOUS REBAR, DOWN LENGTH OF FOOTER
- ④ 6" MIN. CONCRETE CURB / RETAINING WALL WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES. REFER TO CIVIL FOR RETAINING WALL DETAIL.
- ⑤ LANDSCAPE AREA WITH MULCH OR CRUSHER FINES DEPTH SHOWN, RE: PLAN FOR LOCATIONS.
- ⑥ ADJACENT TURF, REFER TO PLANS.

NOTES:

1. PROVIDE CONTROL JOINTS AT 6' ON CENTER AND EXPANSION JOINTS AT 24" ON CENTER.
2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2", UNLESS OTHERWISE NOTED.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
4. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.

**2 CONCRETE EDGER**

SCALE: 1 1/2" = 1'-0"



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**UPLANDS - FILING NO. 1 - BLOCK 3**  
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 IN THE CITY OF WESTMINSTER  
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 SHEET 78 OF 156

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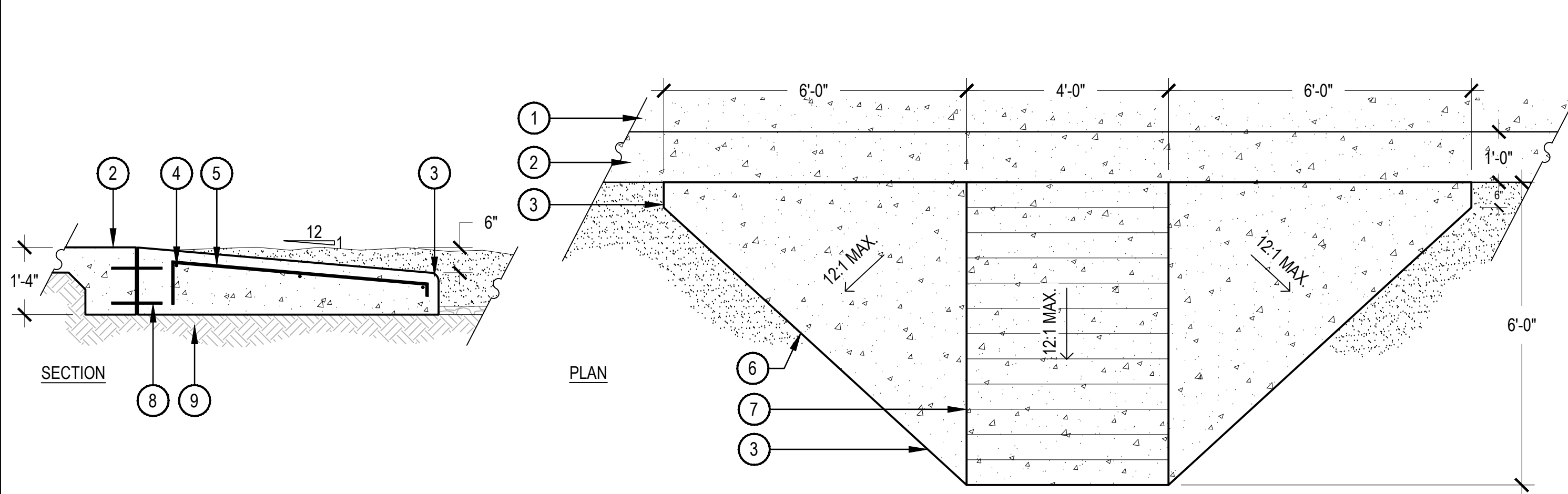
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 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

78 OF 156  
 LANDSCAPE DETAILS

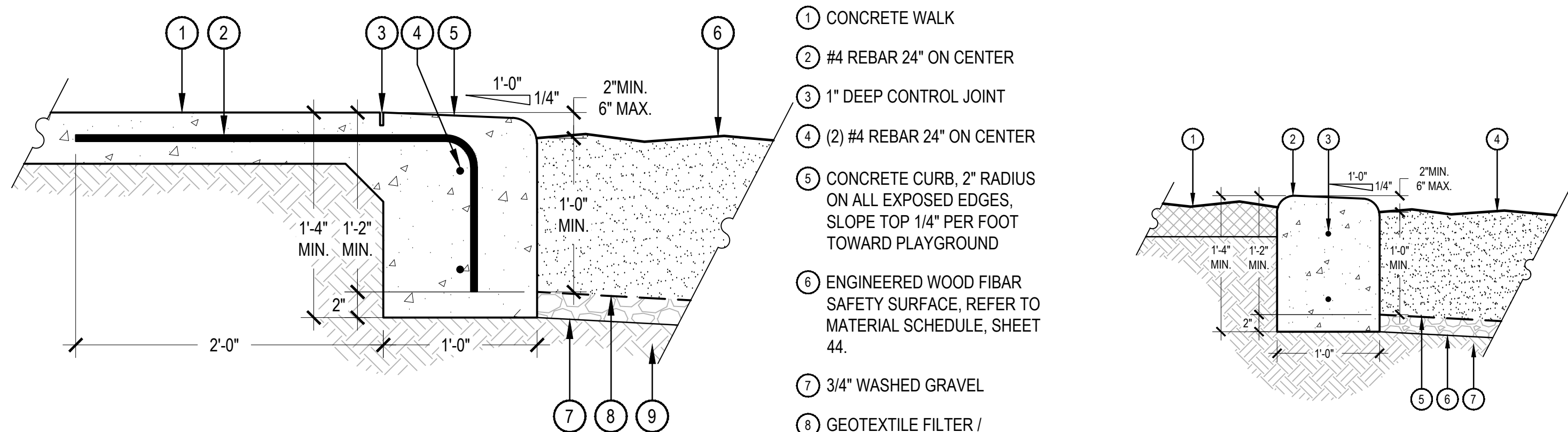


- ① CONCRETE WALK
- ② MONOLITHIC CONCRETE CURB, REFER TO DETAIL 2, SHEET 79
- ③ 2" RADIUS ON ALL EXPOSED EDGES
- ④ (3) #4 REBAR
- ⑤ #4 REBAR 18" ON CENTER
- ⑥ PLAY SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET L-02
- ⑦ TOOLED SCORE JOINTS, 6" APART
- ⑧ (2) #4 DOWELS 18" ON CENTER
- ⑨ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTES:  
 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

**1 PLAYGROUND RAMP**

SCALE: 1/2" = 1'-0"



- ① CONCRETE WALK
- ② #4 REBAR 24" ON CENTER
- ③ 1" DEEP CONTROL JOINT
- ④ (2) #4 REBAR 24" ON CENTER
- ⑤ CONCRETE CURB, 2" RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND
- ⑥ ENGINEERED WOOD FIBAR SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET 44.
- ⑦ 3/4" WASHED GRAVEL
- ⑧ GEOTEXTILE FILTER / DRAINAGE MAT
- ⑨ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTES:  
 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.  
 2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%, REFER TO LAYOUT PLAN.  
 3. SCORE JOINTS ON THE WALKS PERPENDICULAR TO THE CURB SHALL EXTEND THROUGH THE ENTIRE DEPTH OF THE CURB.  
 4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

NOTES:  
 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,500 PSI AT 28 DAYS.  
 2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%, REFER TO LAYOUT PLAN.  
 3. SCORE JOINTS SHALL BE SPACES 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.  
 4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

**2 MONOLITHIC CONCRETE PLAYGROUND CURB**

SCALE: 1 1/2" = 1'-0"

**3 FREE STANDING CONCRETE PLAYGROUND CURB**

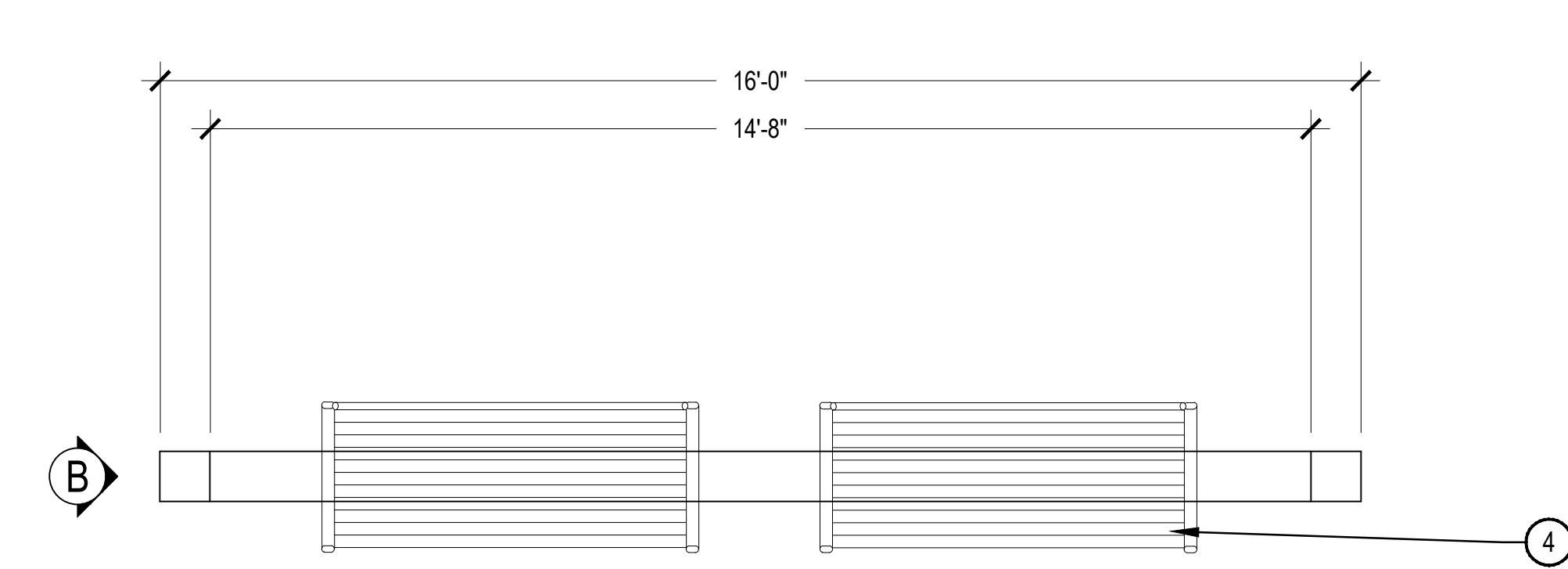
SCALE: 1" = 1'-0"

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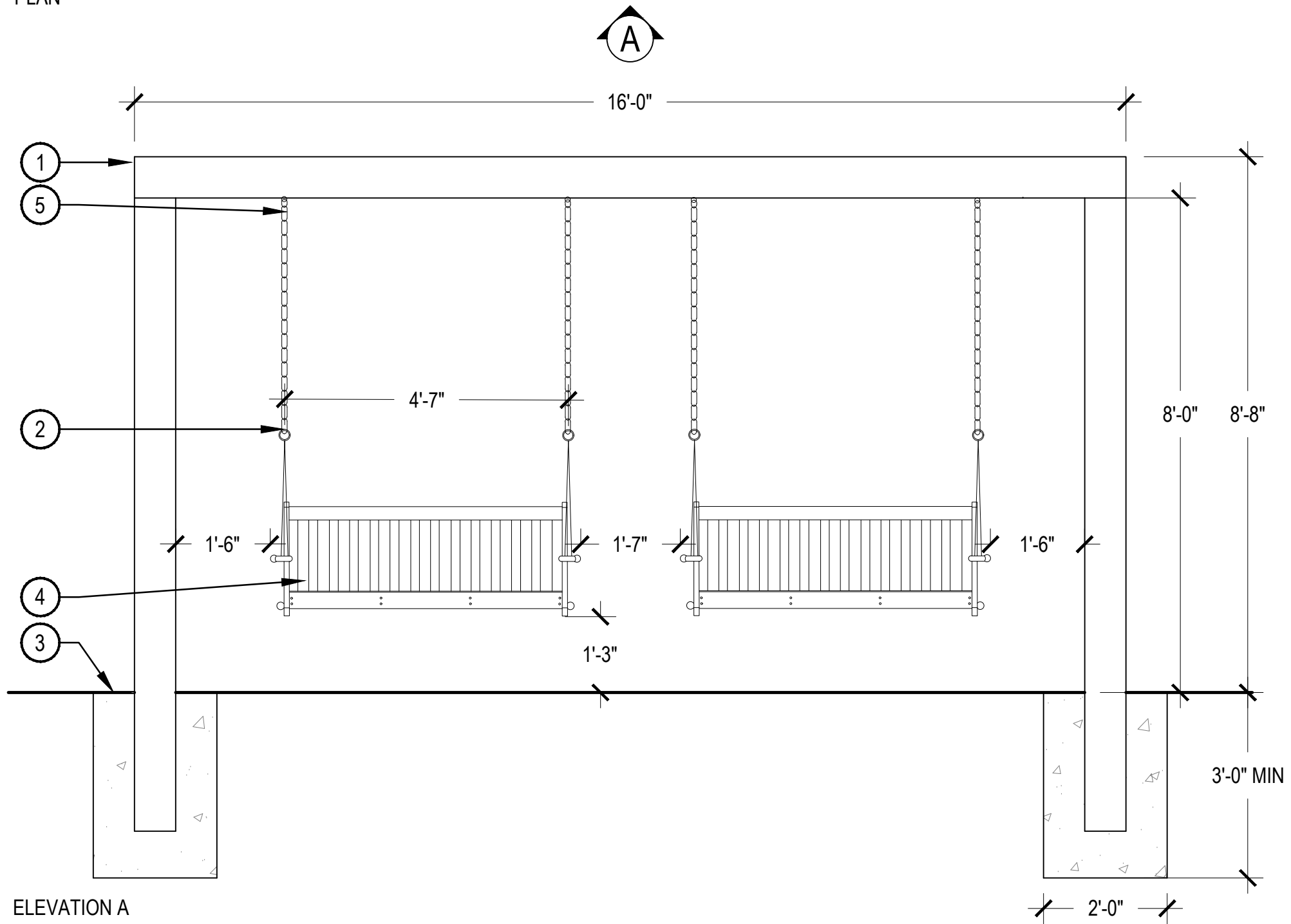
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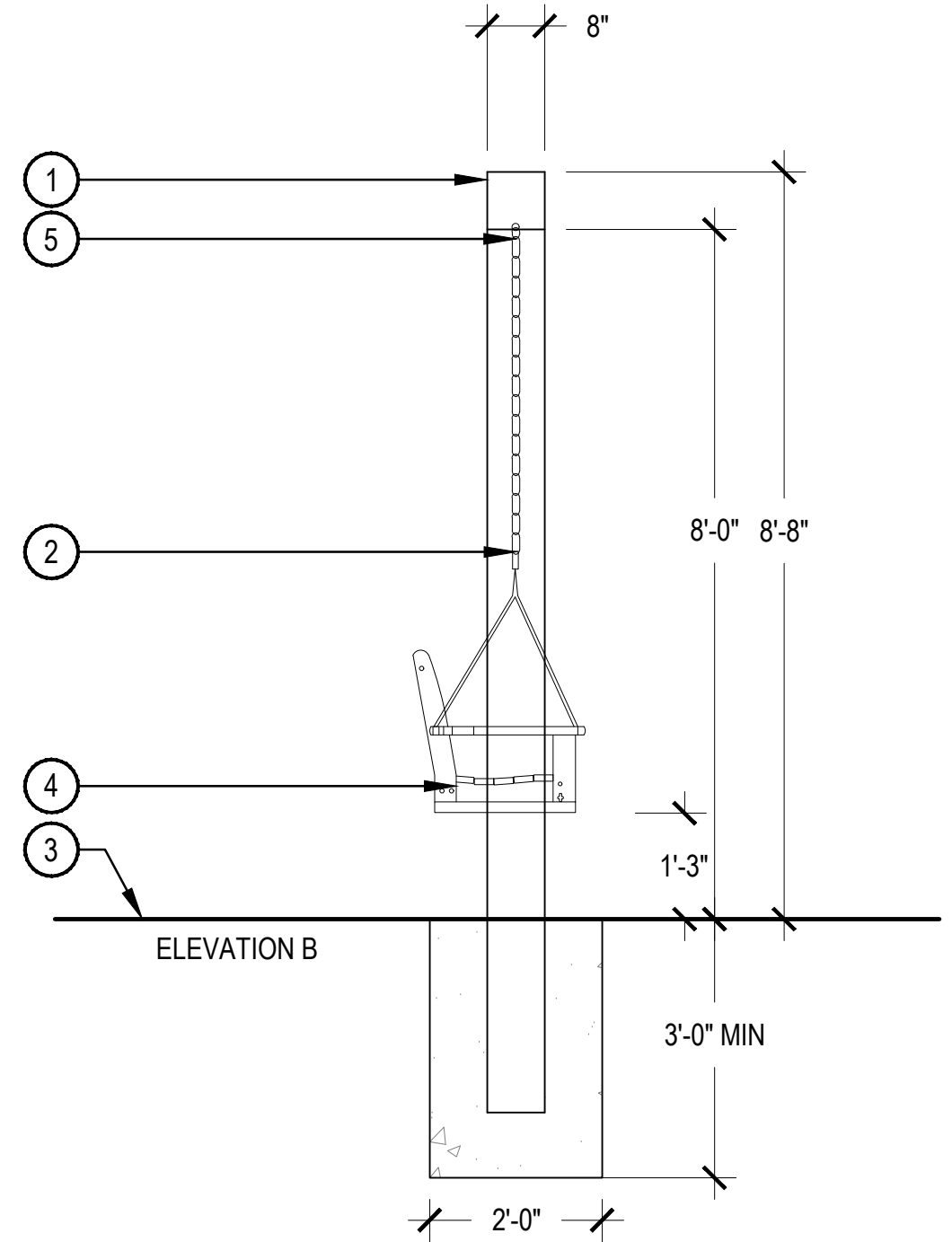


- ① 8" X 8" STEEL FRAME, POWDER COAT FINISH IN BROWN HAMMERTONE (OR APPROVED EQUAL). MANUFACTURER: CARDINAL PAINT
- ② CHAIN WITH QUICK LINK CONNECTION
- ③ CONCRETE
- ④ POLYWOOD PORCH SWING, SEE AMENITY SCHEDULE
- ⑤ 3/8" SHANK DIAMETER EYE BOLT

PLAN



ELEVATION A



ELEVATION B

- NOTES:
1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
  2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.
  3. RECOMMEND APPROXIMATELY A 2' MINIMUM CLEARANCE IN THE BACK AND FRONT, AND A MINIMUM OF 1' ON EITHER SIDE.
  4. SEE LOLL ADIRONDACK PORCH SWING FOR ADDITIONAL DETAILS, INSTALLATION METHODS, AND SPECIFICATIONS.

**1 SWING BENCH FRAME**

SCALE: 1/2" = 1'-0"

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	08.08.2024
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 SHEET 80 OF 156

  
**Godden|Sudik**  
 ARCHITECTS  
 SEE WHAT COULD BE  
 303.455.4437  
 www.goddensudik.com  
 5975 S. Quebec Street  
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 Centennial, CO 80111

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MODEL:	2-STORY SCANDINAVIAN	2-STORY CRAFTSMAN	2-STORY SHINGLE	
(SFA STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X	
(SFA STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE	NOTE: SEE EXCEPTION REQUEST ON SHEET 5			
(MODP MASONRY) 50% AVERAGE ON ALL ELEVATIONS	X	X	X	
(MODP STORIES) 3 STORIES MAX.	X	X	X	
(MODP HEIGHT) 40' MAX.	X	X	X	
(MODP PRIVATE OUTDOOR SPACE) REAR, SIDE, FRONT YARDS OR BALCONIES / PATIOS / PORCHES / DECKS	NOTE: SEE EXCEPTION REQUEST ON SHEET 6			
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X	
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X	
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X	
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X	
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X	
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	X	
(TMUND 2.4.1) ALLEY ACCESSED GARAGE	X	X	X	
(TMUND 2.4.1) ENTRY PORCHES PROMINENT ARCHITECTURAL FEATURE	X	X	X	
(TMUND 2.4.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X	
(TMUND 2.4.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X	
(W.M.C. 11-7-4(B)(2)) OFF STREET PARKING, 2 SPACES PER UNIT, 3 SPACES PER 4+ BEDROOM UNIT & 1 SPACE PER 3 UNIT FOR GUEST	NOTE: SEE EXCEPTION REQUEST ON SHEET 5			
(TMUND 2.4.1) PRIVATE REAR YARD, FRONT YARD, OR BALCONY	NOTE: SEE EXCEPTION REQUEST ON SHEET 6			
(TMUND 2.4.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X	

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024











OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 84 OF 156

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Centennial, CO 80111

**UPLANDS**

DATE: 10.10.2024

UPLANDS FILING NO.  
1 BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

**2-STORY 5-PLEX  
CRAFTSMAN ELEVATION  
MASONRY PERCENTAGES:**  
FRONT ELEVATION:  
MASONRY = 778 S.F. = 53%  
OTHER = 677 S.F.  
TOTAL = 1,455 S.F.  
REAR ELEVATION:  
MASONRY = 354 S.F. = 32%  
OTHER = 739 S.F.  
TOTAL = 1,093 S.F.  
LEFT ELEVATION:  
MASONRY = 682 S.F. = 78%  
OTHER = 198 S.F.  
TOTAL = 880 S.F.  
RIGHT ELEVATION:  
MASONRY = 369 S.F. = 41%  
OTHER = 529 S.F.  
TOTAL = 898 S.F.  
**TOTAL BUILDING**  
MASONRY = 2,183 S.F. = 50%  
OTHER = 2,143 S.F.  
TOTAL = 4,326 S.F.

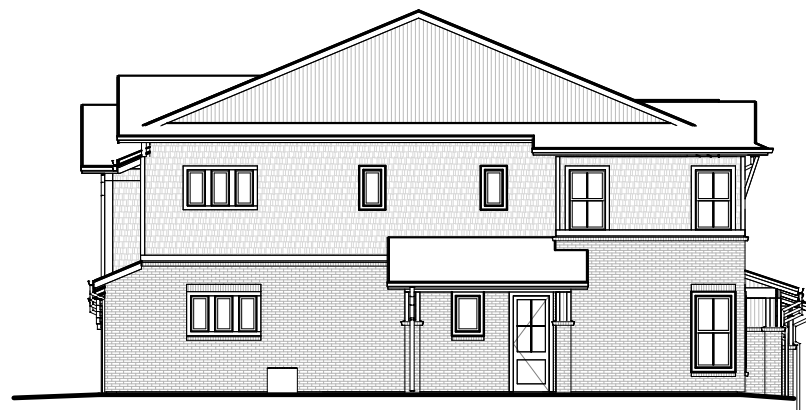


6 **5-PLEX-A - LEFT - CRAFTSMAN STREETSCAPE**  
1/16" = 1'-0"



5 **5-PLEX-A - FRONT - CRAFTSMAN STREETSCAPE**  
1/16" = 1'-0"

**2-STORY 5-PLEX  
SHINGLE ELEVATION  
MASONRY PERCENTAGES:**  
FRONT ELEVATION:  
MASONRY = 830 S.F. = 73%  
OTHER = 304 S.F.  
TOTAL = 1,134 S.F.  
REAR ELEVATION:  
MASONRY = 349 S.F. = 35%  
OTHER = 655 S.F.  
TOTAL = 1,004 S.F.  
LEFT ELEVATION:  
MASONRY = 482 S.F. = 52%  
OTHER = 445 S.F.  
TOTAL = 927 S.F.  
RIGHT ELEVATION:  
MASONRY = 454 S.F. = 46%  
OTHER = 523 S.F.  
TOTAL = 977 S.F.  
**TOTAL BUILDING**  
MASONRY = 2,115 S.F. = 52%  
OTHER = 1,927 S.F.  
TOTAL = 4,042 S.F.



4 **5-PLEX-A - LEFT - SHINGLE STREETSCAPE**  
1/16" = 1'-0"



3 **5-PLEX-A - FRONT ELEVATION - SHINGLE STREETSCAPE**  
1/16" = 1'-0"

**2-STORY 4-PLEX  
SCANDINAVIAN ELEVATION  
MASONRY PERCENTAGES:**  
FRONT ELEVATION:  
MASONRY = 671 S.F. = 53%  
OTHER = 597 S.F.  
TOTAL = 1,268 S.F.  
REAR ELEVATION:  
MASONRY = 447 S.F. = 45%  
OTHER = 539 S.F.  
TOTAL = 986 S.F.  
LEFT ELEVATION:  
MASONRY = 604 S.F. = 60%  
OTHER = 405 S.F.  
TOTAL = 1,009 S.F.  
RIGHT ELEVATION:  
MASONRY = 532 S.F. = 60%  
OTHER = 358 S.F.  
TOTAL = 890 S.F.  
**TOTAL BUILDING**  
MASONRY = 2,254 S.F. = 54%  
OTHER = 1,899 S.F.  
TOTAL = 4,153 S.F.



2 **4-PLEX-A - LEFT - SCANDINAVIAN STREETSCAPE**  
1/16" = 1'-0"



1 **4-PLEX-A - FRONT - SCANDINAVIAN STREETSCAPE**  
1/16" = 1'-0"

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 85 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS	
	08.08.2024	
	10.10.2024	

**2-STORY 6-PLEX  
 SCANDINAVIAN ELEVATION**  
**MASONRY PERCENTAGES:**  
 FRONT ELEVATION:  
 MASONRY = 785 S.F. = 44%  
 OTHER = 1,012 S.F.  
 TOTAL = 1,797 S.F.  
 REAR ELEVATION:  
 MASONRY = 657 S.F. = 44%  
 OTHER = 838 S.F.  
 TOTAL = 1,495 S.F.  
 LEFT ELEVATION:  
 MASONRY = 535 S.F. = 60%  
 OTHER = 350 S.F.  
 TOTAL = 885 S.F.  
 RIGHT ELEVATION:  
 MASONRY = 528 S.F. = 60%  
 OTHER = 345 S.F.  
 TOTAL = 873 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,505 S.F. = 50%  
 OTHER = 2,545 S.F.  
 TOTAL = 5,050 S.F.



6 6-PLEX-B - LEFT - SCANDINAVIAN STREETSCAPE  
 1/16" = 1'-0"



5 6-PLEX-B - FRONT - SCANDINAVIAN STREETSCAPE  
 1/16" = 1'-0"

**2-STORY 6-PLEX  
 SHINGLE ELEVATION**  
**MASONRY PERCENTAGES:**  
 FRONT ELEVATION:  
 MASONRY = 910 S.F. = 63%  
 OTHER = 530 S.F.  
 TOTAL = 1,440 S.F.  
 REAR ELEVATION:  
 MASONRY = 409 S.F. = 36%  
 OTHER = 714 S.F.  
 TOTAL = 1,123 S.F.  
 LEFT ELEVATION:  
 MASONRY = 482 S.F. = 53%  
 OTHER = 429 S.F.  
 TOTAL = 911 S.F.  
 RIGHT ELEVATION:  
 MASONRY = 454 S.F. = 47%  
 OTHER = 513 S.F.  
 TOTAL = 967 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,255 S.F. = 50%  
 OTHER = 2,186 S.F.  
 TOTAL = 4,441 S.F.



4 6-PLEX-A - LEFT - SHINGLE STREETSCAPE  
 1/16" = 1'-0"



3 6-PLEX-A - FRONT - SHINGLE STREETSCAPE  
 1/16" = 1'-0"

**2-STORY 6-PLEX  
 CRAFTSMAN ELEVATION**  
**MASONRY PERCENTAGES:**  
 FRONT ELEVATION:  
 MASONRY = 906 S.F. = 53%  
 OTHER = 792 S.F.  
 TOTAL = 1,698 S.F.  
 REAR ELEVATION:  
 MASONRY = 414 S.F. = 32%  
 OTHER = 880 S.F.  
 TOTAL = 1,294 S.F.  
 LEFT ELEVATION:  
 MASONRY = 682 S.F. = 76%  
 OTHER = 198 S.F.  
 TOTAL = 880 S.F.  
 RIGHT ELEVATION:  
 MASONRY = 369 S.F. = 42%  
 OTHER = 511 S.F.  
 TOTAL = 880 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,371 S.F. = 50%  
 OTHER = 2,381 S.F.  
 TOTAL = 4,752 S.F.



2 6-PLEX-A - LEFT - CRAFTSMAN STREETSCAPE  
 1/16" = 1'-0"



1 6-PLEX-A - FRONT - CRAFTSMAN STREETSCAPE  
 1/16" = 1'-0"

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
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 SHEET 86 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS	
	08.08.2024	
	10.10.2024	

**2-STORY 6-PLEX SHINGLE ELEVATION**  
**MASONRY PERCENTAGES:**  
 FRONT ELEVATION:  
 MASONRY = 1,163 S.F. = 70%  
 OTHER = 489 S.F.  
 TOTAL = 1,652 S.F.  
 REAR ELEVATION:  
 MASONRY = 352 S.F. = 33%  
 OTHER = 705 S.F.  
 TOTAL = 1,057 S.F.  
 LEFT ELEVATION:  
 MASONRY = 481 S.F. = 52%  
 OTHER = 452 S.F.  
 TOTAL = 933 S.F.  
 RIGHT ELEVATION:  
 MASONRY = 481 S.F. = 52%  
 OTHER = 452 S.F.  
 TOTAL = 933 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,477 S.F. = 54%  
 OTHER = 2,098 S.F.  
 TOTAL = 4,575 S.F.



**6** 6-PLEX-C - LEFT - SHINGLE STREETSCAPE  
 1/16" = 1'-0"



**5** 6-PLEX-C - FRONT - SHINGLE STREETSCAPE  
 1/16" = 1'-0"

**2-STORY 6-PLEX SCANDINAVIAN ELEVATION**  
**MASONRY PERCENTAGES:**  
 FRONT ELEVATION:  
 MASONRY = 968 S.F. = 49%  
 OTHER = 1,008 S.F.  
 TOTAL = 1,976 S.F.  
 REAR ELEVATION:  
 MASONRY = 485 S.F. = 40%  
 OTHER = 717 S.F.  
 TOTAL = 1,202 S.F.  
 LEFT ELEVATION:  
 MASONRY = 603 S.F. = 58%  
 OTHER = 439 S.F.  
 TOTAL = 1,042 S.F.  
 RIGHT ELEVATION:  
 MASONRY = 603 S.F. = 58%  
 OTHER = 439 S.F.  
 TOTAL = 1,042 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,659 S.F. = 51%  
 OTHER = 2,603 S.F.  
 TOTAL = 5,262 S.F.



**4** 6-PLEX-C - LEFT - SCANDINAVIAN STREETSCAPE  
 1/16" = 1'-0"



**3** 6-PLEX-C - FRONT - SCANDINAVIAN STREETSCAPE  
 1/16" = 1'-0"



SFA PAIRED HOME STREETScape

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 87 OF 156

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**UPLANDS**

DATE: 10.10.2024



**ANTI-MONOTONY RULES**

NO SINGLE FAMILY DWELLING UNIT OF THE SAME MODEL SHALL BE BUILT ON ADJACENT LOTS, NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.

NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS WHOSE FRONT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET, HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.

NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK: A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET. FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.

EXHIBIT WILL BE PROVIDED WITH FIRST PERMIT SUBMITTAL SHOWING PRE-PLAT OF ALL TOWNHOMES, DUPLEXES, SFD TUCKUNDERS, AND SFD 3-STORY HOMES TO MEET ANTI-MONOTONY.

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

# SFD TUCKUNDER & SFD 3-STORY STREETSCAPE

## OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 3 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 88 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**



SFD TUCKUNDER PLAN 1 - FRONT ELEVATION - 'D'    SFD TUCKUNDER PLAN 1 - FRONT ELEVATION - 'E'    SFD TUCKUNDER PLAN 1 - FRONT ELEVATION - 'F'



SFD TUCKUNDER PLAN 2 - FRONT ELEVATION - 'D'    SFD TUCKUNDER PLAN 2 - FRONT ELEVATION - 'E'    SFD TUCKUNDER PLAN 2 - FRONT ELEVATION - 'F'



SFD TUCKUNDER PLAN 3 - FRONT ELEVATION - 'D'    SFD TUCKUNDER PLAN 3 - FRONT ELEVATION - 'E'    SFD TUCKUNDER PLAN 3 - FRONT ELEVATION - 'F'



SFD TUCKUNDER PLAN 4 - FRONT ELEVATION - 'D'    SFD TUCKUNDER PLAN 4 - FRONT ELEVATION - 'E'    SFD TUCKUNDER PLAN 4 - FRONT ELEVATION - 'F'



SFD 3-STORY PLAN 1 - FRONT ELEVATION - 'D'    SFD 3-STORY PLAN 1 - FRONT ELEVATION - 'E'    SFD 3-STORY PLAN 1 - FRONT ELEVATION - 'F'



SFD 3-STORY PLAN 2 - FRONT ELEVATION - 'D'    SFD 3-STORY PLAN 2 - FRONT ELEVATION - 'E'    SFD 3-STORY PLAN 2 - FRONT ELEVATION - 'F'



SFD 3-STORY PLAN 3 - FRONT ELEVATION - 'D'    SFD 3-STORY PLAN 3 - FRONT ELEVATION - 'E'    SFD 3-STORY PLAN 3 - FRONT ELEVATION - 'F'



SFD 3-STORY PLAN 4 - FRONT ELEVATION - 'D'    SFD 3-STORY PLAN 4 - FRONT ELEVATION - 'E'    SFD 3-STORY PLAN 4 - FRONT ELEVATION - 'F'

### ANTI-MONOTONY RULES

NO SINGLE FAMILY DWELLING UNIT OF THE SAME MODEL SHALL BE BUILT ON ADJACENT LOTS, NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.

NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS WHOSE FRONT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET, HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.

NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK: A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET. FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.

EXHIBIT WILL BE PROVIDED WITH FIRST PERMIT SUBMITTAL SHOWING PRE-PLAT OF ALL TOWNHOMES, DUPLEXES, SFD TUCKUNDERS, AND SFD 3-STORY HOMES TO MEET ANTI-MONOTONY.

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 89 OF 156

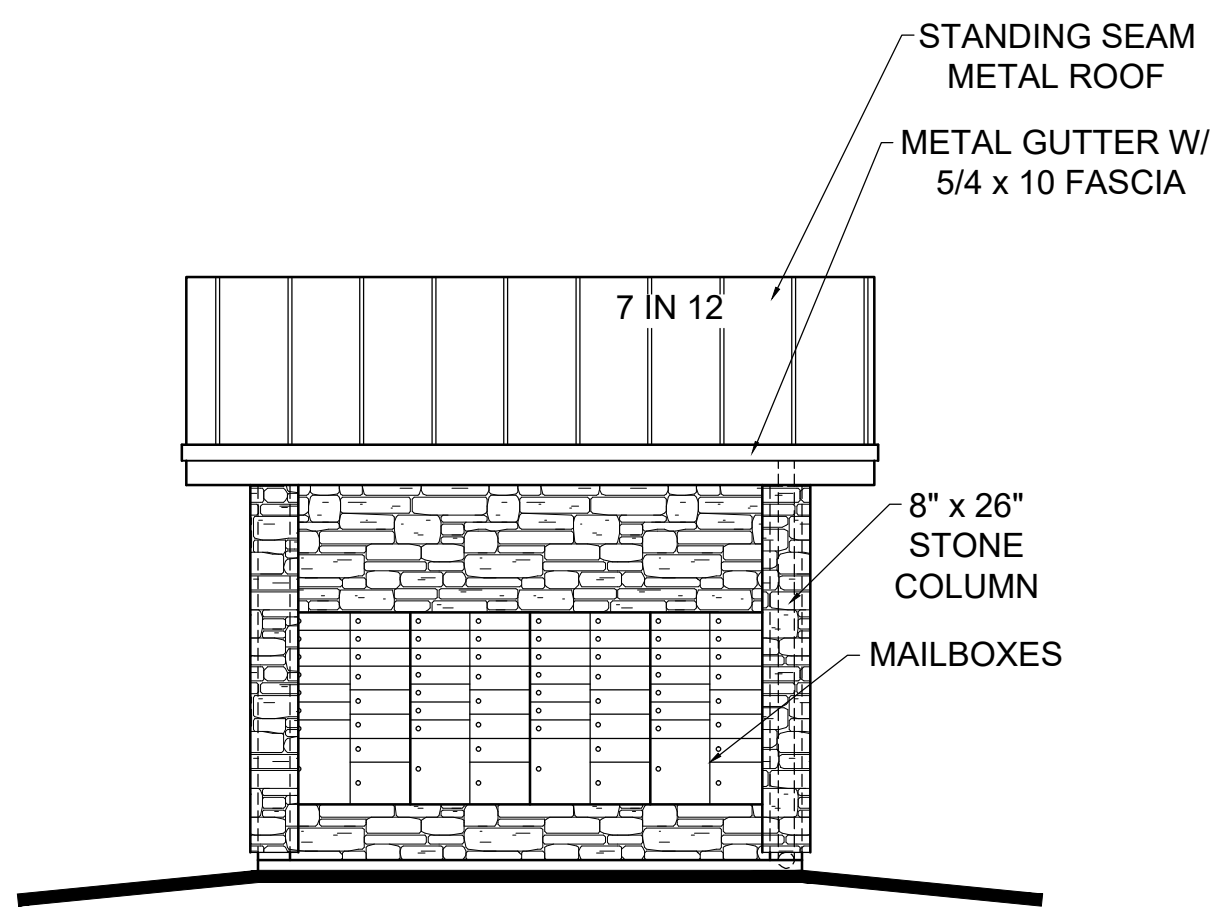
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INFORMATION

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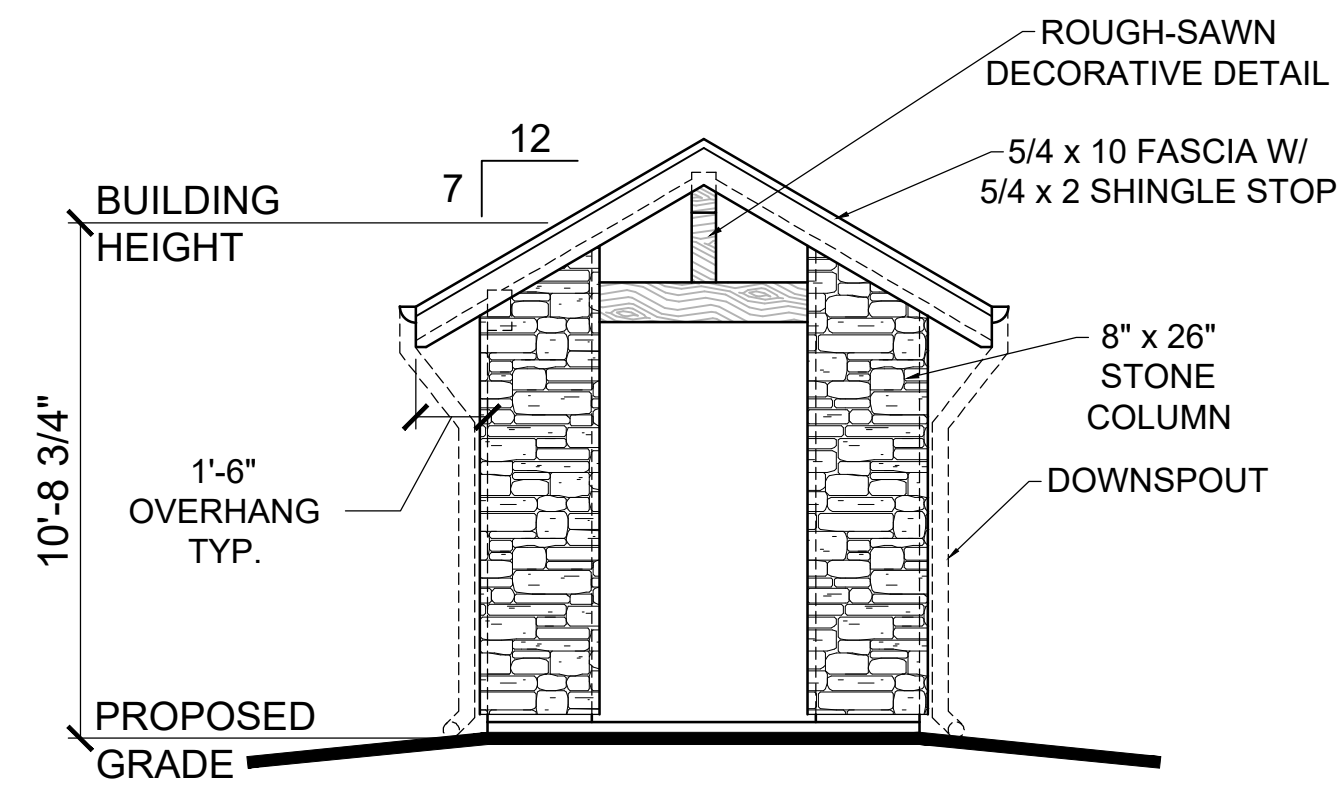
**UPLANDS**

DATE: 10.10.2024

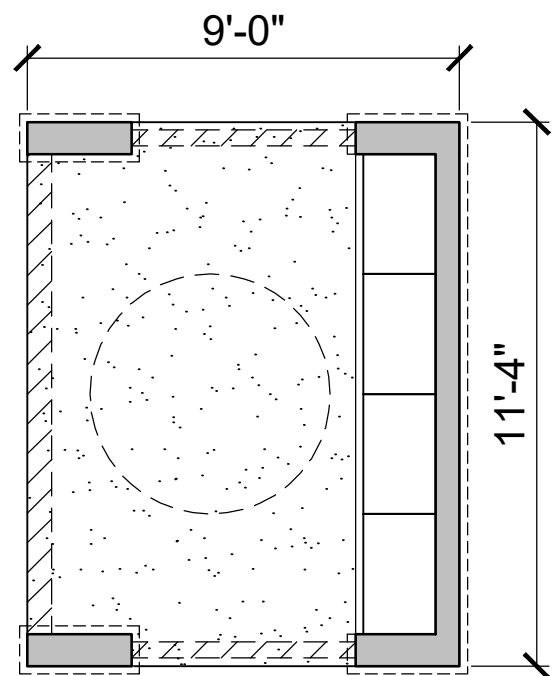
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



ELEVATION - LEFT  
SCALE: 1/4" = 1'-0"

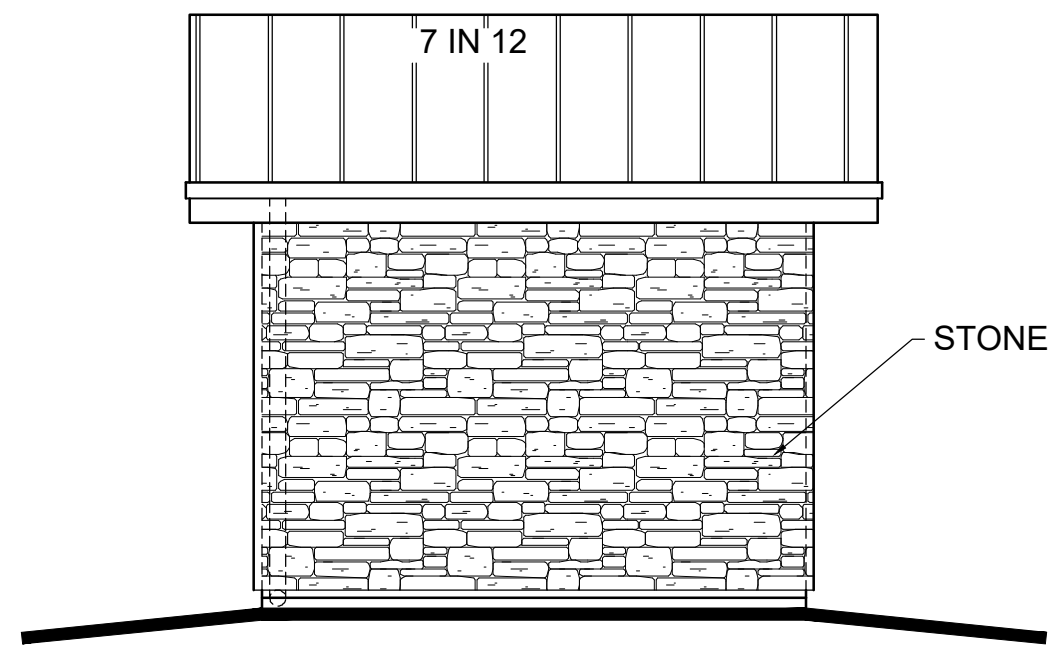


ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"

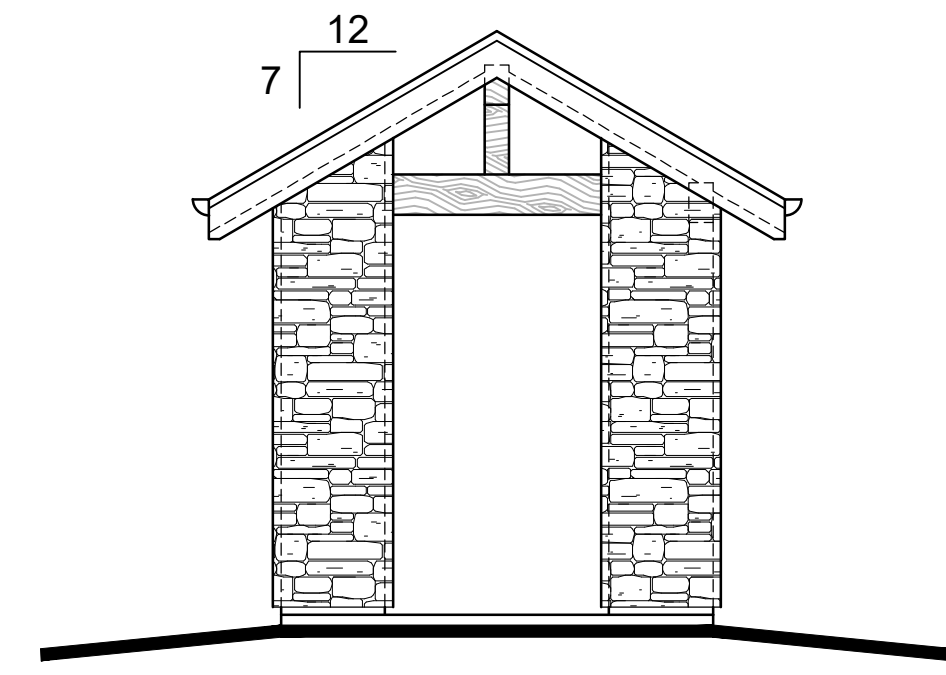


MAIL KIOSK FLOOR PLAN  
SCALE: 1/4" = 1'-0"

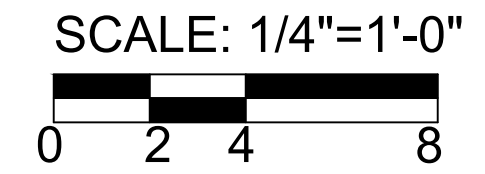
NOTE:  
1. SOLAR POWERED LIGHTING WILL BE PROVIDED



ELEVATION - RIGHT  
SCALE: 1/4" = 1'-0"



ELEVATION - REAR  
SCALE: 1/4" = 1'-0"



REVISIONS
08.08.2024
10.10.2024



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 90 OF 156

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**UPLANDS**

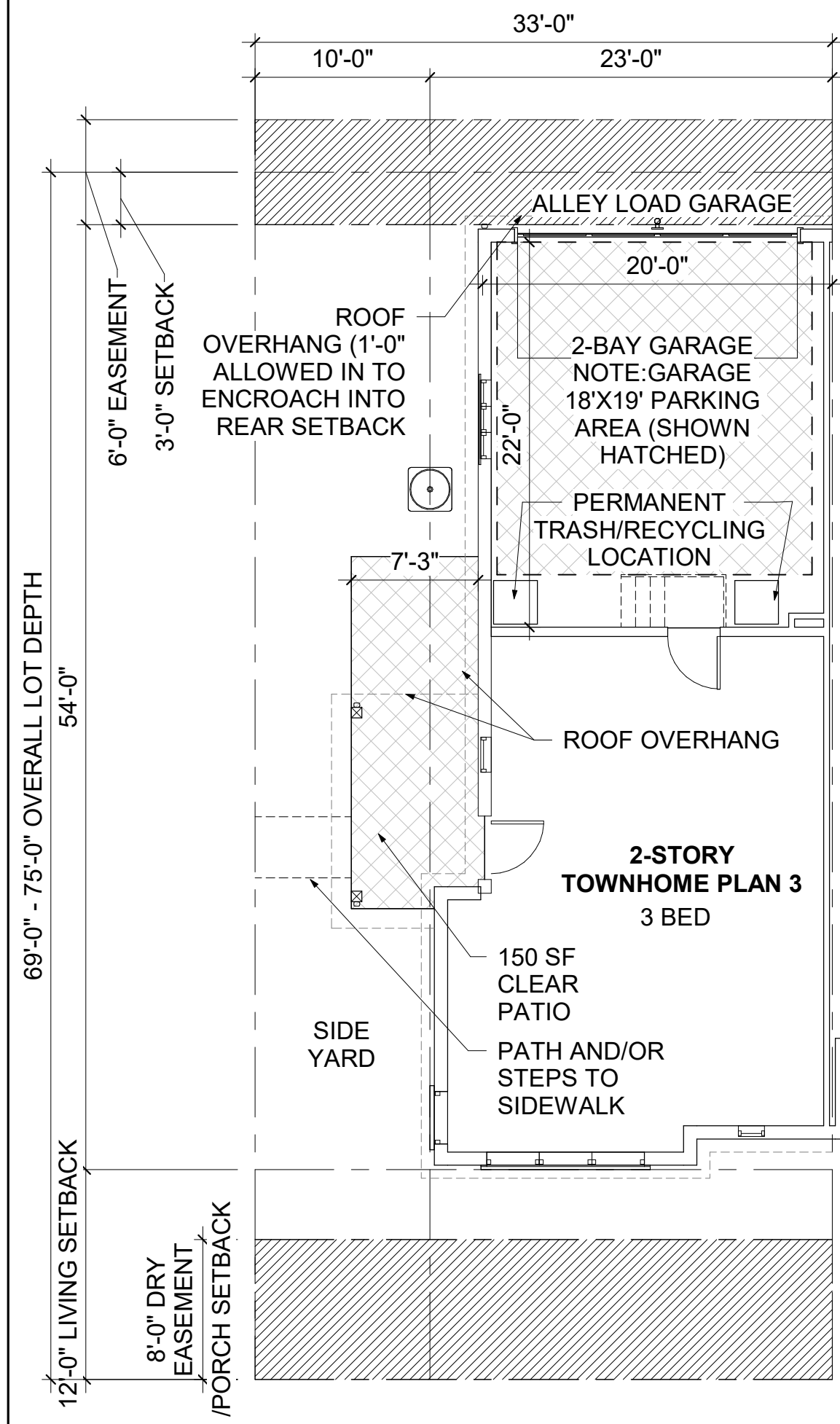
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**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

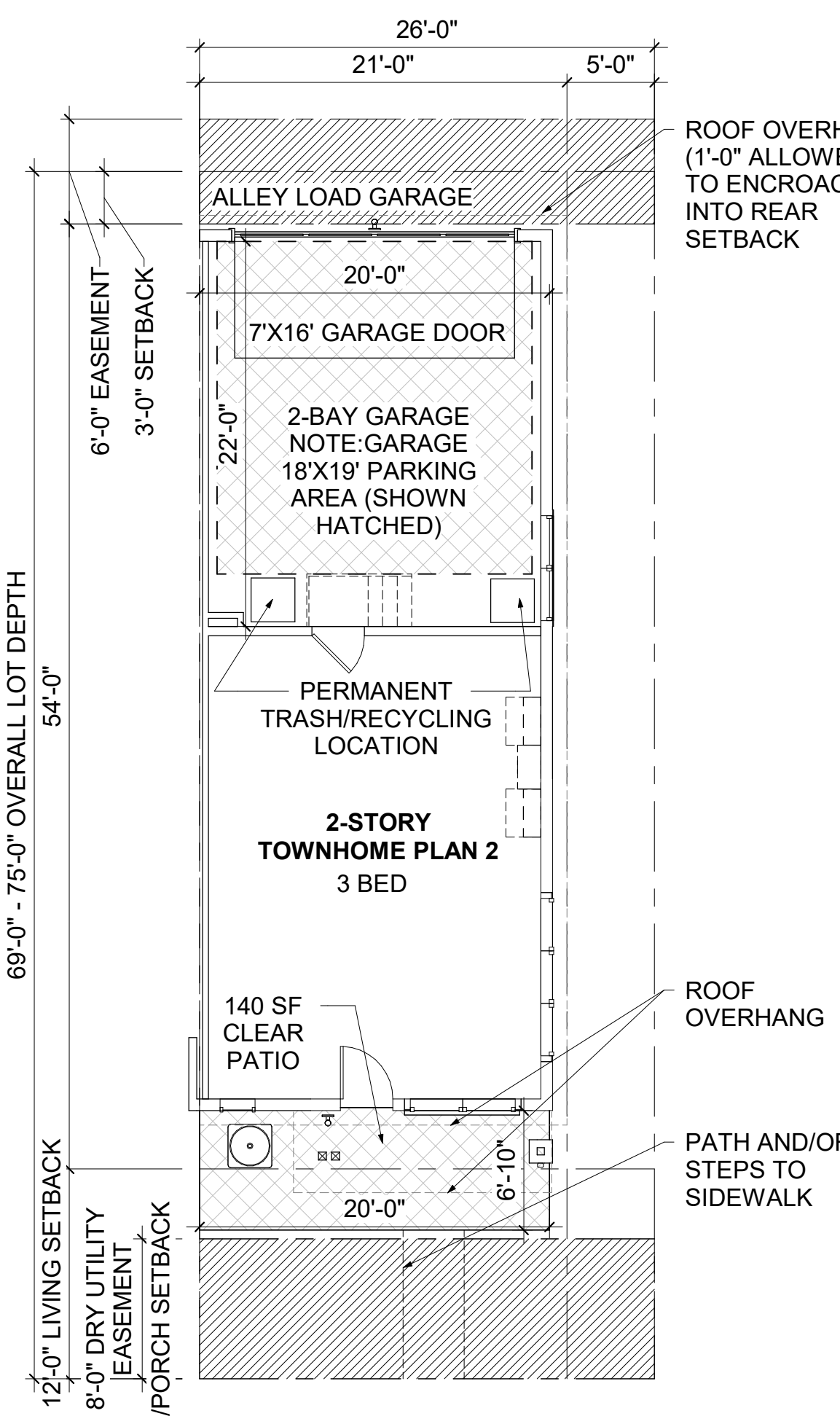
OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

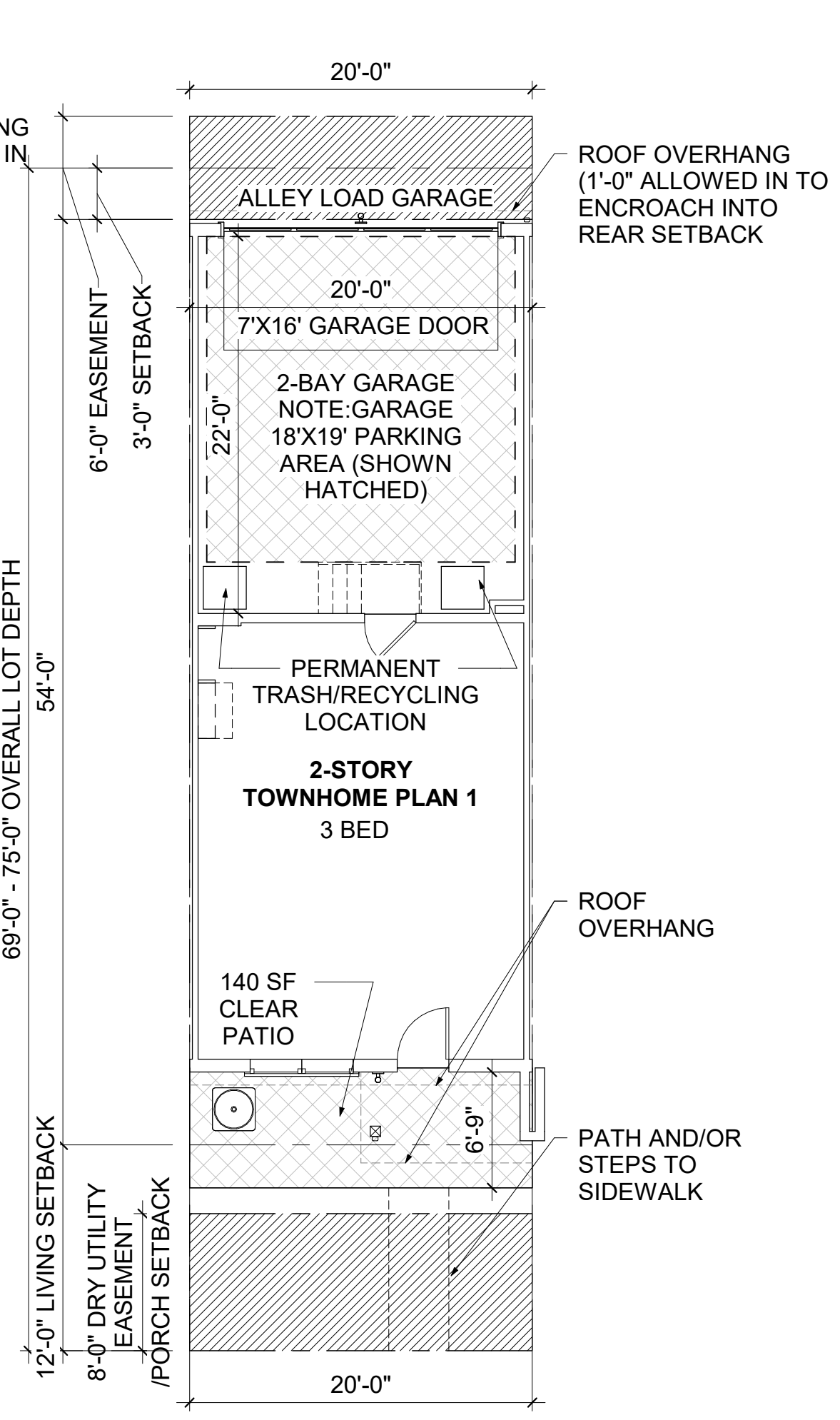
08.08.2024  
 10.10.2024



PLAN 3 END



PLAN 2 END



PLAN 1 INTERIOR

**2-STORY TOWNHOME LOT TYPICAL**

SCANDINAVIAN, SHINGLE AND CRAFTSMAN SIMILAR SCALE: 1/8" = 1'-0"

PLAN 1 INTERIOR  
 1,466 TOTAL SQ. FT.  
 140 SF PATIO

PLAN 2 END  
 1,466 TOTAL SQ. FT.  
 140 SF PATIO

PLAN 3 END  
 1,614 TOTAL SQ. FT.  
 150 SF PATIO

NOTE:

- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
- TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
- NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
- ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
- ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
- SFD HOMES WILL BE DESIGNED AS SOLAR READY
- ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
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SHEET 91 OF 156

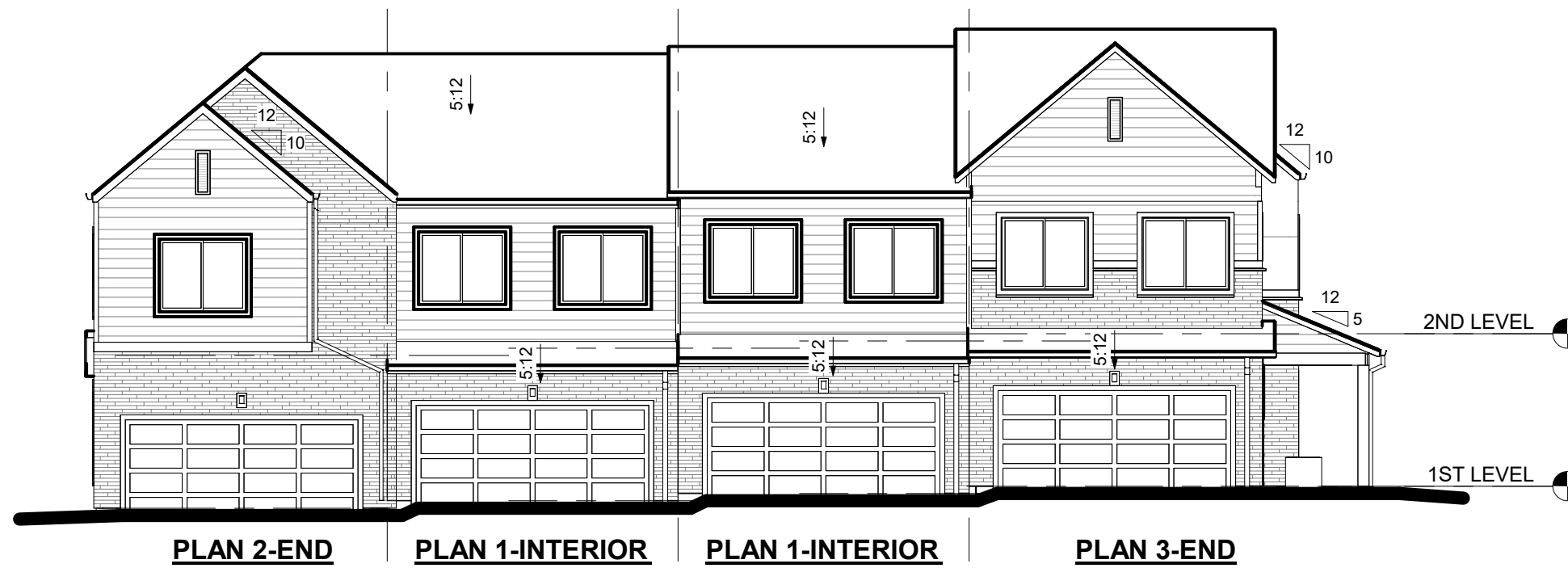
REFER TO COLOR BOOK  
FOR MATERIAL  
INFORMATION

**2-STORY 4-PLEX  
SCANDINAVIAN ELEVATION  
MASONRY PERCENTAGES:**  
FRONT ELEVATION:  
MASONRY = 671 S.F. = **53%**  
OTHER = 597 S.F.  
TOTAL = 1,268 S.F.  
REAR ELEVATION:  
MASONRY = 447 S.F. = **45%**  
OTHER = 539 S.F.  
TOTAL = 986 S.F.  
LEFT ELEVATION:  
MASONRY = 604 S.F. = **60%**  
OTHER = 405 S.F.  
TOTAL = 1,009 S.F.  
RIGHT ELEVATION:  
MASONRY = 532 S.F. = **60%**  
OTHER = 358 S.F.  
TOTAL = 890 S.F.  
**TOTAL BUILDING**  
MASONRY = 2,254 S.F. = **54%**  
OTHER = 1,899 S.F.  
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**UPLANDS**

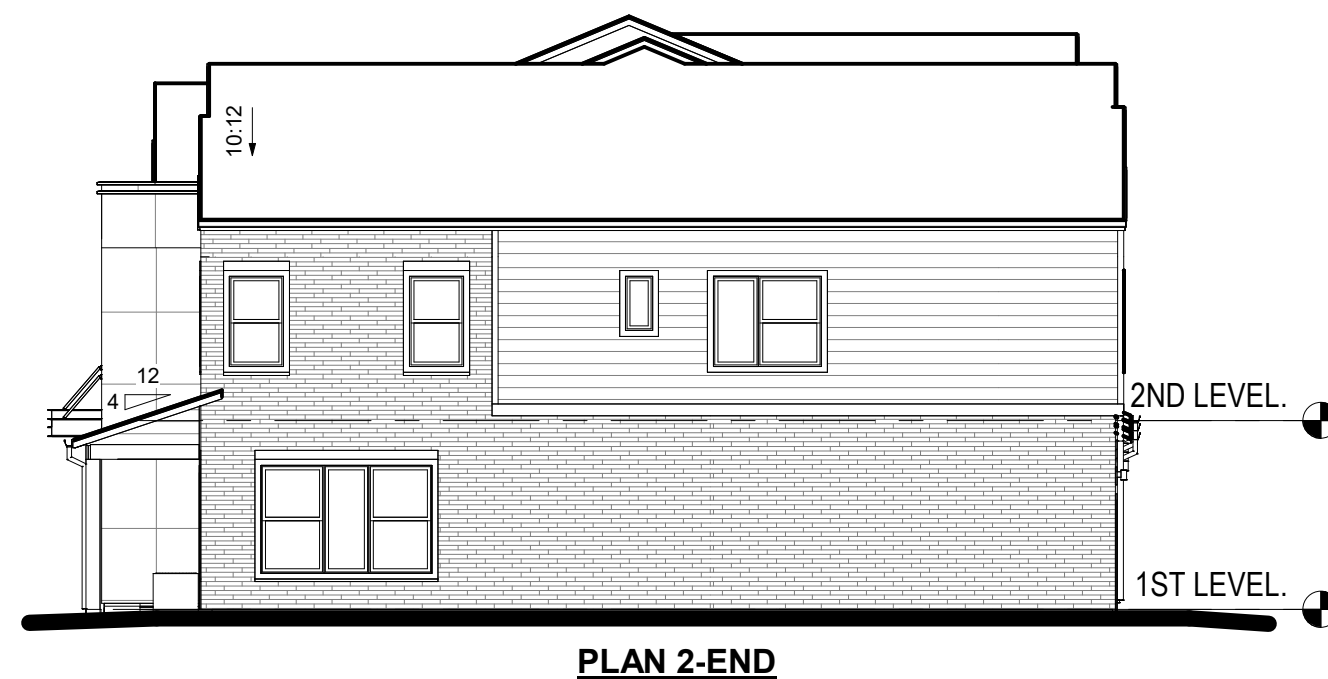
DATE: 10.10.2024



4 2 STORY 4-PLEX-A - REAR ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



3 2 STORY 4-PLEX-A - LEFT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



2 2 STORY 4-PLEX-A - RIGHT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



1 2 STORY 4-PLEX-A - FRONT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

UPLANDS FILING NO.  
1 BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 92 OF 156

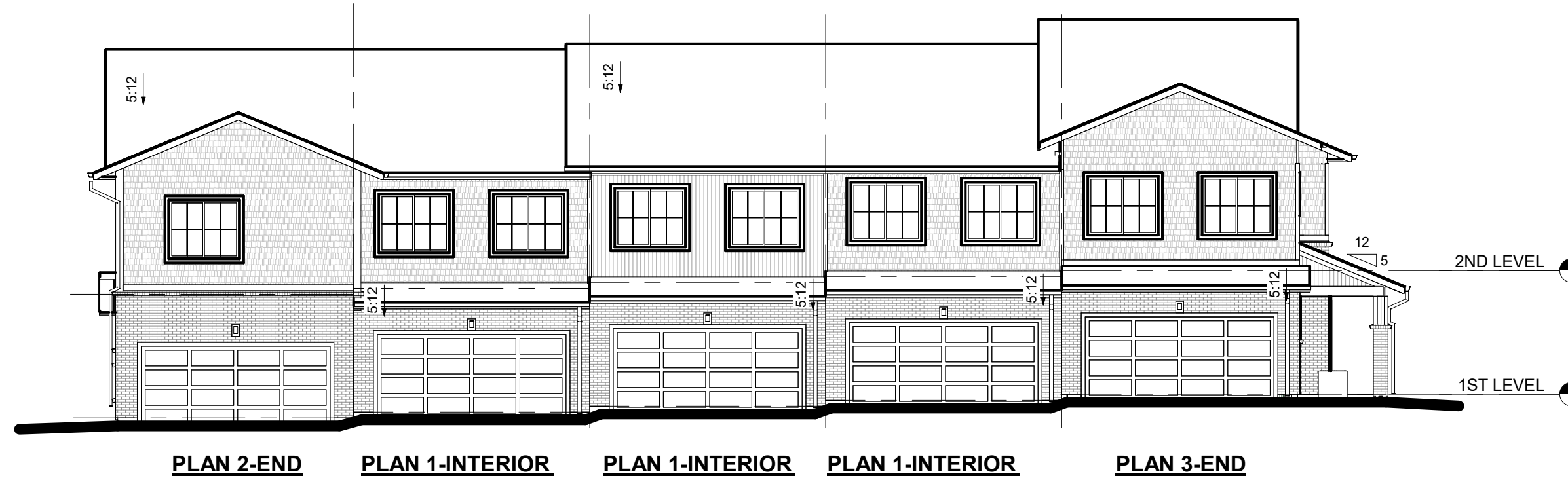
REFER TO COLOR BOOK  
 FOR MATERIAL  
 INFORMATION

**2-STORY 5-PLEX SHINGLE ELEVATION**  
**MASONRY PERCENTAGES:**  
**FRONT ELEVATION:**  
 MASONRY = 830 S.F. = 73%  
 OTHER = 304 S.F.  
 TOTAL = 1,134 S.F.  
**REAR ELEVATION:**  
 MASONRY = 349 S.F. = 35%  
 OTHER = 655 S.F.  
 TOTAL = 1,004 S.F.  
**LEFT ELEVATION:**  
 MASONRY = 482 S.F. = 52%  
 OTHER = 445 S.F.  
 TOTAL = 927 S.F.  
**RIGHT ELEVATION:**  
 MASONRY = 454 S.F. = 46%  
 OTHER = 523 S.F.  
 TOTAL = 977 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,115 S.F. = 52%  
 OTHER = 1,927 S.F.  
 TOTAL = 4,042 S.F.

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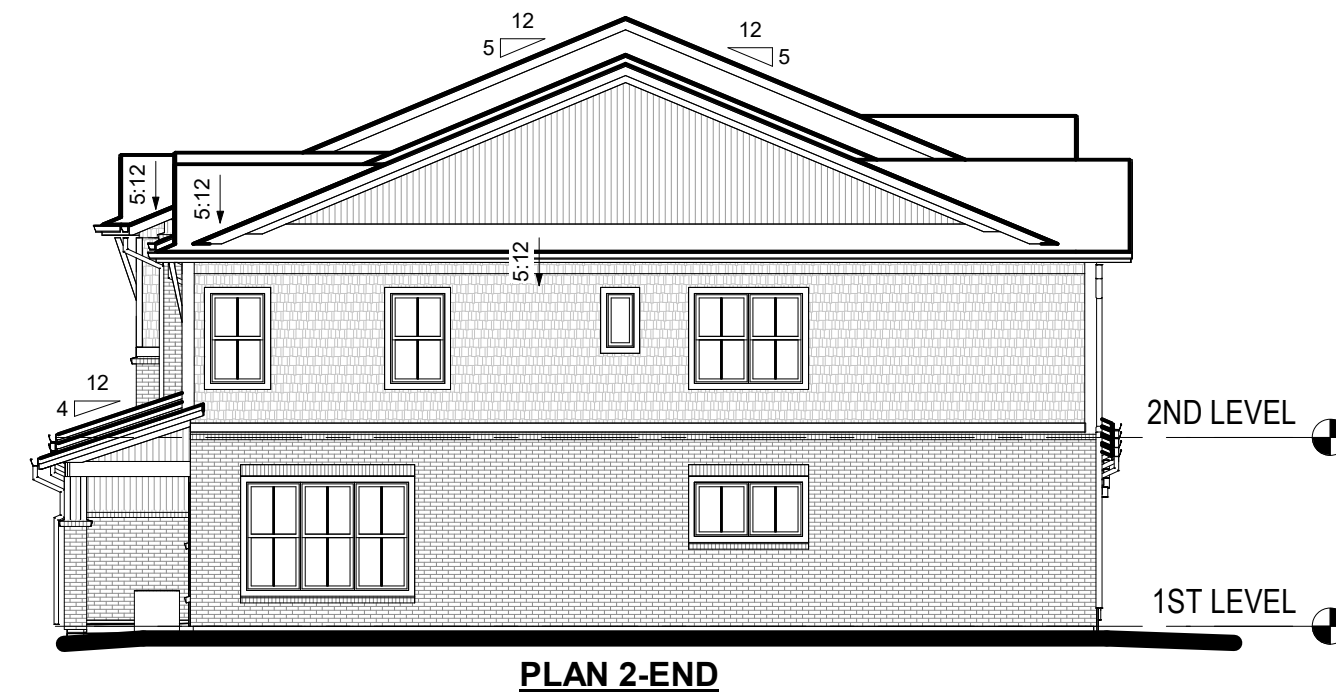
**UPLANDS**

DATE: 10.10.2024



**4** 2 STORY 5-PLEX-A - REAR ELEVATION - SHINGLE

3/32" = 1'-0"

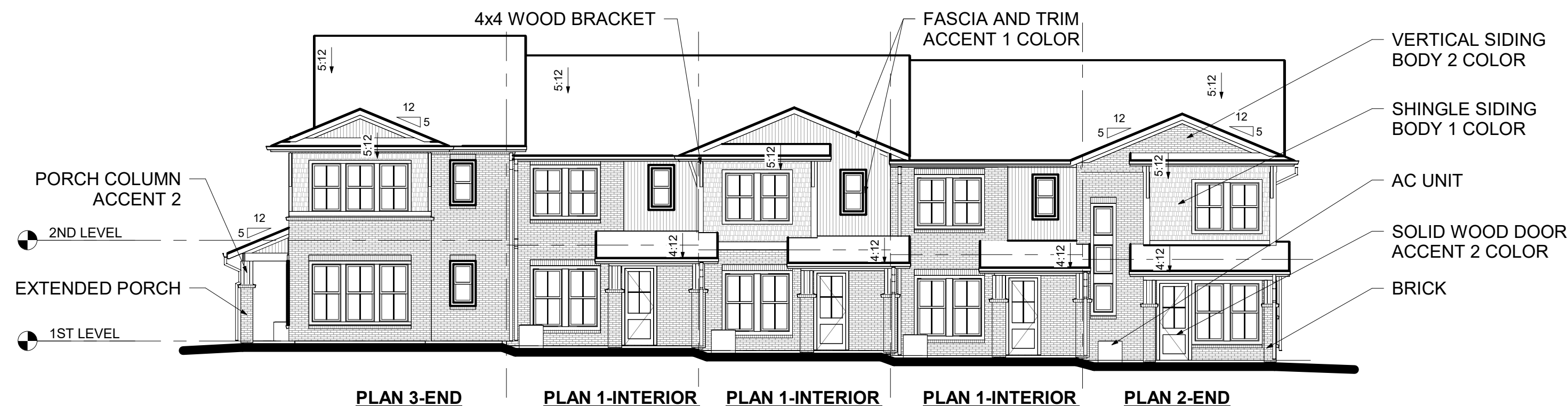


**3** 2 STORY 5-PLEX-A - LEFT ELEVATION - SHINGLE

3/32" = 1'-0"

**2** 2 STORY 5-PLEX-A - RIGHT ELEVATION - SHINGLE

3/32" = 1'-0"



**1** 2 STORY 5-PLEX-A - FRONT ELEVATION - SHINGLE

3/32" = 1'-0"

**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS	
	08.08.2024	
	10.10.2024	



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 93 OF 156

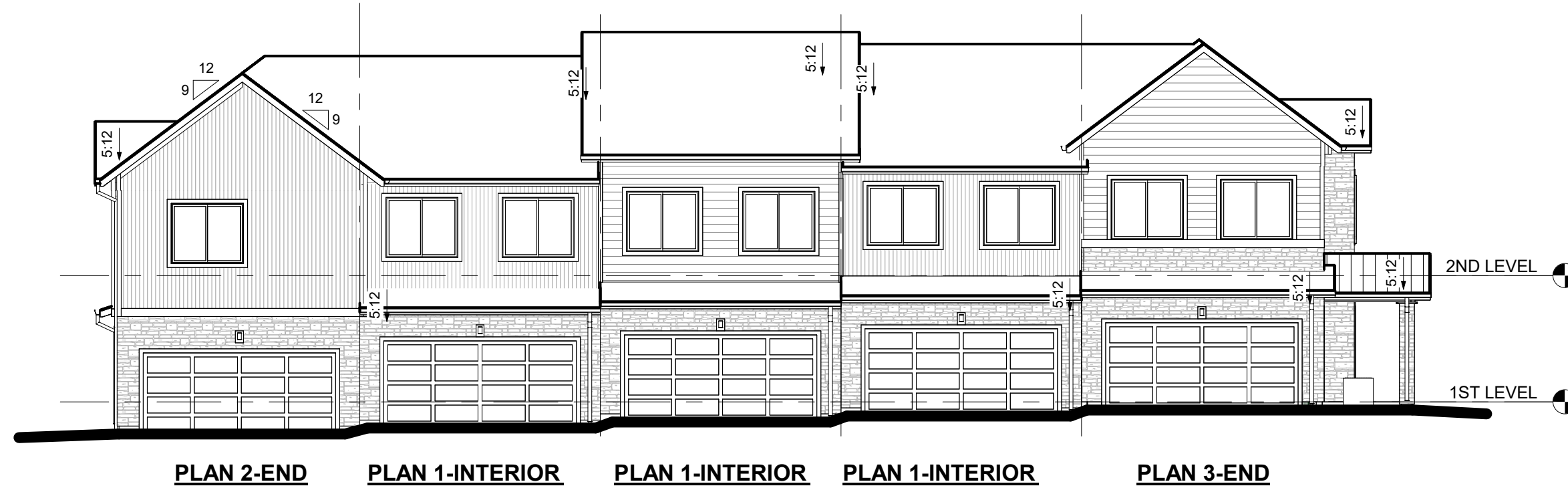
REFER TO COLOR BOOK  
 FOR MATERIAL  
 INFORMATION

**2-STORY 5-PLEX CRAFTSMAN ELEVATION**  
**MASONRY PERCENTAGES:**  
 FRONT ELEVATION:  
 MASONRY = 778 S.F. = 53%  
 OTHER = 677 S.F.  
 TOTAL = 1,455 S.F.  
 REAR ELEVATION:  
 MASONRY = 354 S.F. = 32%  
 OTHER = 739 S.F.  
 TOTAL = 1,093 S.F.  
 LEFT ELEVATION:  
 MASONRY = 682 S.F. = 78%  
 OTHER = 198 S.F.  
 TOTAL = 880 S.F.  
 RIGHT ELEVATION:  
 MASONRY = 369 S.F. = 41%  
 OTHER = 529 S.F.  
 TOTAL = 898 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,183 S.F. = 50%  
 OTHER = 2,143 S.F.  
 TOTAL = 4,326 S.F.

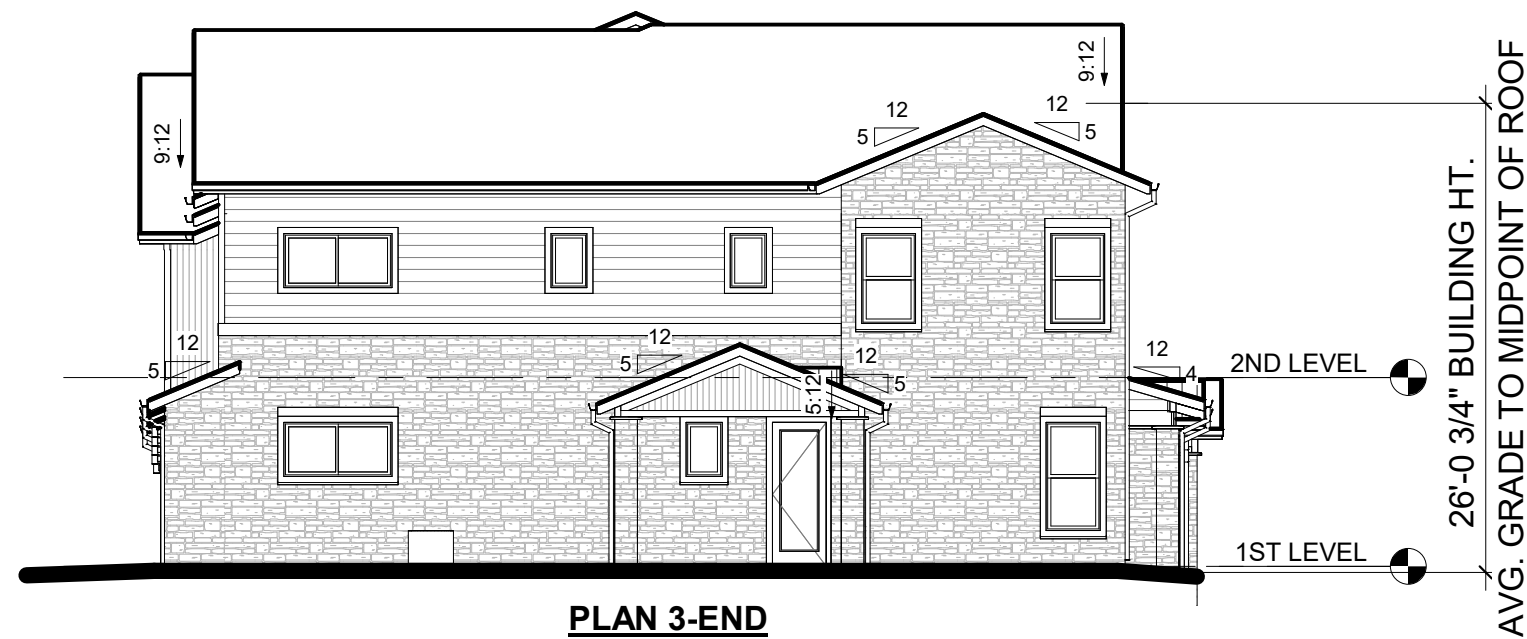
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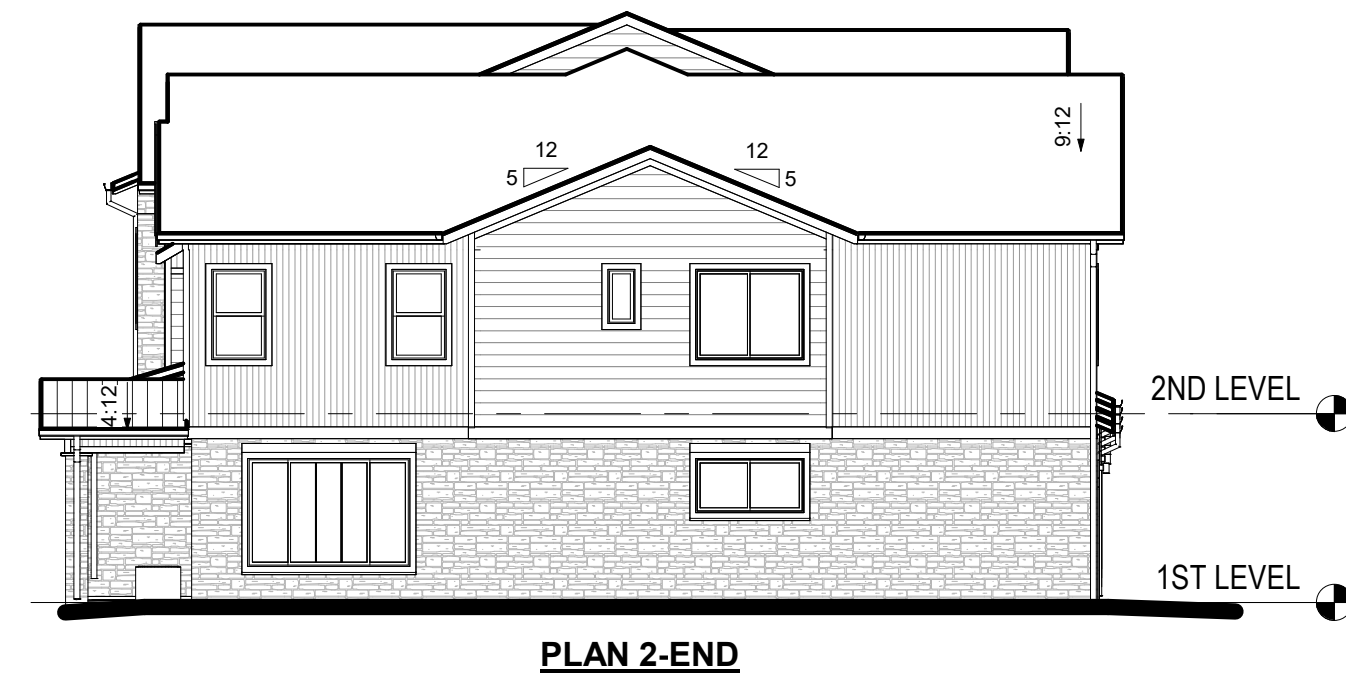
DATE: 10.10.2024



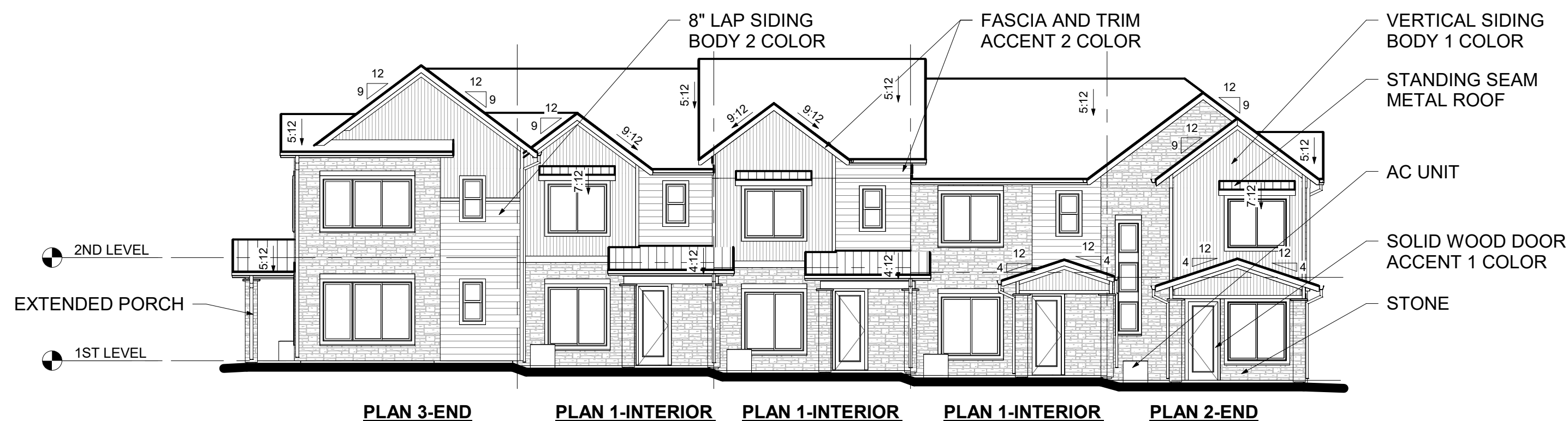
**4** 2 STORY 5-PLEX-A - REAR ELEVATION - CRAFTSMAN  
 3/32" = 1'-0"



**3** 2 STORY 5-PLEX-A - LEFT ELEVATION - CRAFTSMAN  
 3/32" = 1'-0"



**2** 2 STORY 5-PLEX-A - RIGHT ELEVATION - CRAFTSMAN  
 3/32" = 1'-0"



**1** 2 STORY 5-PLEX-A - FRONT ELEVATION - CRAFTSMAN  
 3/32" = 1'-0"

**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 94 OF 156

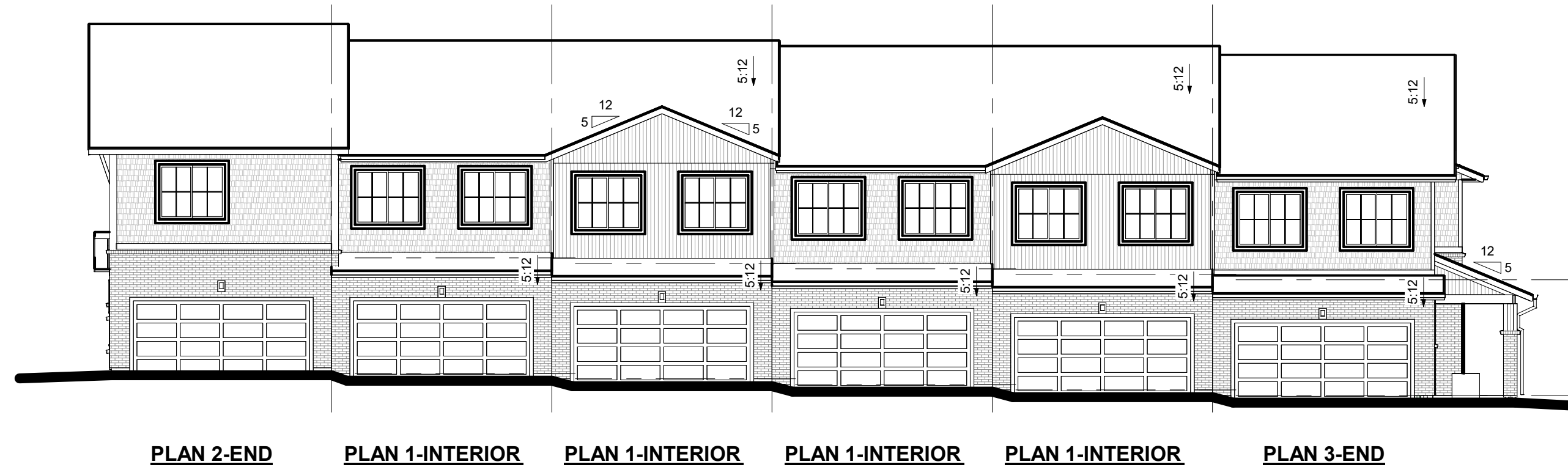
REFER TO COLOR BOOK  
 FOR MATERIAL  
 INFORMATION

**2-STORY 6-PLEX SHINGLE ELEVATION**  
**MASONRY PERCENTAGES:**  
**FRONT ELEVATION:**  
 MASONRY = 910 S.F. = **63%**  
 OTHER = 530 S.F.  
 TOTAL = 1,440 S.F.  
**REAR ELEVATION:**  
 MASONRY = 409 S.F. = **36%**  
 OTHER = 714 S.F.  
 TOTAL = 1,123 S.F.  
**LEFT ELEVATION:**  
 MASONRY = 482 S.F. = **53%**  
 OTHER = 429 S.F.  
 TOTAL = 911 S.F.  
**RIGHT ELEVATION:**  
 MASONRY = 454 S.F. = **47%**  
 OTHER = 513 S.F.  
 TOTAL = 967 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,255 S.F. = **50%**  
 OTHER = 2,186 S.F.  
 TOTAL = 4,441 S.F.

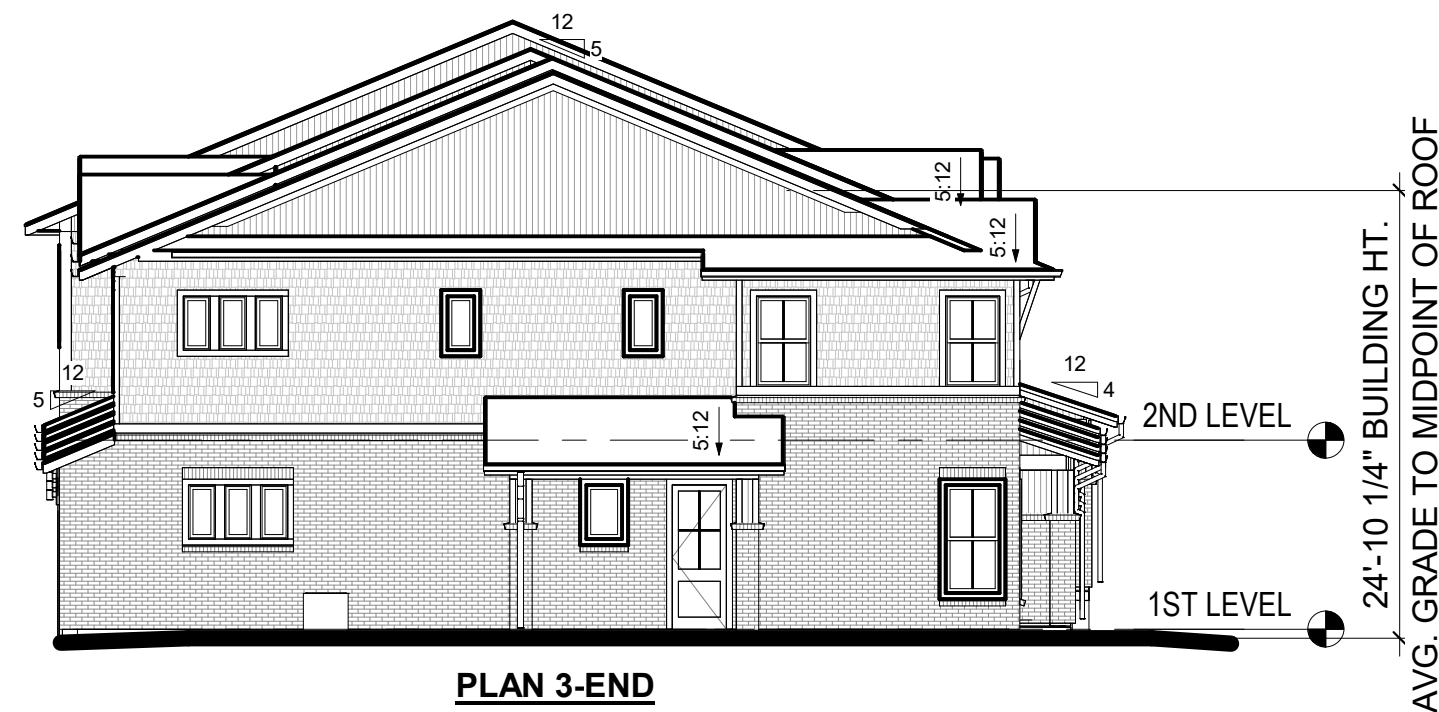
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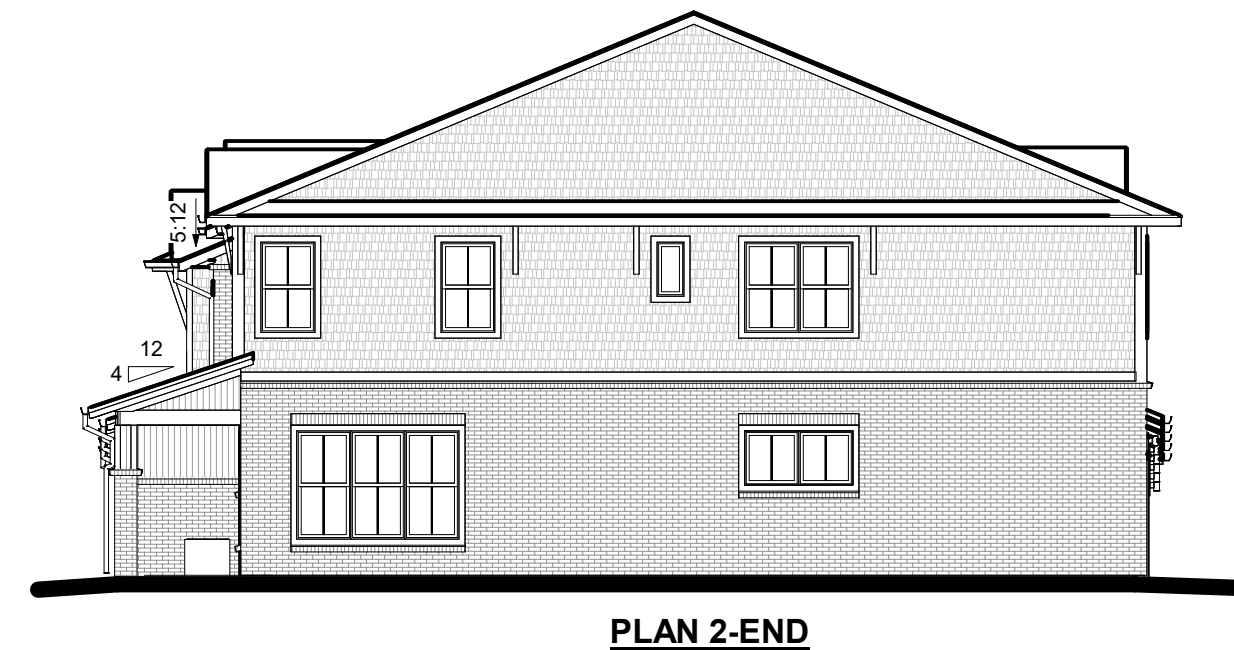
DATE: 10.10.2024



**4** 2 STORY 6-PLEX-A - REAR ELEVATION - SHINGLE  
 3/32" = 1'-0"

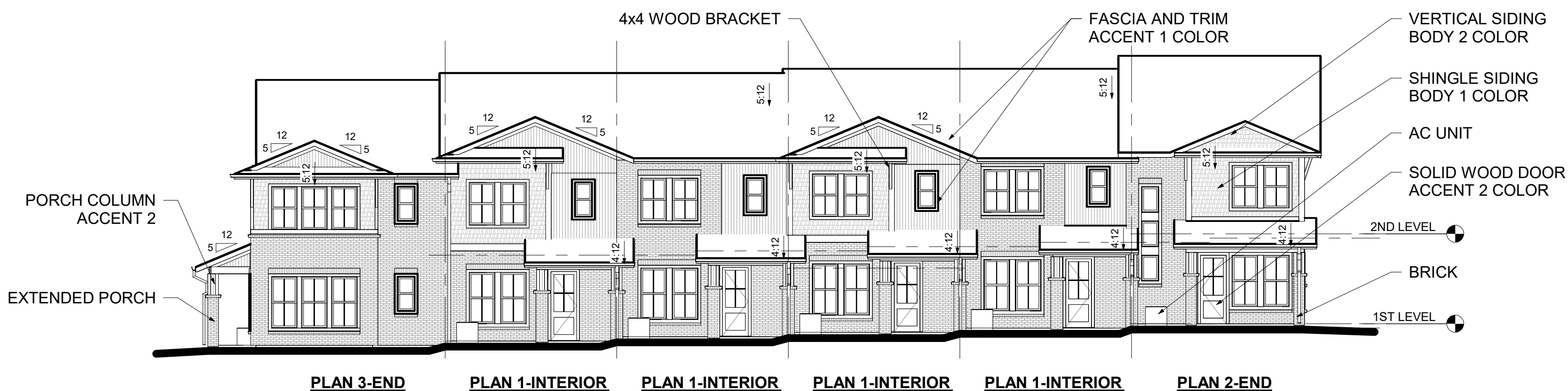


**3** 2 STORY 6-PLEX-A - LEFT ELEVATION - SHINGLE  
 3/32" = 1'-0"



**2** 2 STORY 6-PLEX-A - RIGHT ELEVATION - SHINGLE  
 3/32" = 1'-0"

**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO



**1** 2 STORY 6-PLEX-A - FRONT ELEVATION - SHINGLE  
 3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 95 OF 156

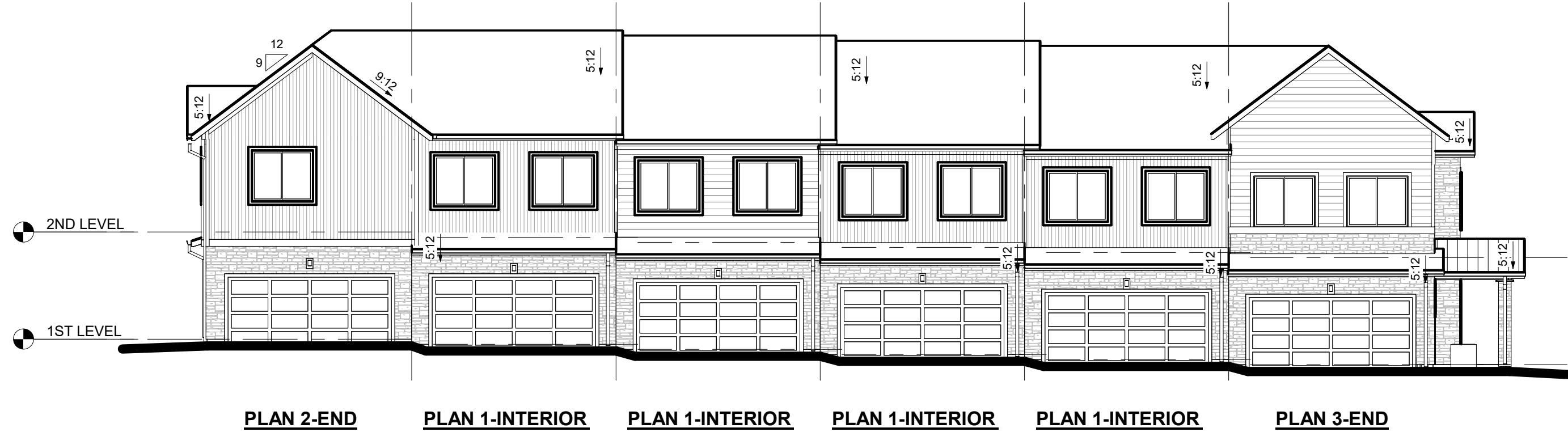
REFER TO COLOR BOOK  
FOR MATERIAL  
INFORMATION

**2-STORY 6-PLEX  
CRAFTSMAN ELEVATION  
MASONRY PERCENTAGES:**  
FRONT ELEVATION:  
MASONRY = 906 S.F. = 53%  
OTHER = 792 S.F.  
TOTAL = 1,698 S.F.  
REAR ELEVATION:  
MASONRY = 414 S.F. = 32%  
OTHER = 880 S.F.  
TOTAL = 1,294 S.F.  
LEFT ELEVATION:  
MASONRY = 682 S.F. = 76%  
OTHER = 198 S.F.  
TOTAL = 880 S.F.  
RIGHT ELEVATION:  
MASONRY = 369 S.F. = 42%  
OTHER = 511 S.F.  
TOTAL = 880 S.F.  
**TOTAL BUILDING**  
MASONRY = 2,371 S.F. = 50%  
OTHER = 2,381 S.F.  
TOTAL = 4,752 S.F.

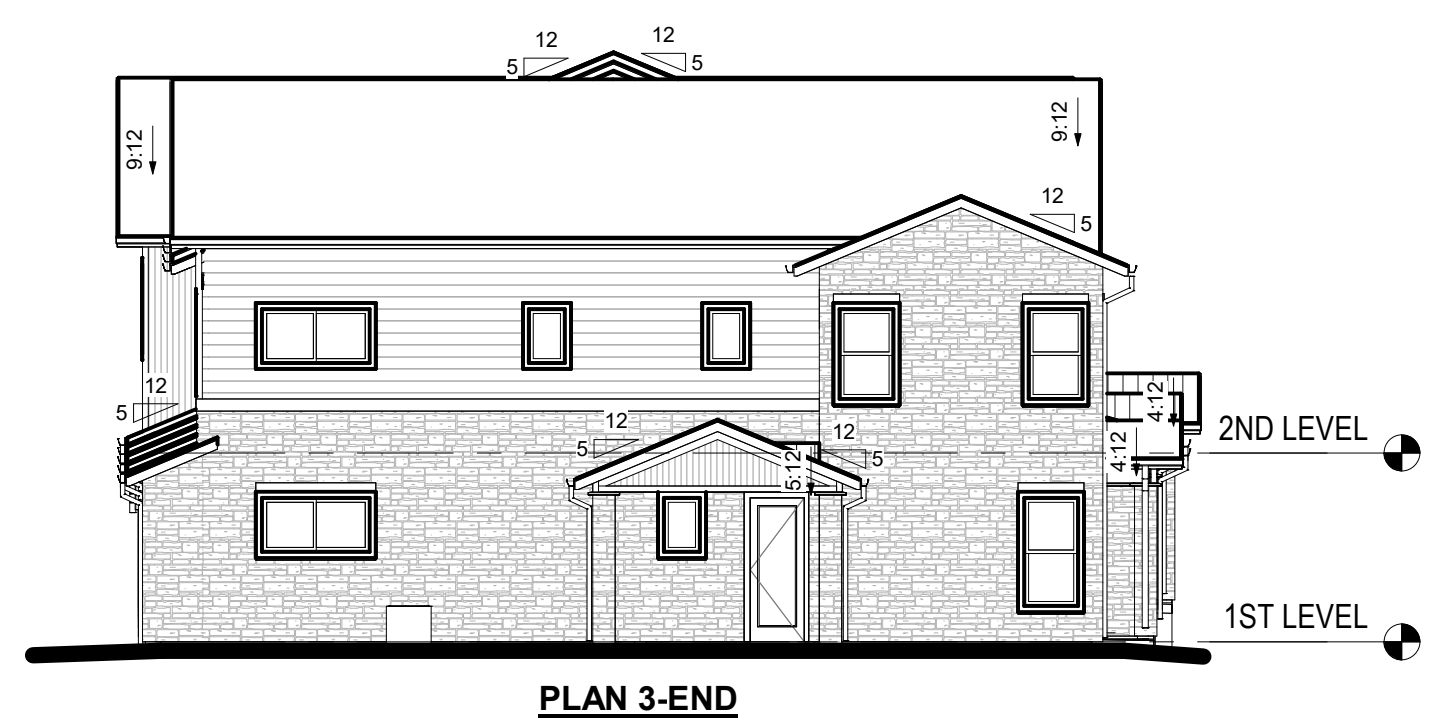
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4 2 STORY 6-PLEX-A - REAR ELEVATION - CRAFTSMAN  
3/32" = 1'-0"

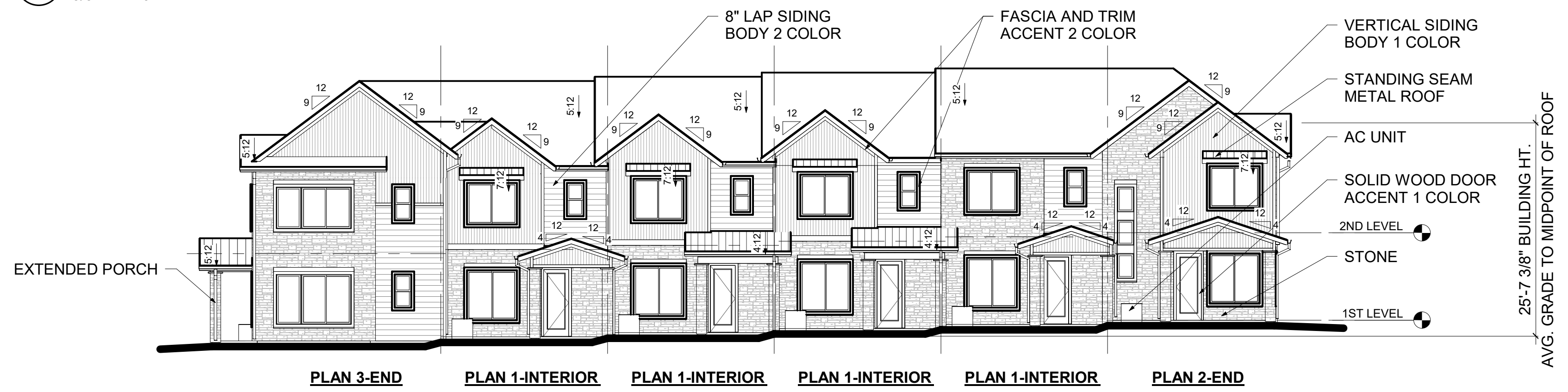


3 2 STORY 6-PLEX-A - LEFT ELEVATION - CRAFTSMAN  
3/32" = 1'-0"



2 2 STORY 6-PLEX-A - RIGHT ELEVATION - CRAFTSMAN  
3/32" = 1'-0"

UPLANDS FILING NO.  
1 BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



1 2 STORY 6-PLEX-A - FRONT ELEVATION - CRAFTSMAN  
3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

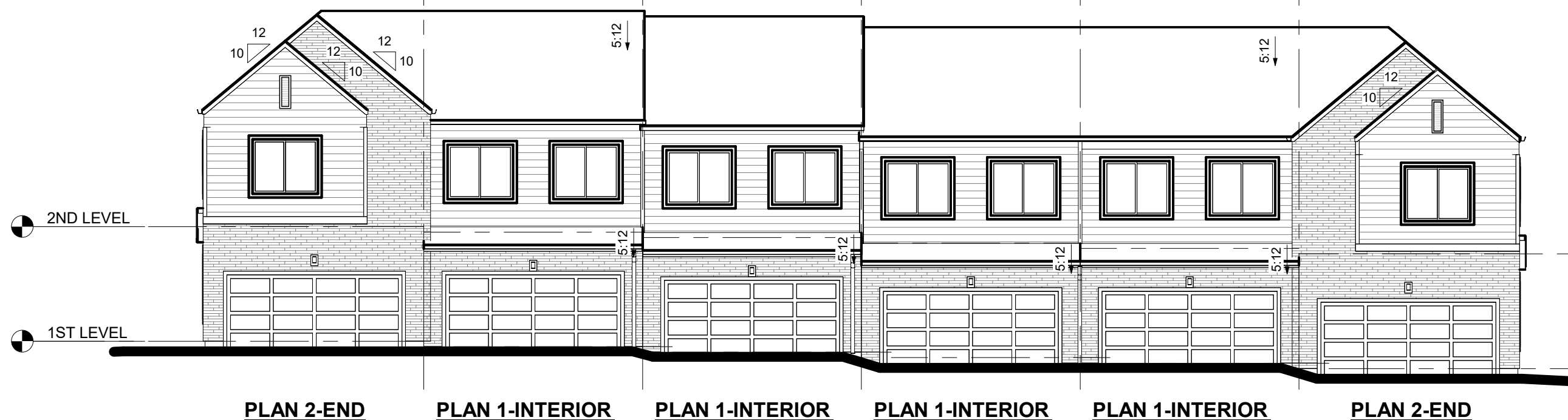
REVISIONS

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10.10.2024

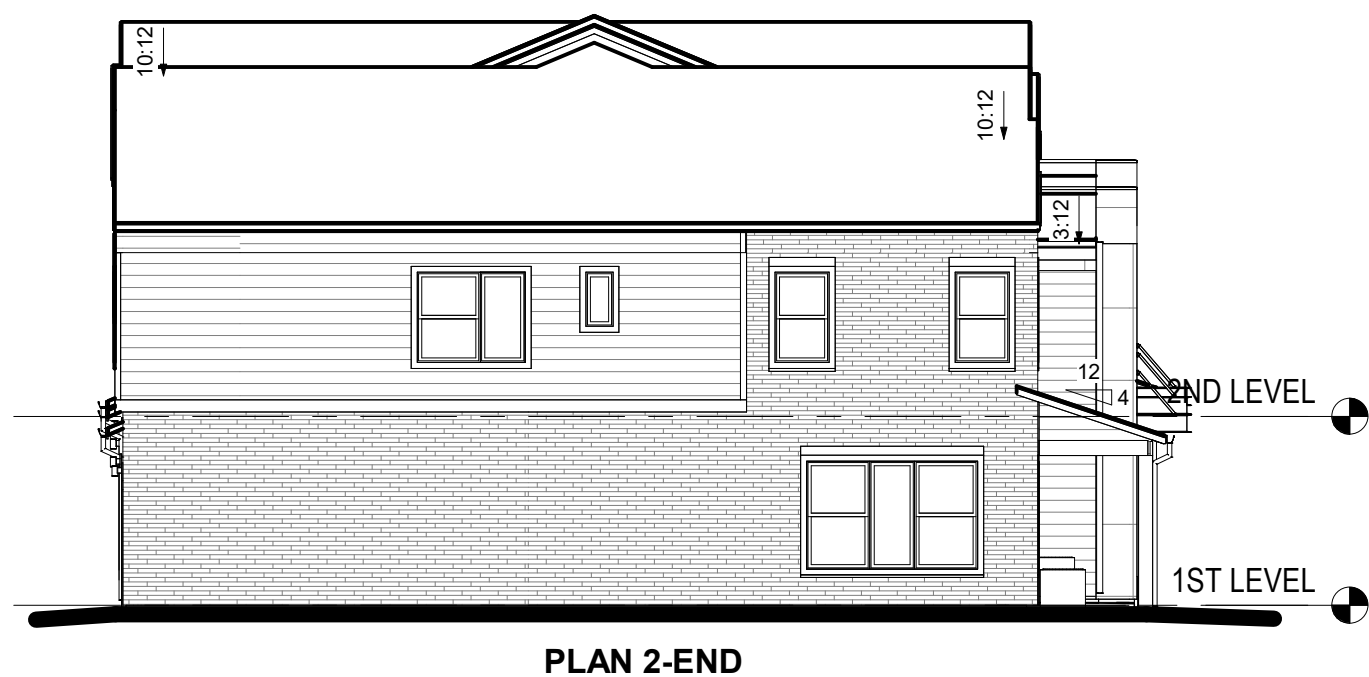


OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 96 OF 156

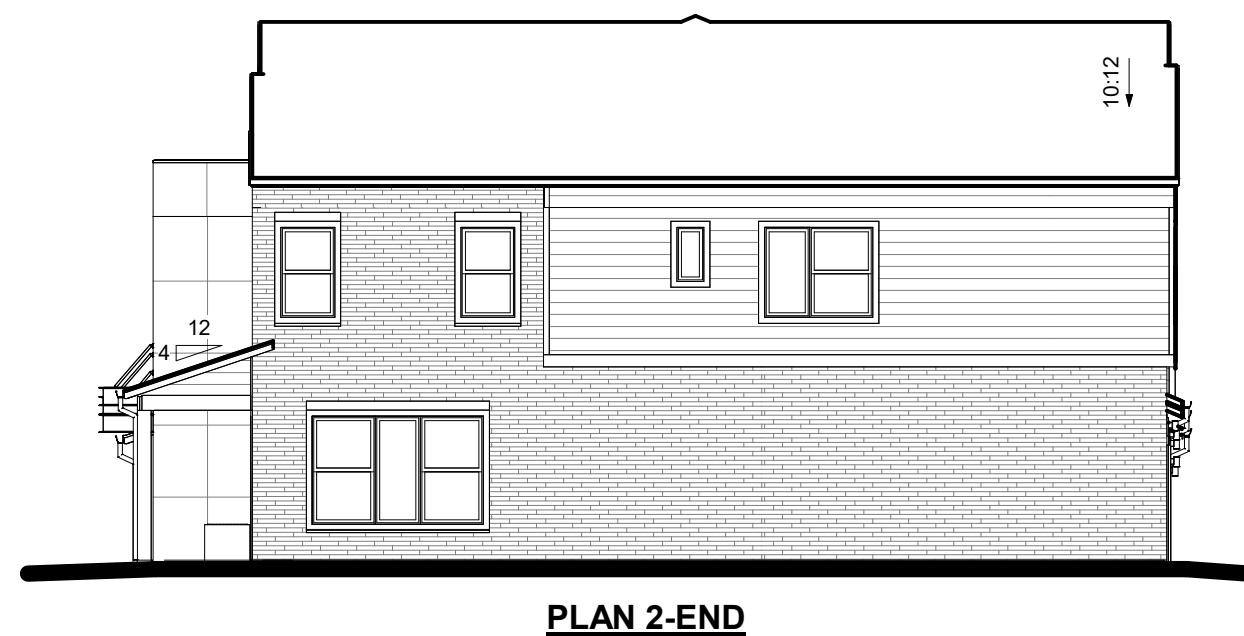
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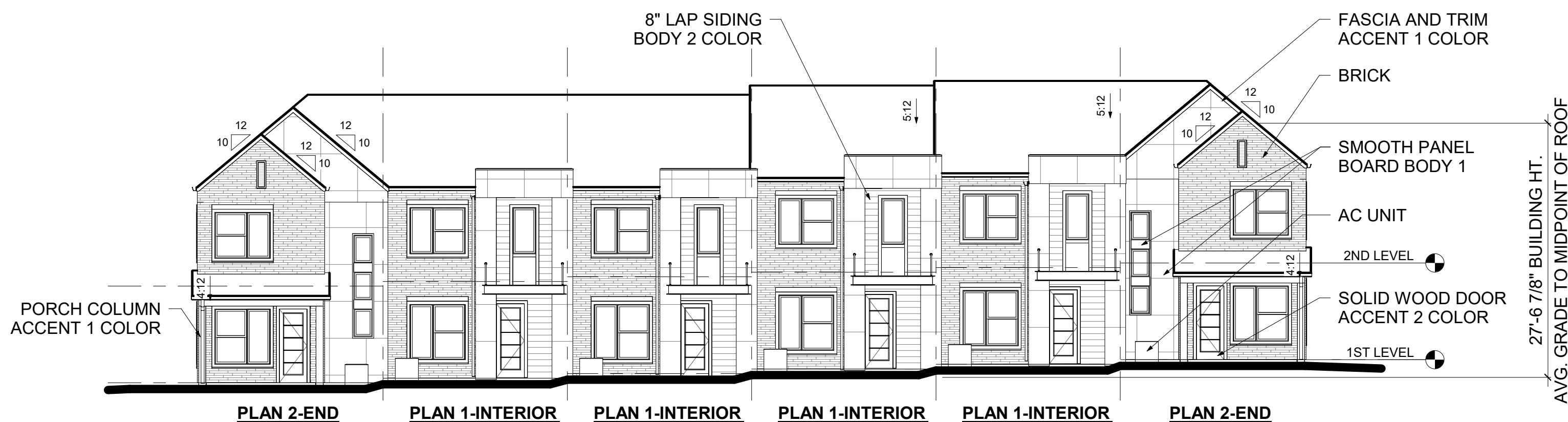
4 2 STORY 6-PLEX-B - REAR ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



3 2 STORY 6-PLEX-B - LEFT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



2 2 STORY 6-PLEX-B - RIGHT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



1 2 STORY 6-PLEX-B - FRONT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

2-STORY 6-PLEX  
SCANDINAVIAN ELEVATION  
MASONRY PERCENTAGES:  
FRONT ELEVATION:  
MASONRY = 785 S.F. = 44%  
OTHER = 1,012 S.F.  
TOTAL = 1,797 S.F.  
REAR ELEVATION:  
MASONRY = 657 S.F. = 44%  
OTHER = 838 S.F.  
TOTAL = 1,495 S.F.  
LEFT ELEVATION:  
MASONRY = 535 S.F. = 60%  
OTHER = 350 S.F.  
TOTAL = 885 S.F.  
RIGHT ELEVATION:  
MASONRY = 528 S.F. = 60%  
OTHER = 345 S.F.  
TOTAL = 873 S.F.  
TOTAL BUILDING  
MASONRY = 2,505 S.F. = 50%  
OTHER = 2,545 S.F.  
TOTAL = 5,050 S.F.

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UPLANDS FILING NO.  
1 BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 97 OF 156

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**2-STORY 6-PLEX SHINGLE ELEVATION**  
**MASONRY PERCENTAGES:**  
**FRONT ELEVATION:**  
 MASONRY = 1,163 S.F. = 70%  
 OTHER = 489 S.F.  
 TOTAL = 1,652 S.F.  
**REAR ELEVATION:**  
 MASONRY = 352 S.F. = 33%  
 OTHER = 705 S.F.  
 TOTAL = 1,057 S.F.  
**LEFT ELEVATION:**  
 MASONRY = 481 S.F. = 52%  
 OTHER = 452 S.F.  
 TOTAL = 933 S.F.  
**RIGHT ELEVATION:**  
 MASONRY = 481 S.F. = 52%  
 OTHER = 452 S.F.  
 TOTAL = 933 S.F.  
**TOTAL BUILDING**  
 MASONRY = 2,477 S.F. = 54%  
 OTHER = 2,098 S.F.  
 TOTAL = 4,575 S.F.

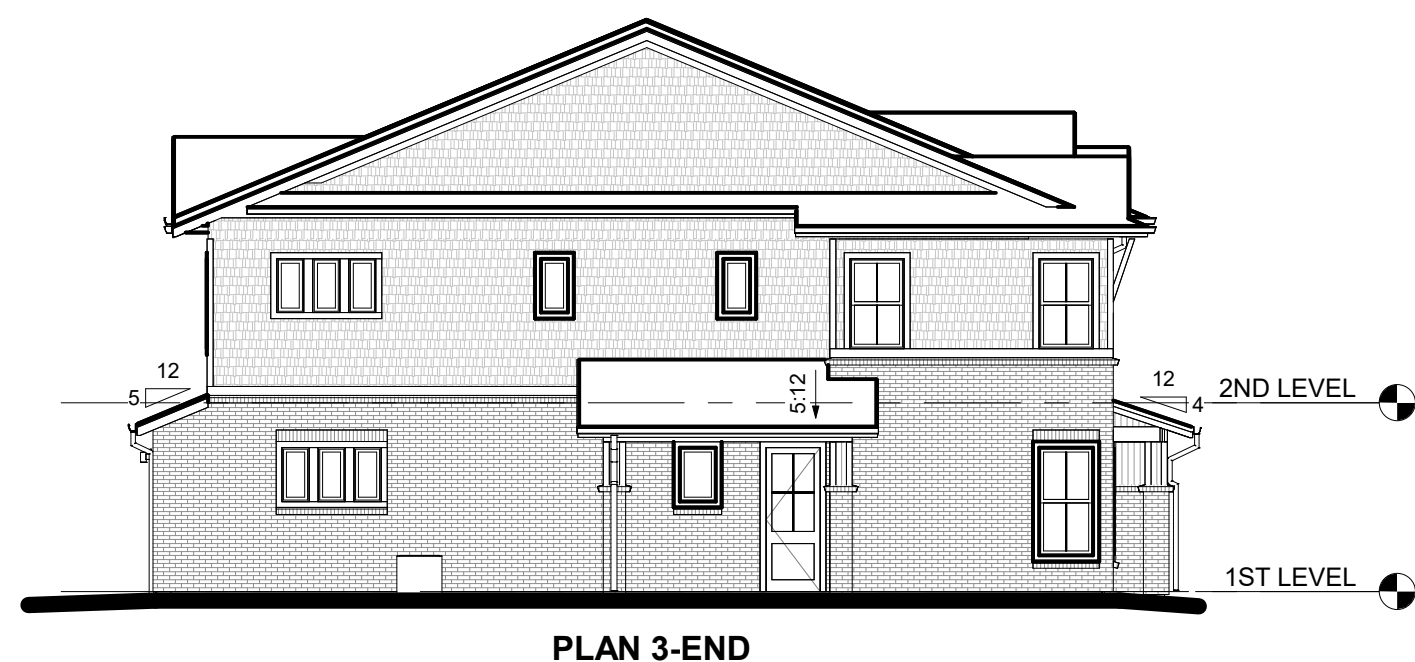
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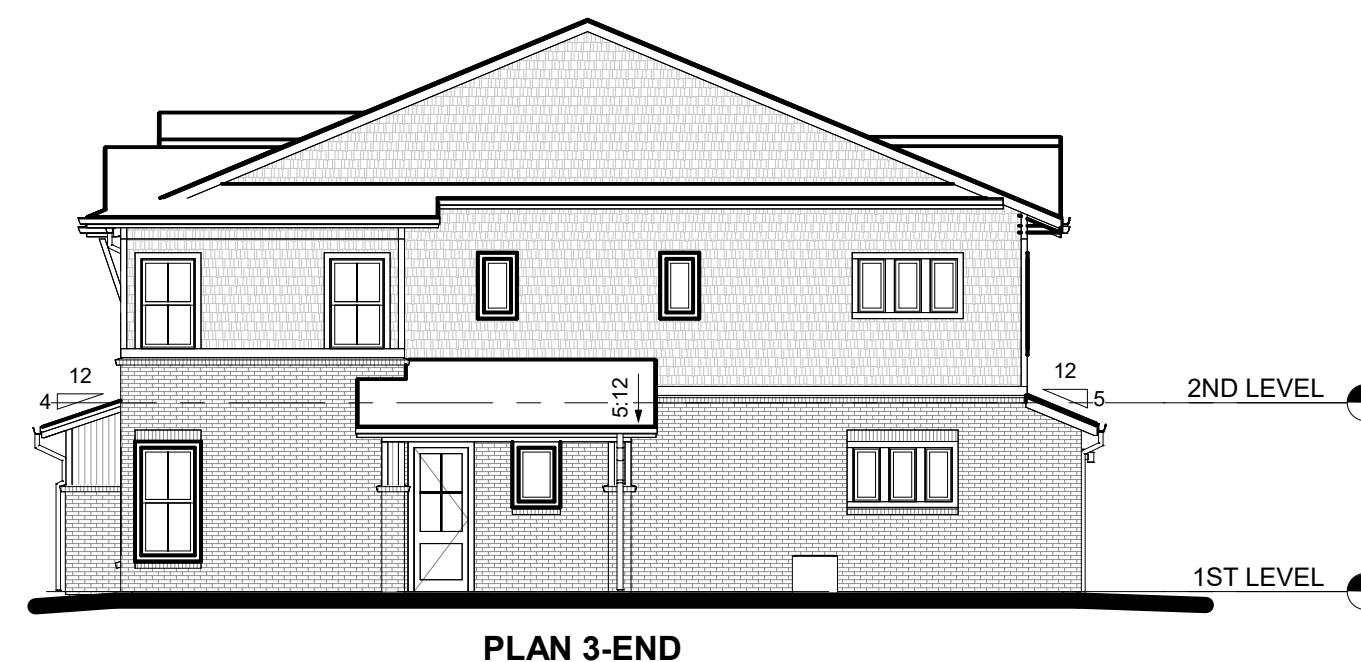
DATE: 10.10.2024



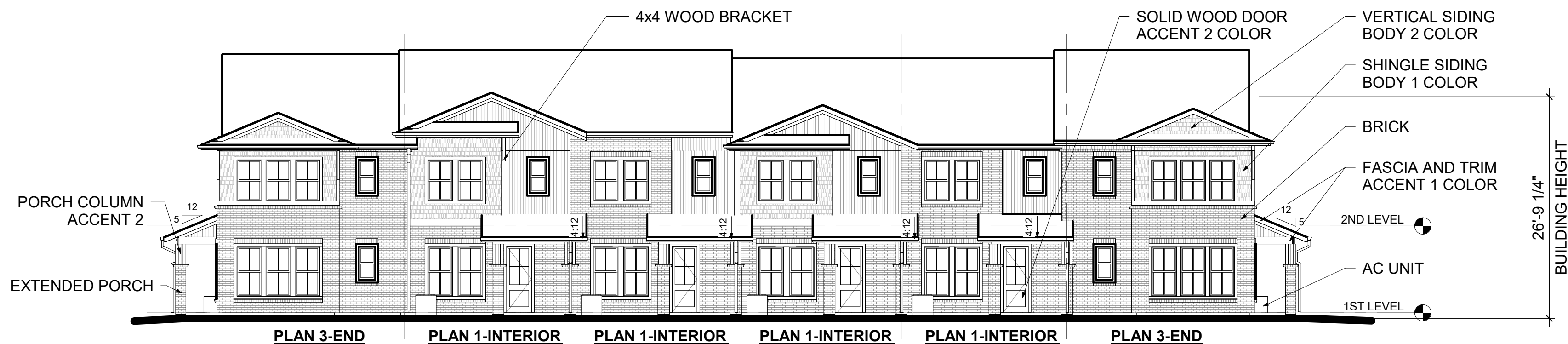
4 2 STORY 6-PLEX-C - REAR ELEVATION - SHINGLE  
 3/32" = 1'-0"



3 2 STORY 6-PLEX-C - LEFT ELEVATION - SHINGLE  
 3/32" = 1'-0"



2 2 STORY 6-PLEX-C - RIGHT ELEVATION - SHINGLE  
 3/32" = 1'-0"



1 2 STORY 6-PLEX-C - FRONT ELEVATION - SHINGLE  
 3/32" = 1'-0"

**UPLANDS FILING NO. 1 BLOCK 3**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

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10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 98 OF 156

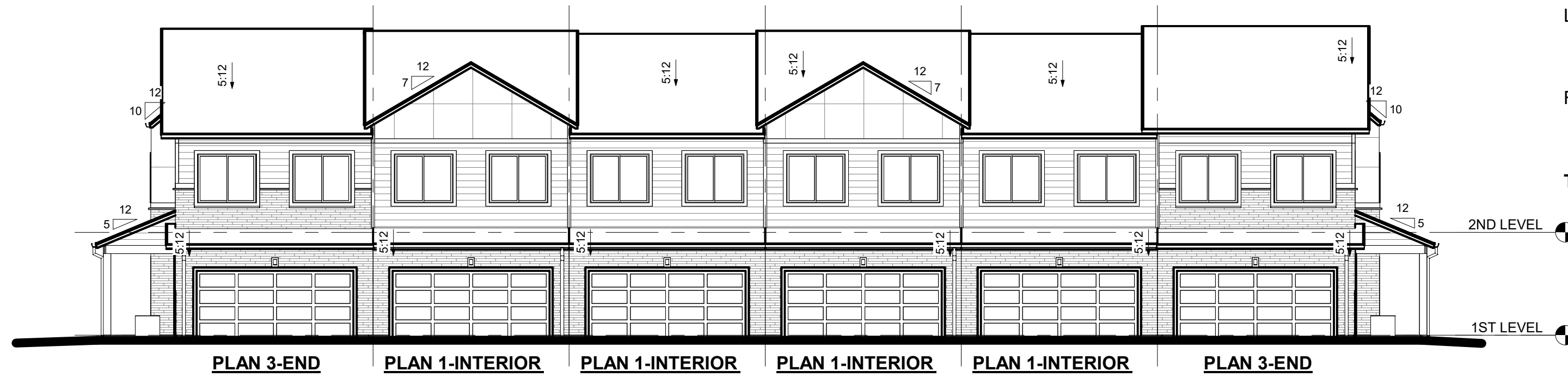
REFER TO COLOR BOOK  
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INFORMATION

**2-STORY 6-PLEX  
SCANDINAVIAN ELEVATION**  
**MASONRY PERCENTAGES:**  
FRONT ELEVATION:  
MASONRY = 968 S.F. = 49%  
OTHER = 1,008 S.F.  
TOTAL = 1,976 S.F.  
REAR ELEVATION:  
MASONRY = 485 S.F. = 40%  
OTHER = 717 S.F.  
TOTAL = 1,202 S.F.  
LEFT ELEVATION:  
MASONRY = 603 S.F. = 58%  
OTHER = 439 S.F.  
TOTAL = 1,042 S.F.  
RIGHT ELEVATION:  
MASONRY = 603 S.F. = 58%  
OTHER = 439 S.F.  
TOTAL = 1,042 S.F.  
**TOTAL BUILDING**  
MASONRY = 2,659 S.F. = 51%  
OTHER = 2,603 S.F.  
TOTAL = 5,262 S.F.

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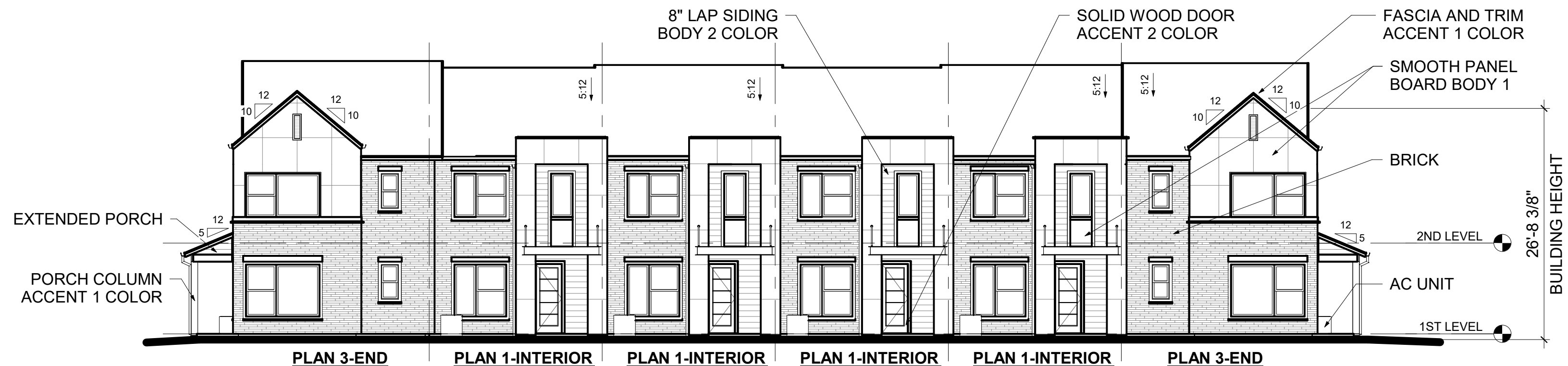
4 2 STORY 6-PLEX-C - REAR ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



3 2 STORY 6-PLEX-C - LEFT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



2 2 STORY 6-PLEX-C - RIGHT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



1 2 STORY 6-PLEX-C - FRONT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

UPLANDS FILING NO.  
1 BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
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 OFFICIAL DEVELOPMENT PLAN  
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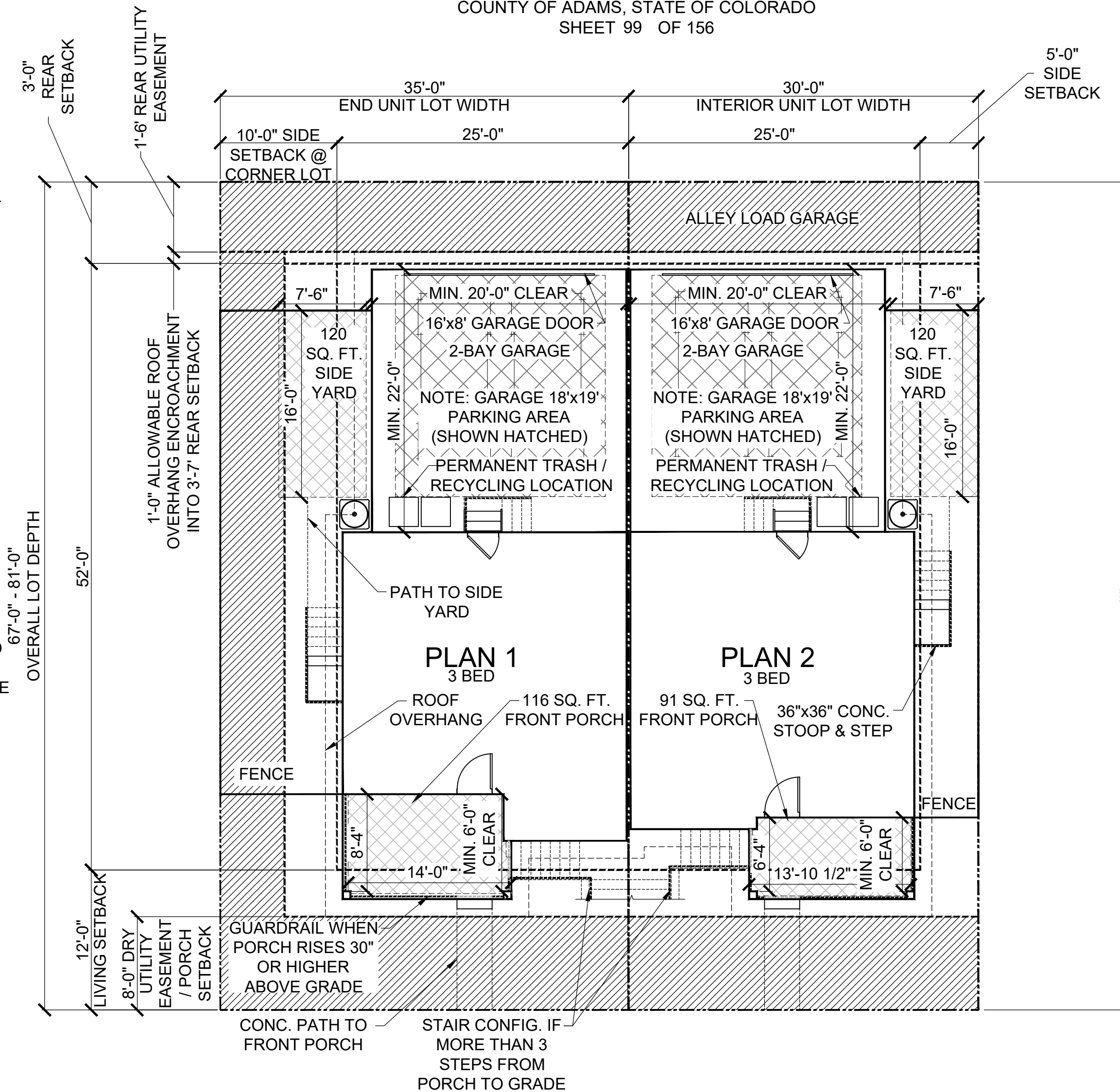
08.08.2024

10.10.2024

99 OF 156  
 PAIRED HOME PLAN  
 1 & 2 LOT TYPICALS

NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY



**2-STORY PAIRED LOT TYPICAL PLAN 1 & 2 - 1ST LEVEL**

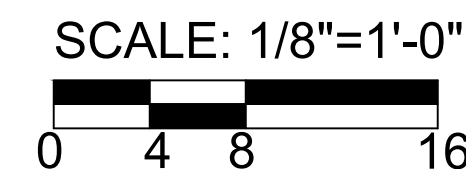
SCALE: 1/8" = 1'-0"

PLAN 1  
 1,535 TOTAL SQ. FT.

PLAN 2  
 1,633 TOTAL SQ. FT.

OUTDOOR LIVING: 236 TOTAL SQ. FT.  
 FRONT PORCH: 116 SQ. FT.  
 SIDE YARD: 120 SQ. FT.

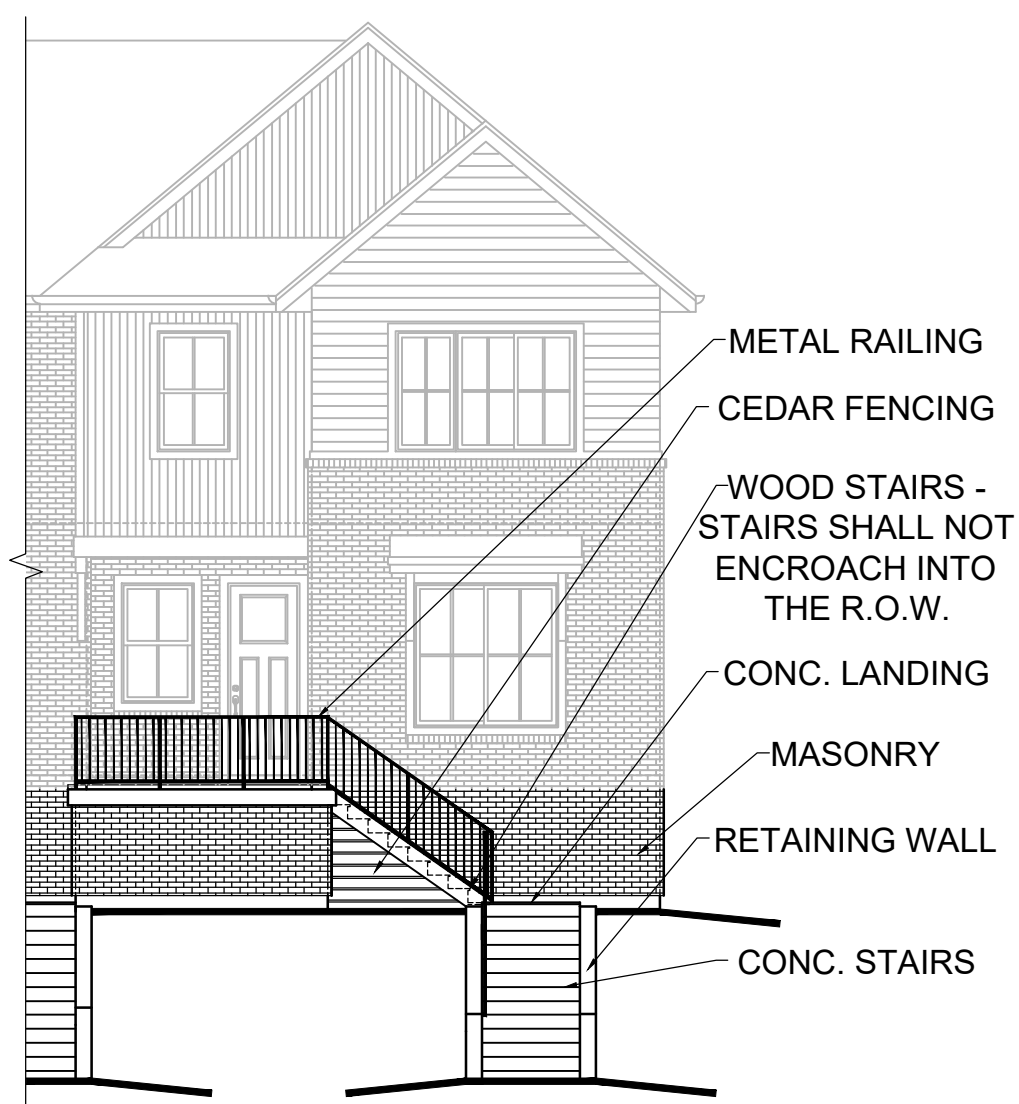
OUTDOOR LIVING: 211 TOTAL SQ. FT.  
 FRONT PORCH: 91 SQ. FT.  
 SIDE YARD: 120 SQ. FT.



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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**PLAN 3 STAIR CONFIGURATION**  
SCALE: 1/8" = 1'-0"



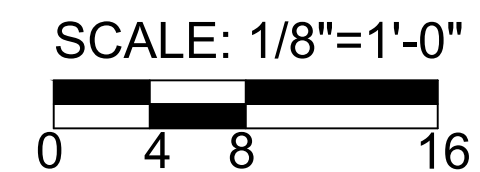
**GRADE SEPARATED ELEVATION - FRONT**  
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"



**GRADE SEPARATED ELEVATION - LEFT**  
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"



**GRADE SEPARATED ELEVATION - RIGHT**  
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"



**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

100 OF 156  
PAIRED HOME GRADE  
SEPARATED ELEV.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 101 OF 156

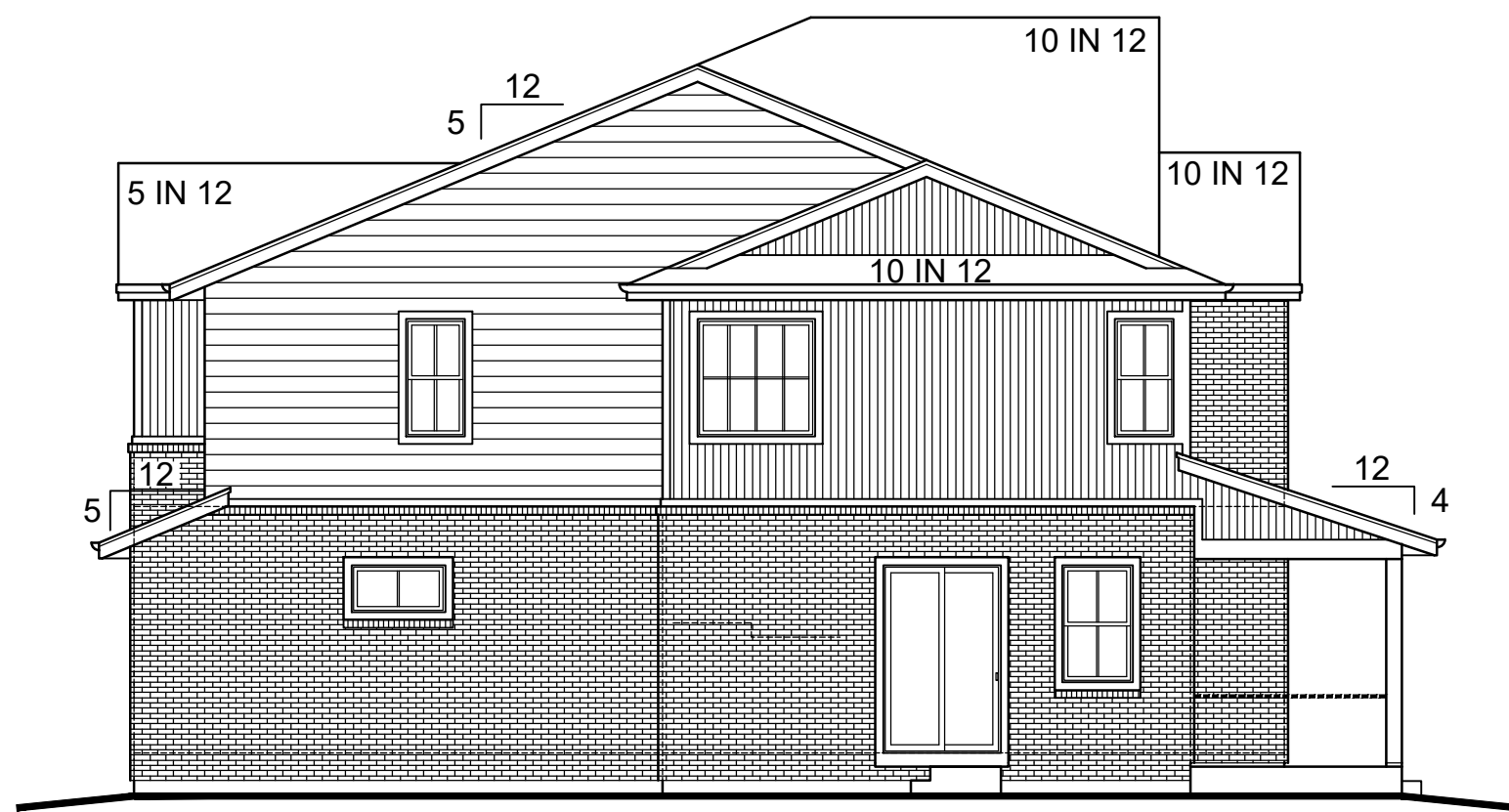
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

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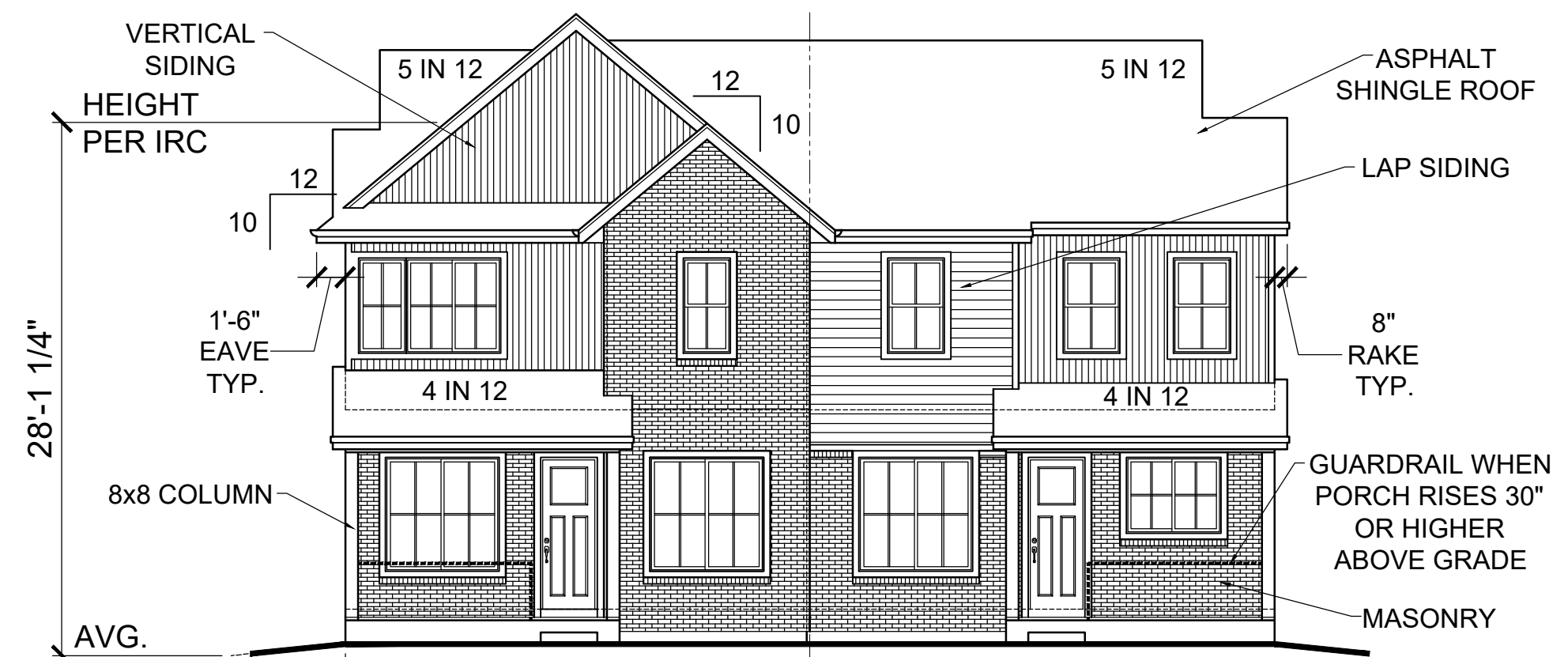
**UPLANDS**

DATE: 10.10.2024

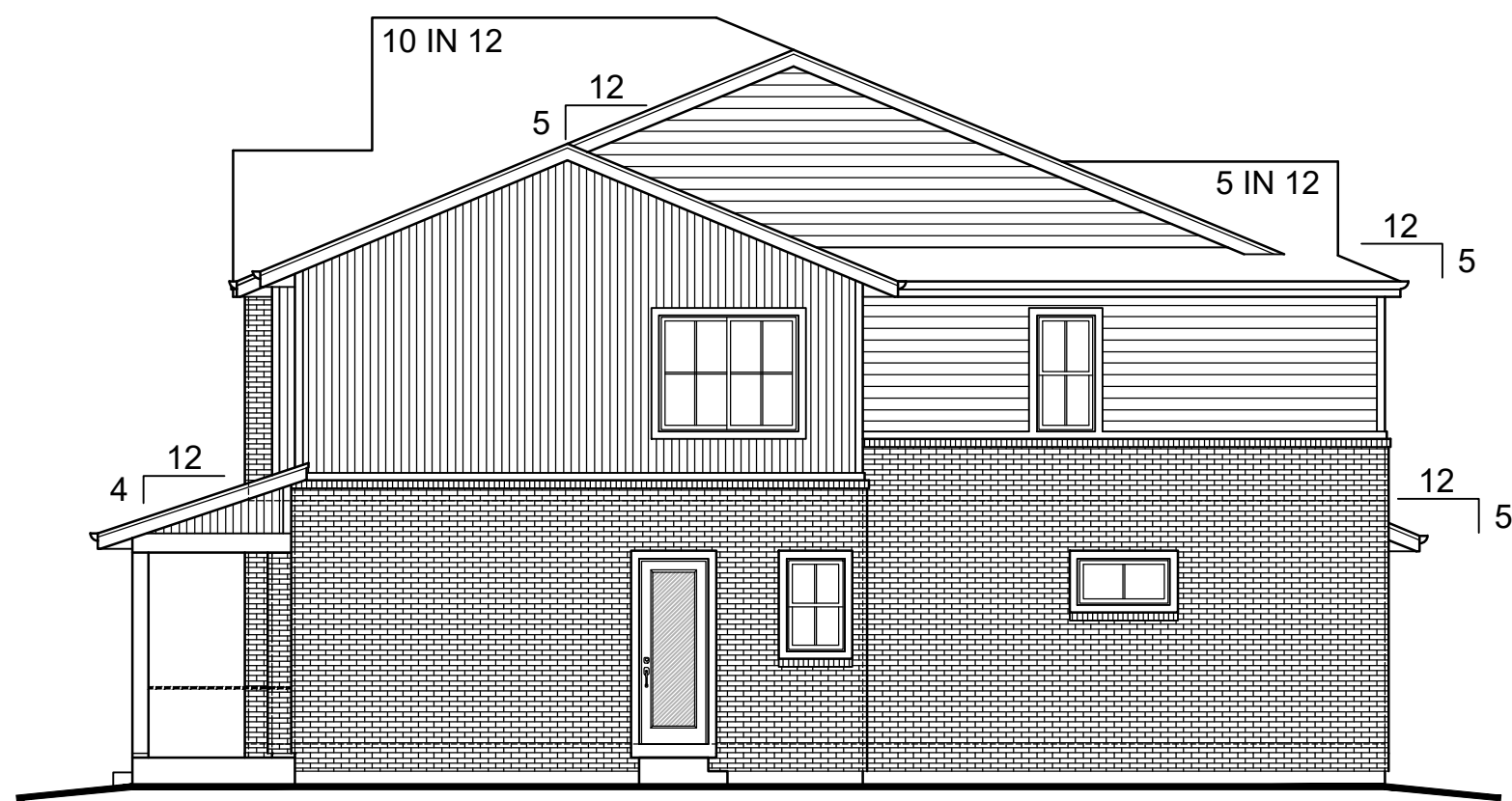
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BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



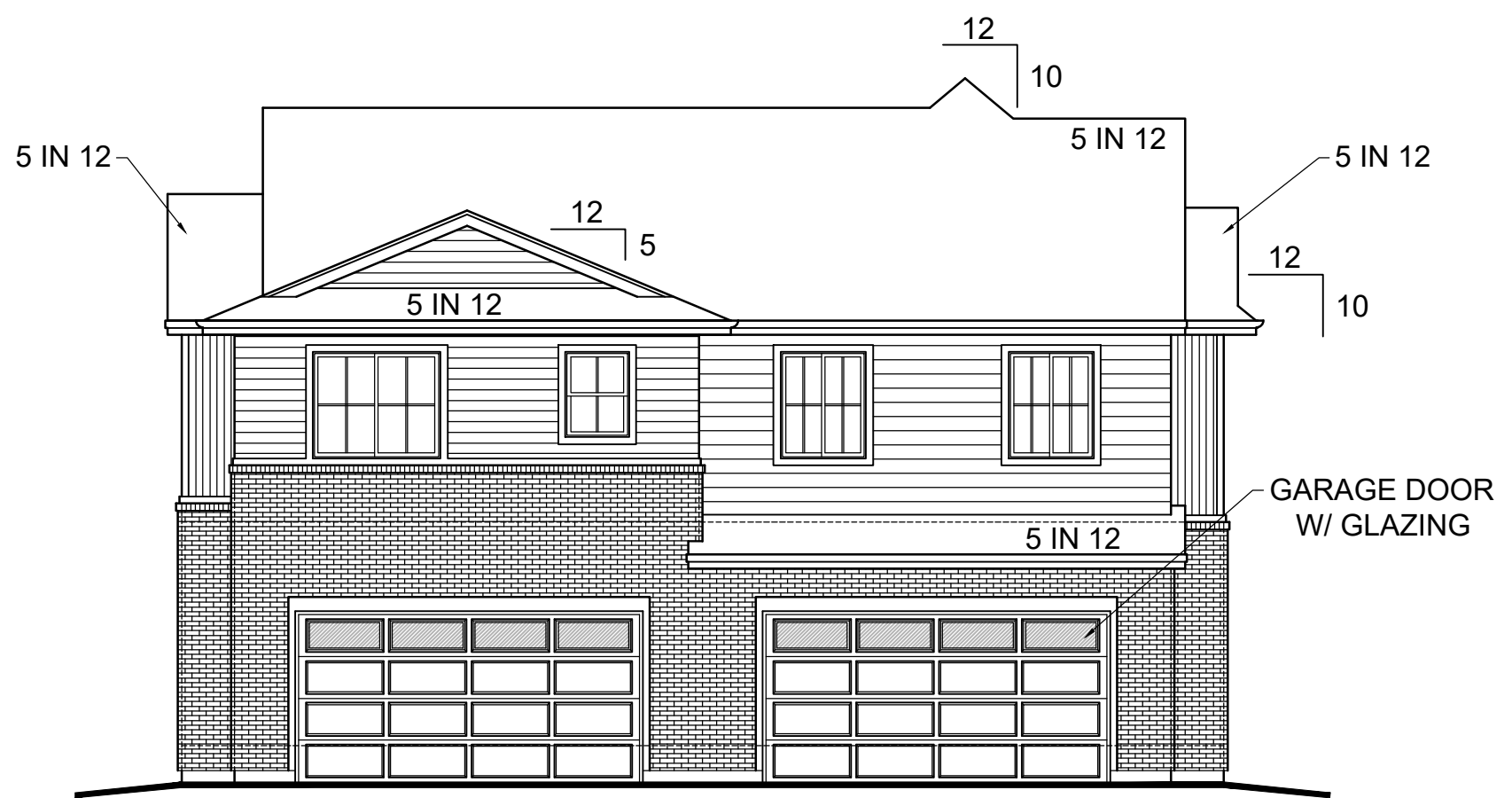
PLAN 1 & 2 ELEVATION 'D' - LEFT  
50% MASONRY SCALE: 1/8" = 1'-0"



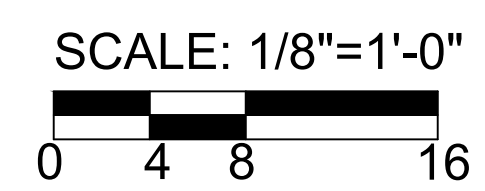
PLAN 1 & 2 ELEVATION 'D' - FRONT  
50% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
51% MASONRY AVERAGE TOTAL (50% REQ.)



PLAN 1 & 2 ELEVATION 'D' - RIGHT  
54% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'D' - REAR  
48% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		



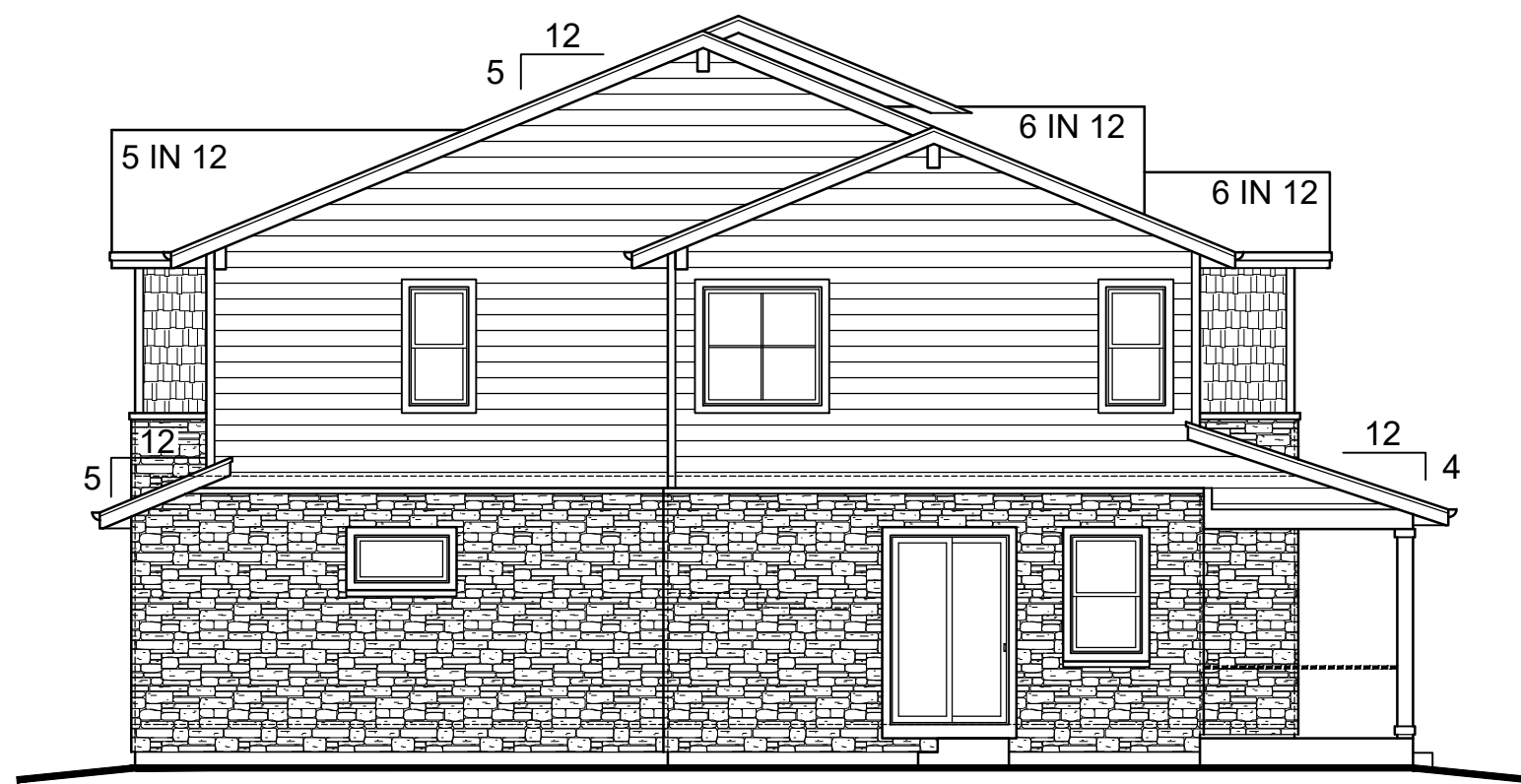
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 102 OF 156

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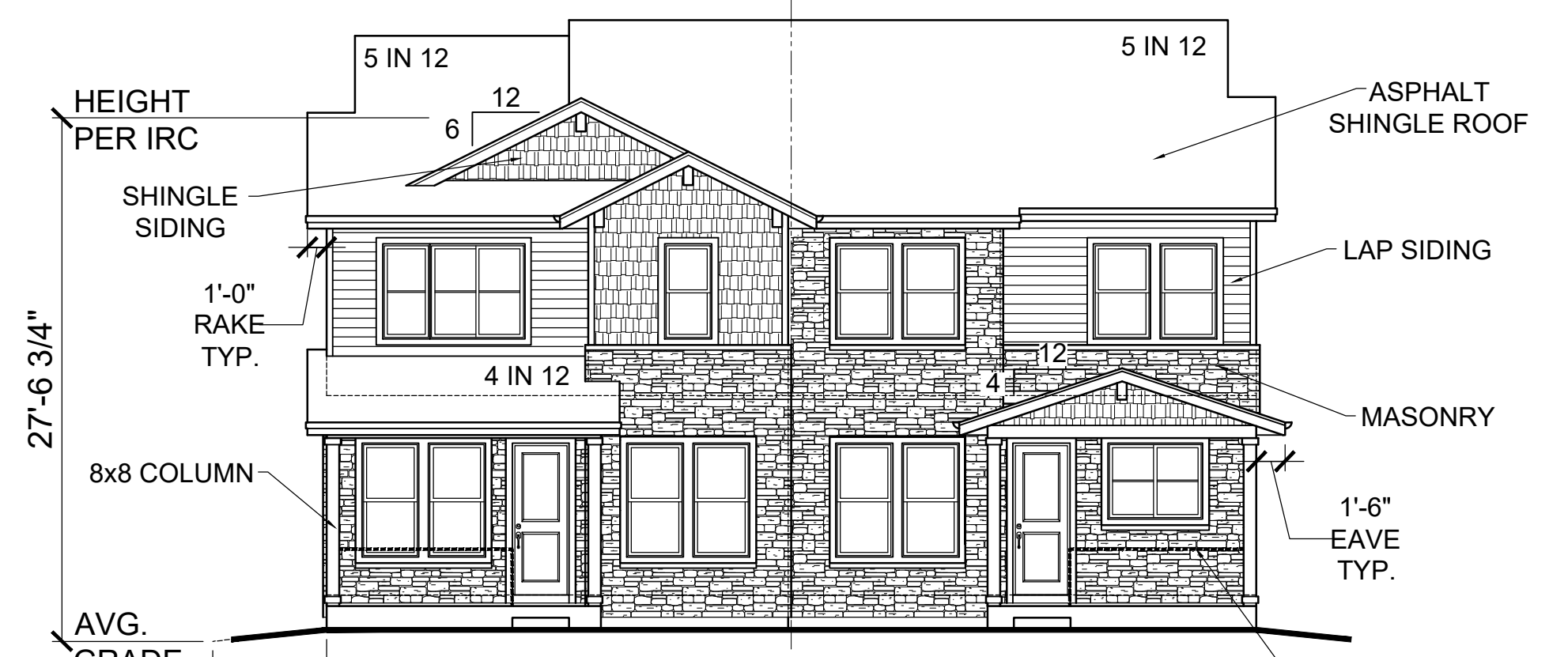
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**UPLANDS**

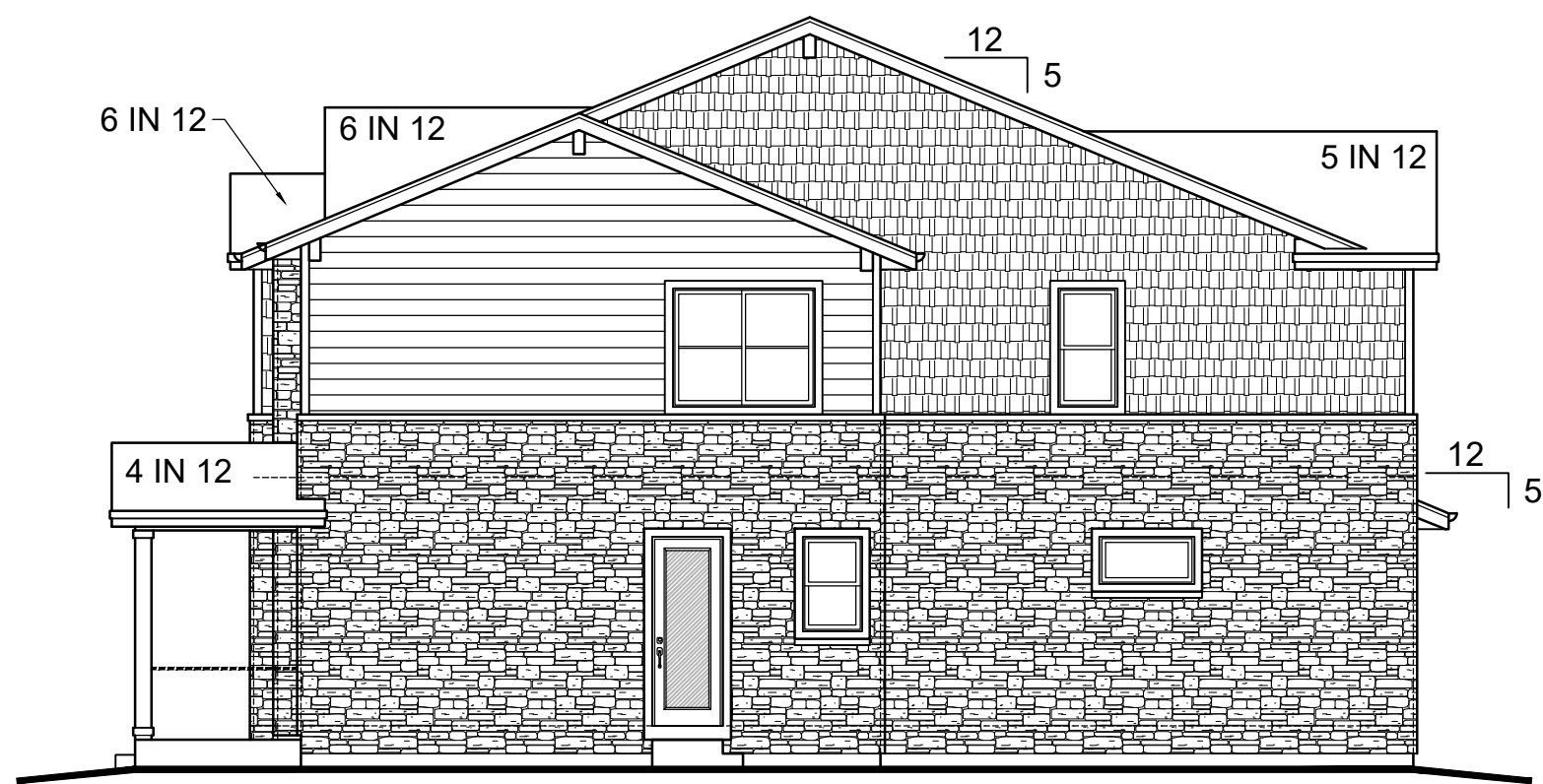
DATE: 10.10.2024



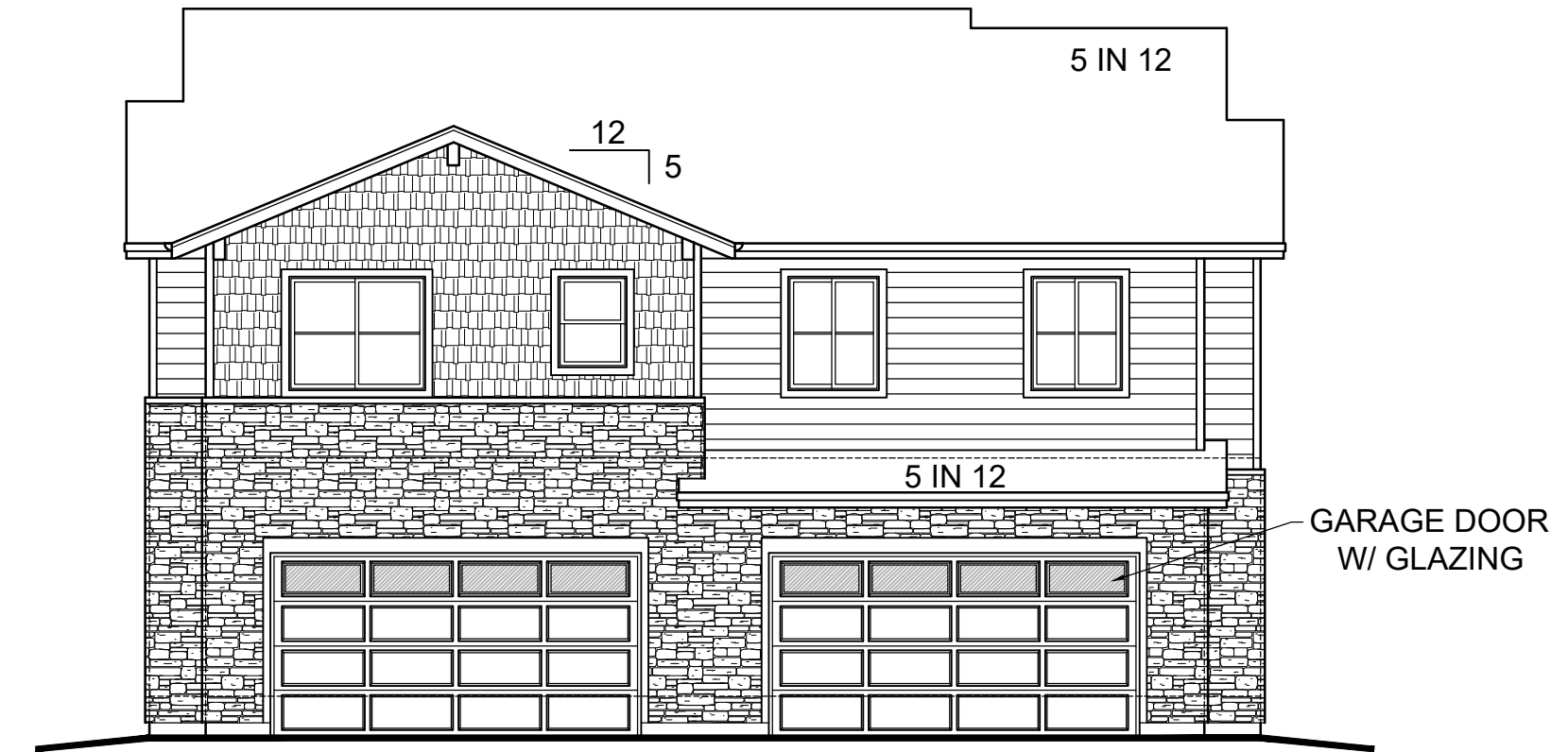
PLAN 1 & 2 ELEVATION 'E' - LEFT  
43% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'E' - FRONT  
56% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
51% MASONRY AVERAGE TOTAL (50% REQ.)



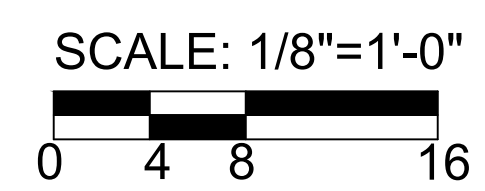
PLAN 1 & 2 ELEVATION 'E' - RIGHT  
57% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'E' - REAR  
46% MASONRY SCALE: 1/8" = 1'-0"

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 103 OF 156

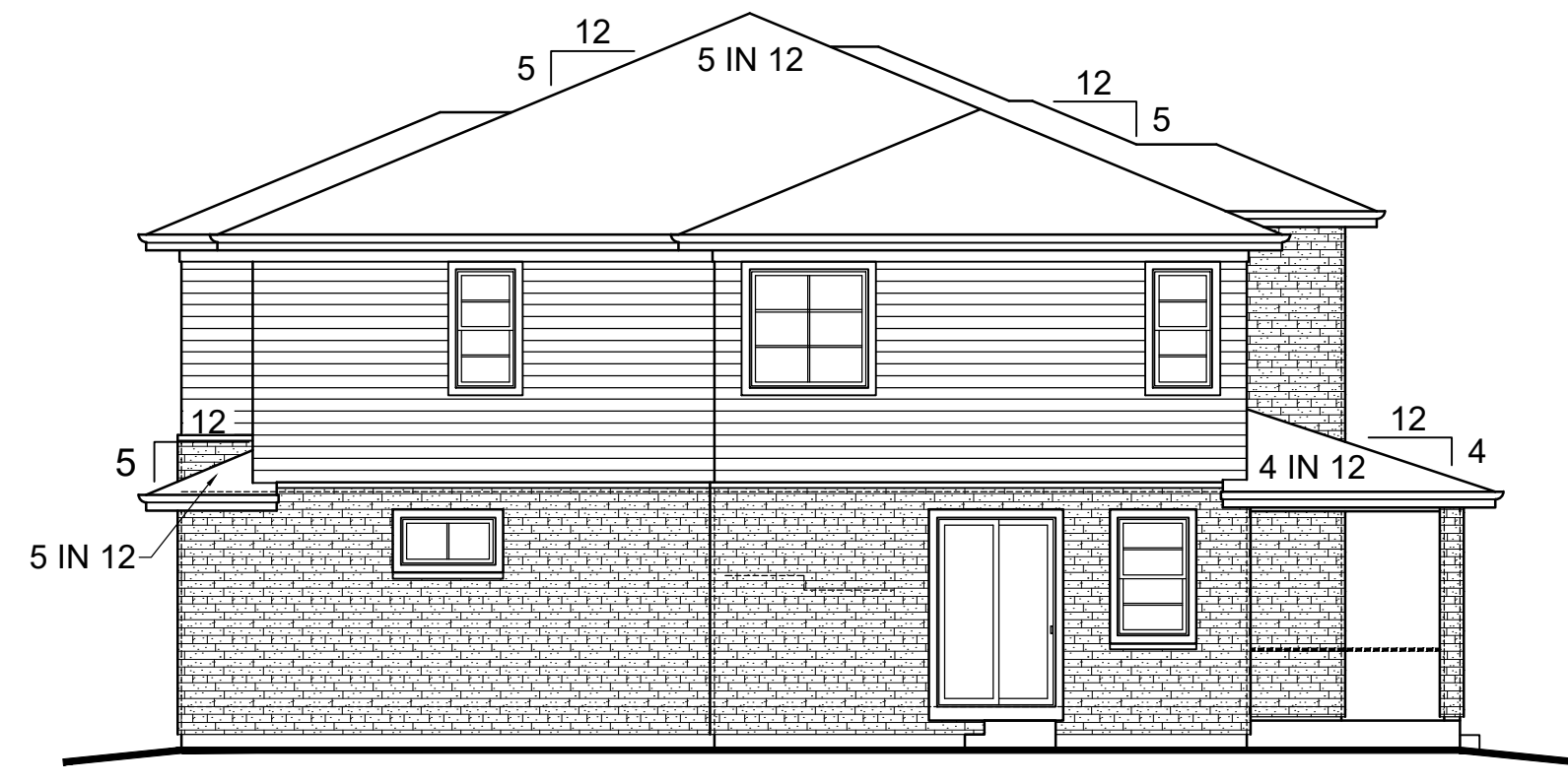
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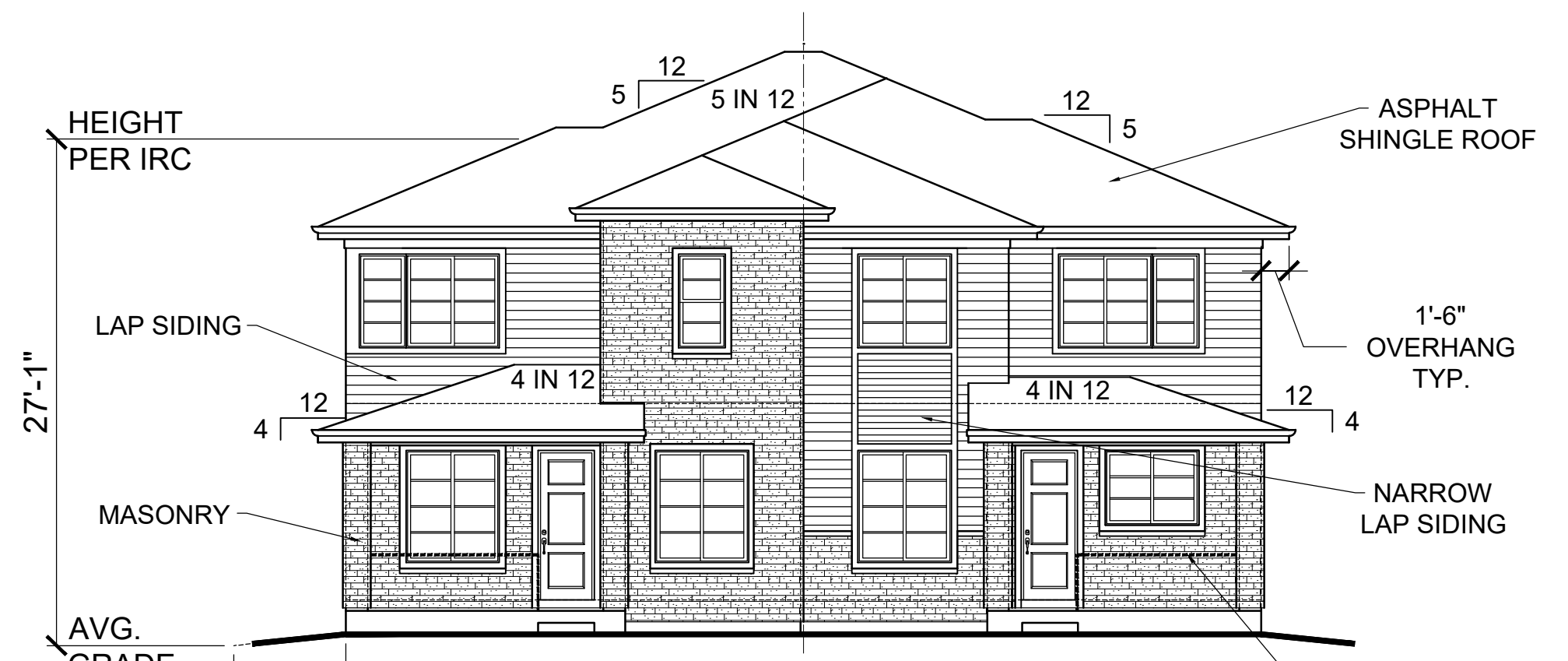
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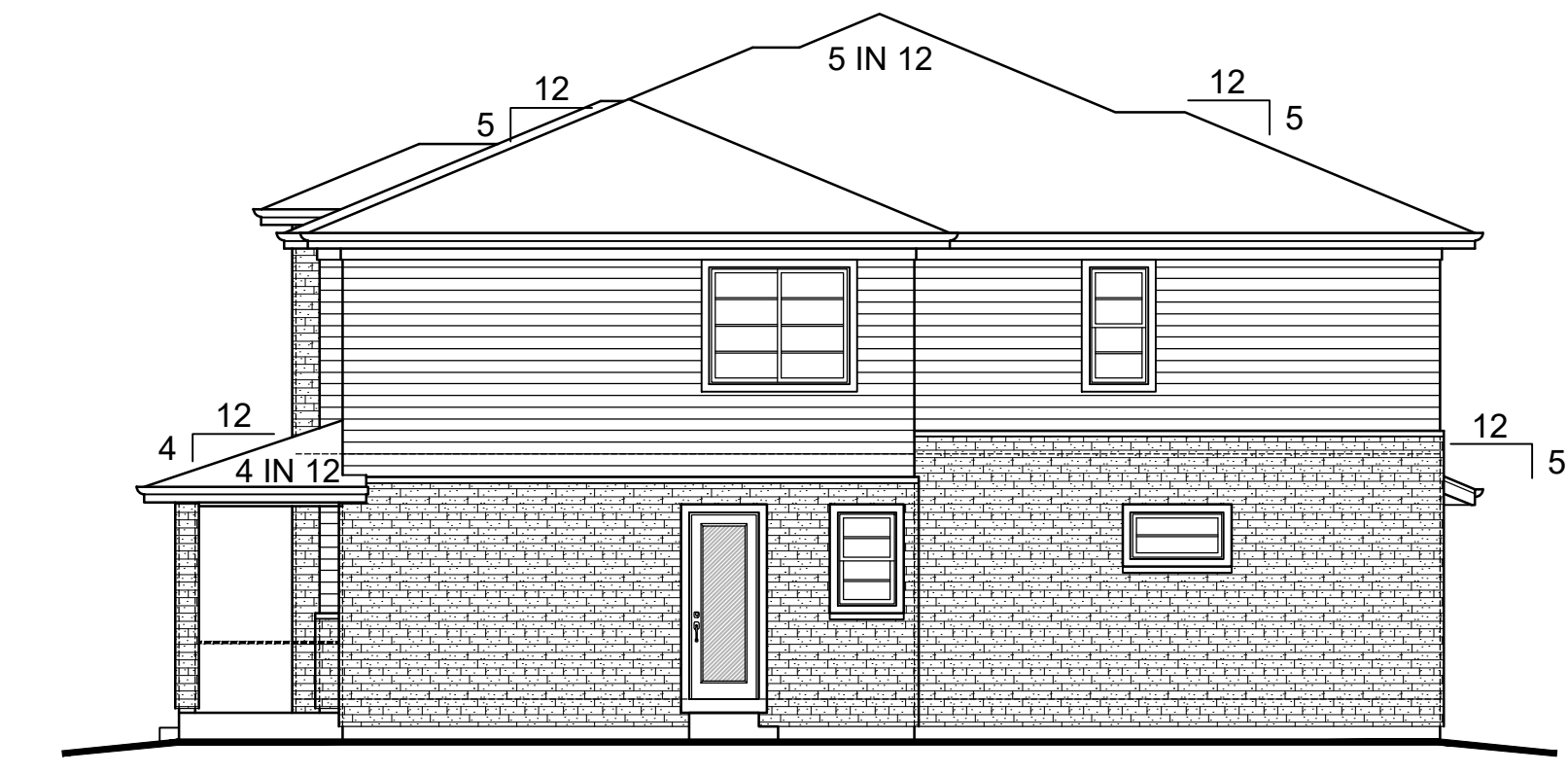
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



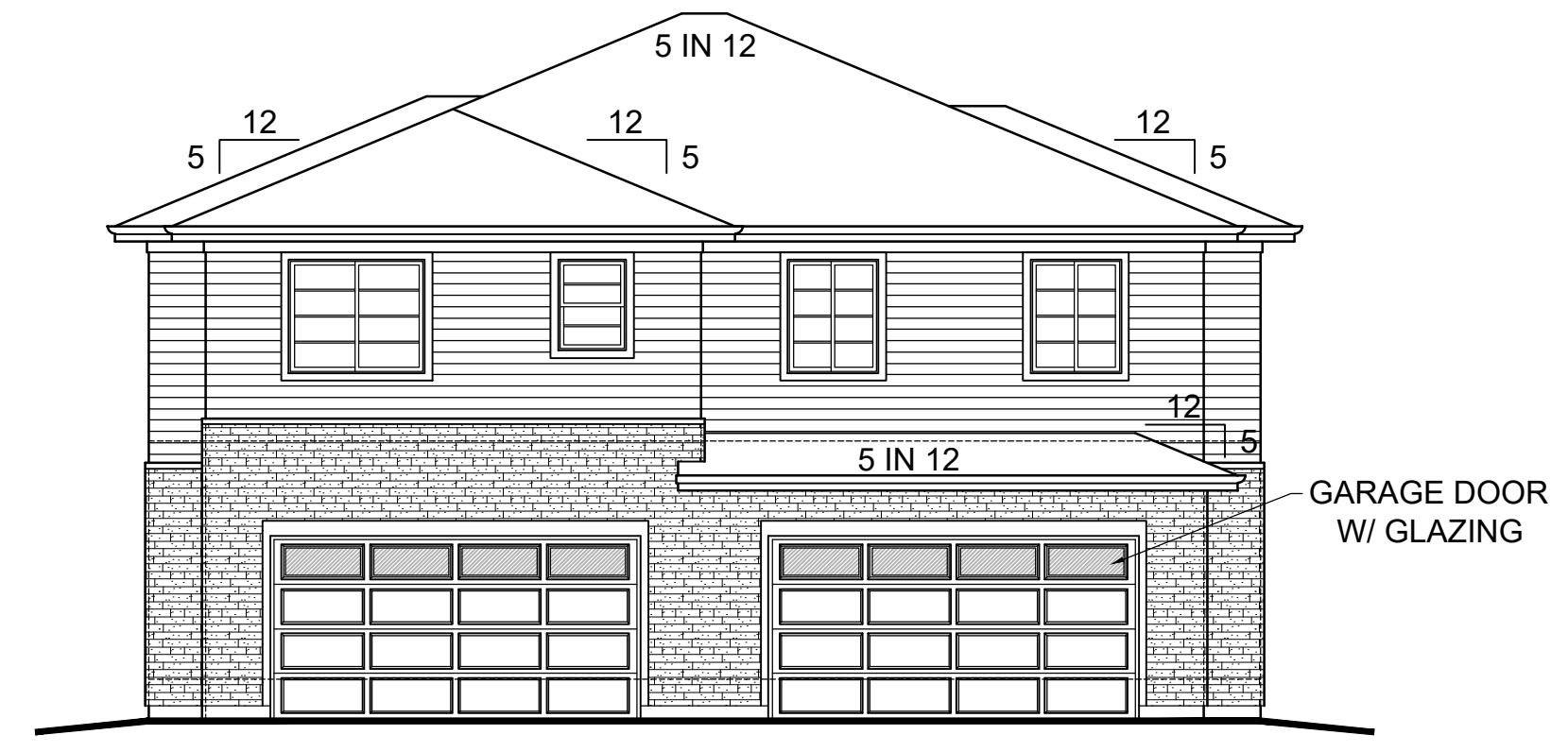
PLAN 1 & 2 ELEVATION 'F' - LEFT  
55% MASONRY SCALE: 1/8" = 1'-0"



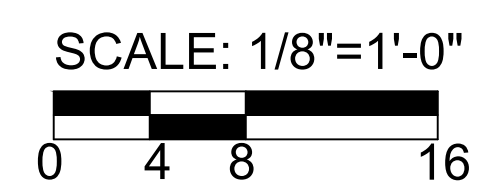
PLAN 1 & 2 ELEVATION 'F' - FRONT  
54% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
52% MASONRY AVERAGE TOTAL (50% REQ.)



PLAN 1 & 2 ELEVATION 'F' - RIGHT  
56% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 2 ELEVATION 'F' - REAR  
43% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		

103 OF 156  
PAIRED HOME PLAN  
1 & 2 ELEVATION 'F'

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 104 OF 156

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**UPLANDS**

DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

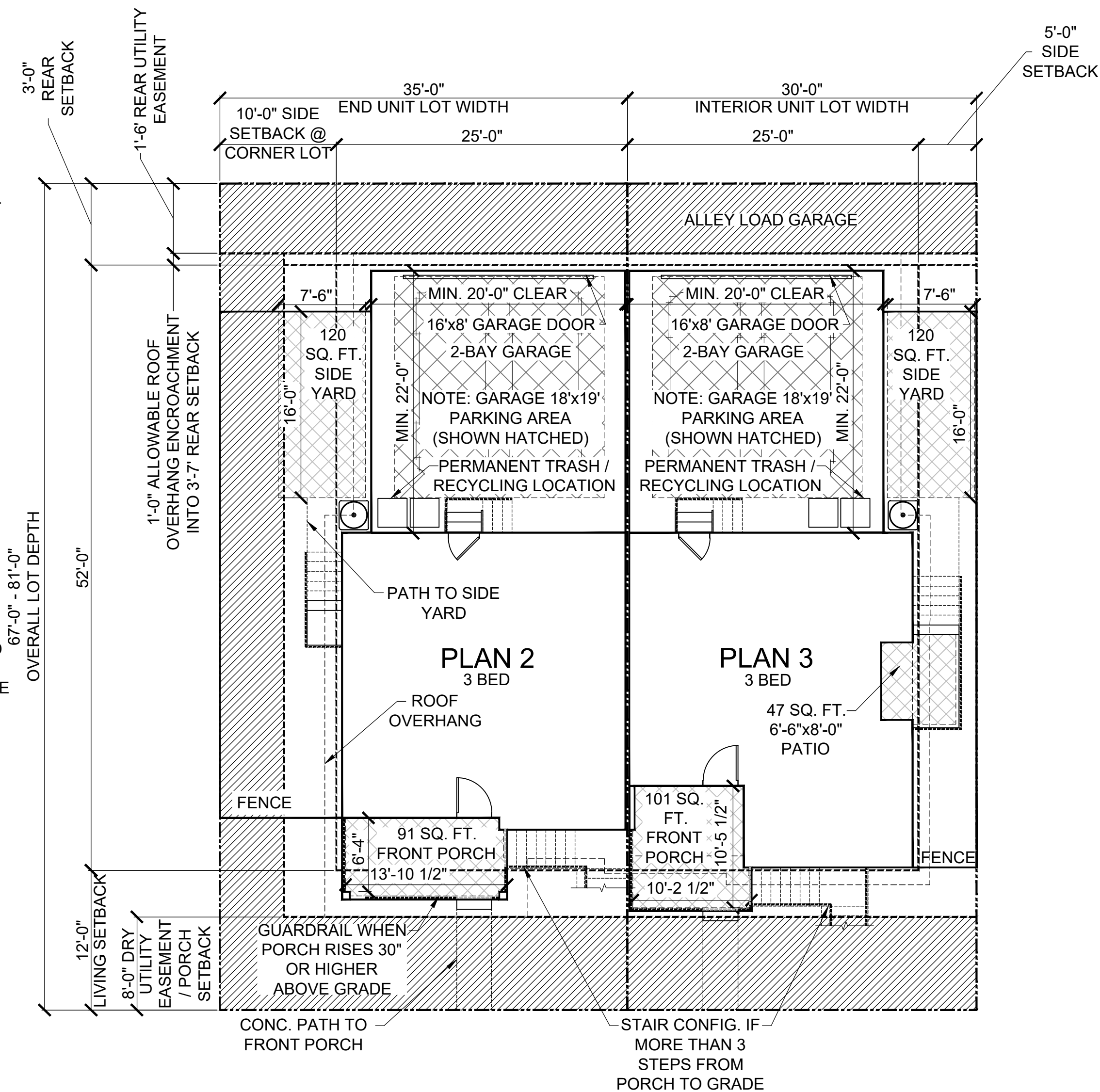
REVISIONS

08.08.2024

10.10.2024

104 OF 156  
 PAIRED HOME PLAN  
 2 & 3 LOT TYPICALS

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
  2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
  4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
  5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
  6. SFD HOMES WILL BE DESIGNED AS SOLAR READY



**2-STORY PAIRED LOT TYPICAL PLAN 2 & 3 - 1ST LEVEL**

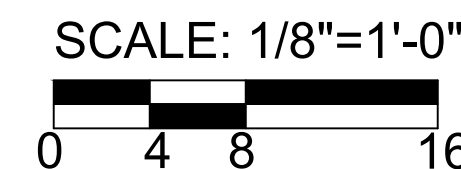
SCALE: 1/8" = 1'-0"

PLAN 2  
 1,633 TOTAL SQ. FT.

PLAN 3  
 1,724 TOTAL SQ. FT.

OUTDOOR LIVING: 211 TOTAL SQ. FT.  
 FRONT PORCH: 91 SQ. FT.  
 SIDE YARD: 120 SQ. FT.

OUTDOOR LIVING: 268 TOTAL SQ. FT.  
 FRONT PORCH: 101 SQ. FT.  
 SIDE YARD: 120 SQ. FT.  
 6'-6"x8'-0" PATIO: 47 SQ. FT.





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 105 OF 156

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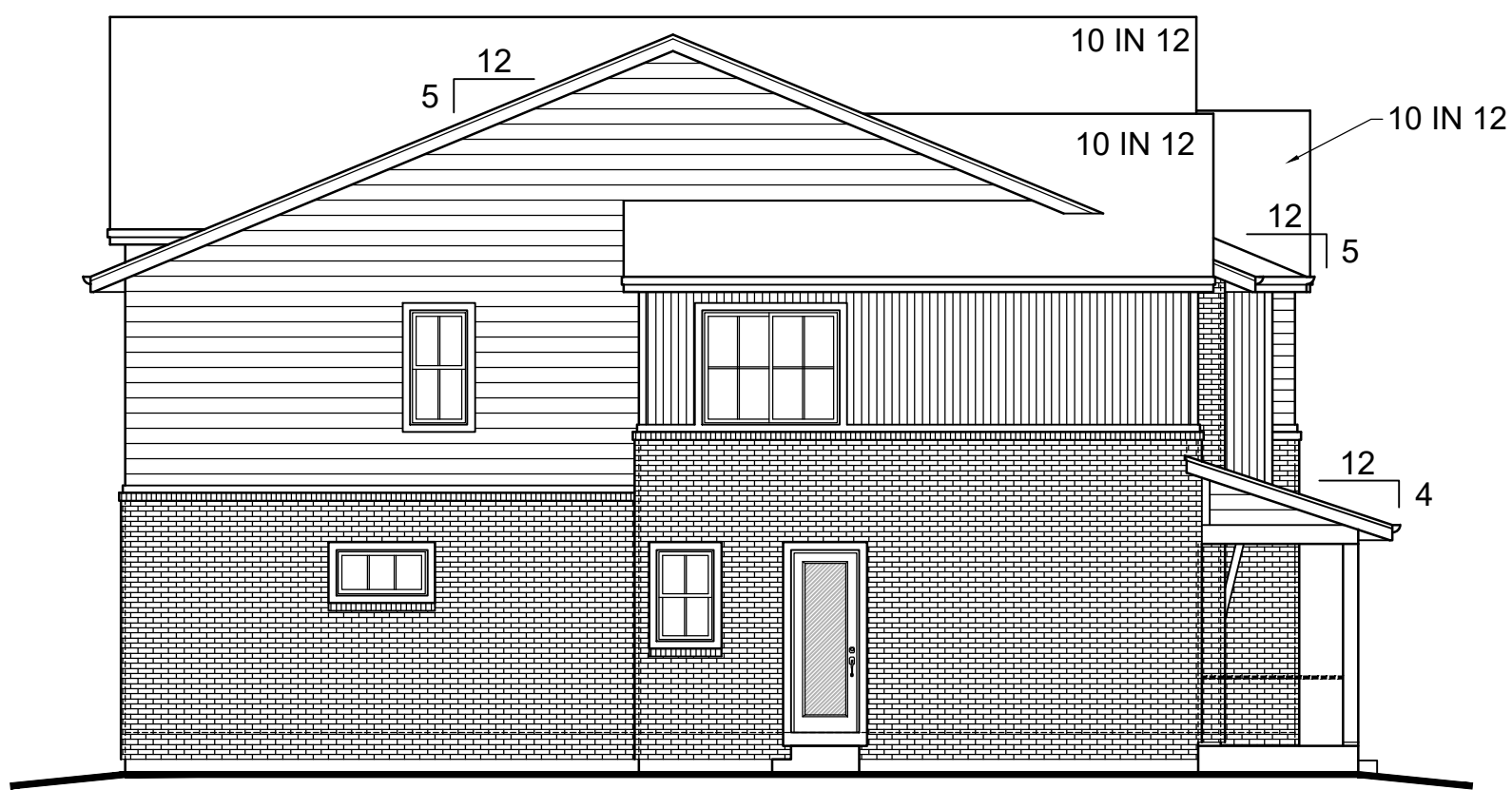
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DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
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	10.10.2024



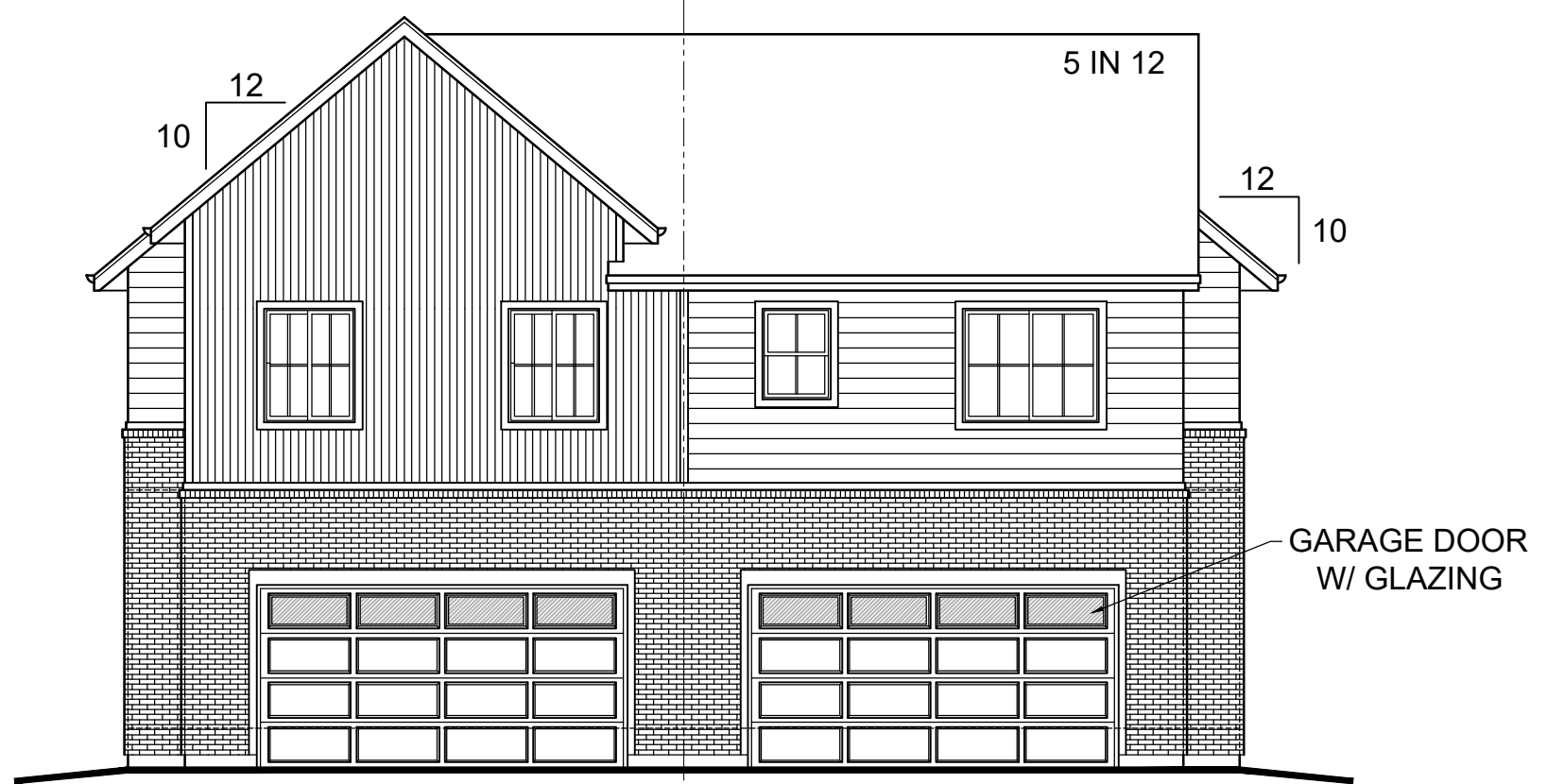
PLAN 2 & 3 ELEVATION 'D' - LEFT  
54% MASONRY SCALE: 1/8" = 1'-0"



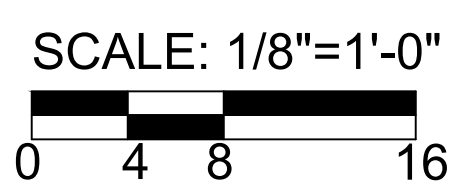
PLAN 2 & 3 ELEVATION 'D' - FRONT  
53% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
51% MASONRY AVERAGE TOTAL (50% REQ.)  
GUARDRAIL WHEN PORCH RISES 30" OR HIGHER ABOVE GRADE



PLAN 2 & 3 ELEVATION 'D' - RIGHT  
60% MASONRY SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'D' - REAR  
38% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 106 OF 156

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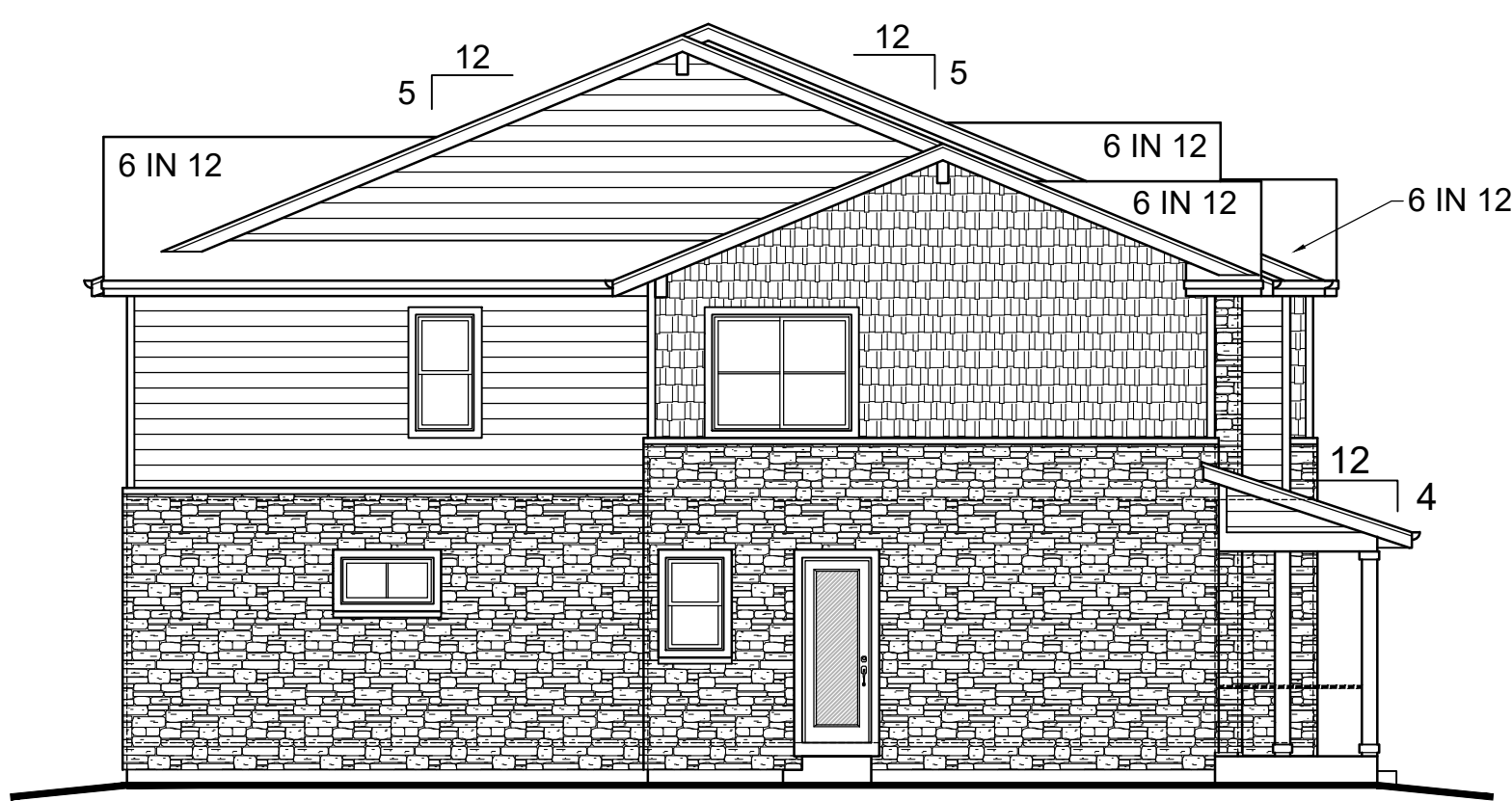
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**UPLANDS**

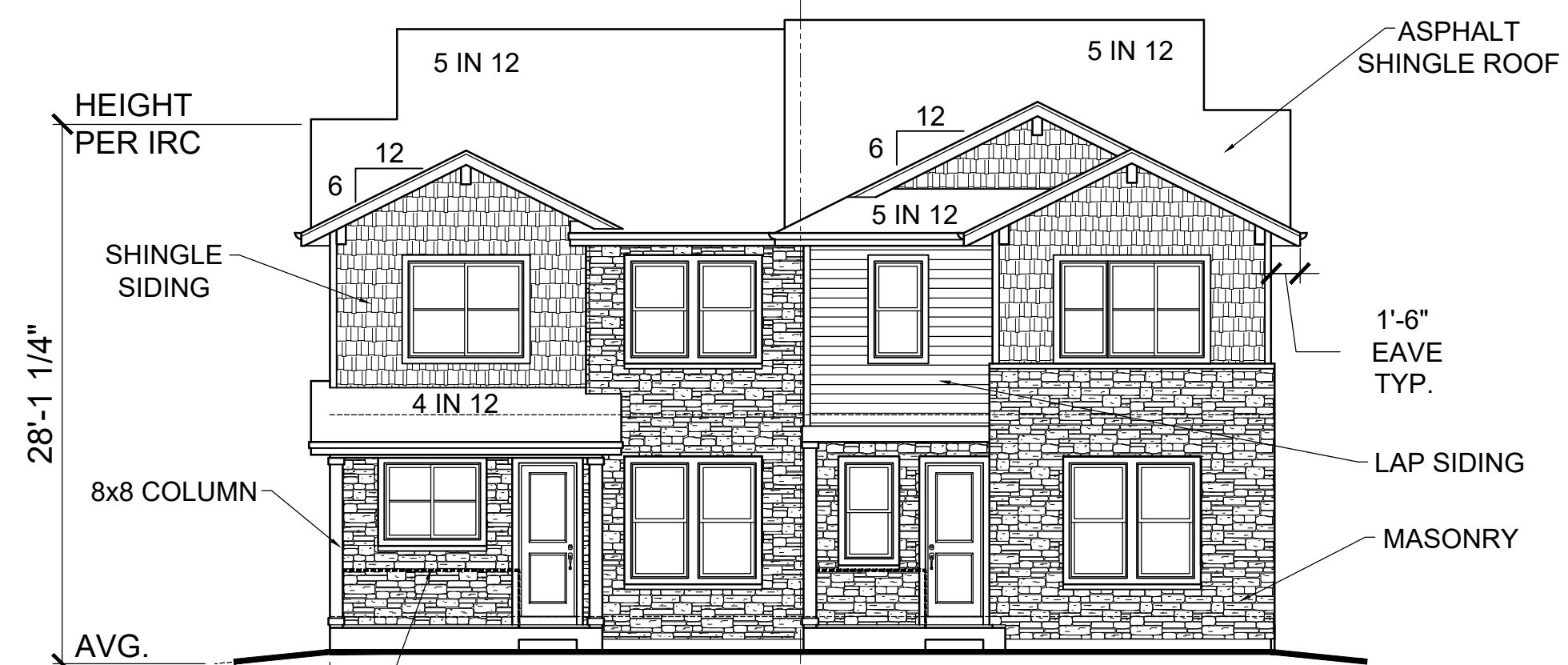
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UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
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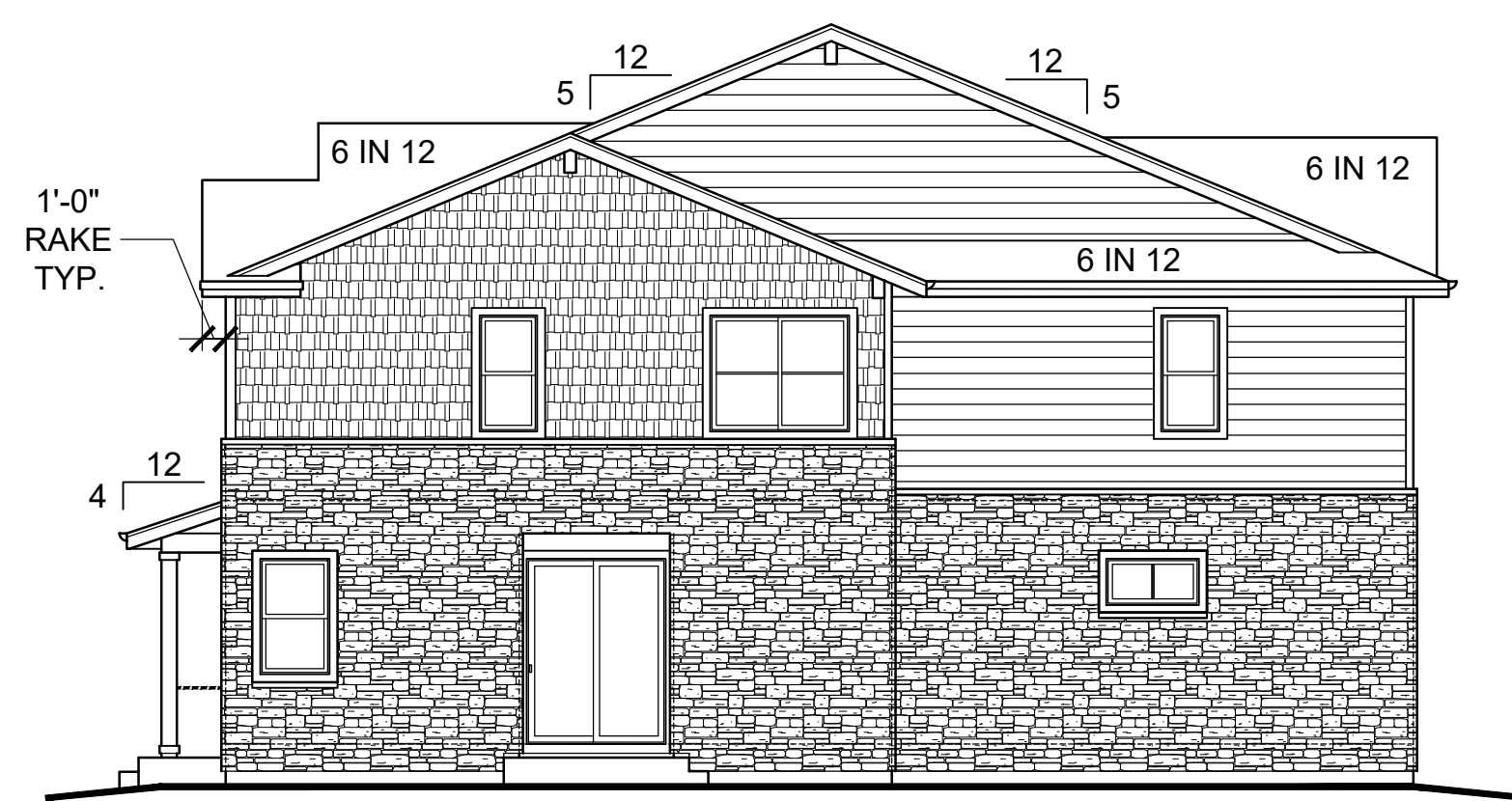


PLAN 2 & 3 ELEVATION 'E' - LEFT  
53% MASONRY SCALE: 1/8" = 1'-0"

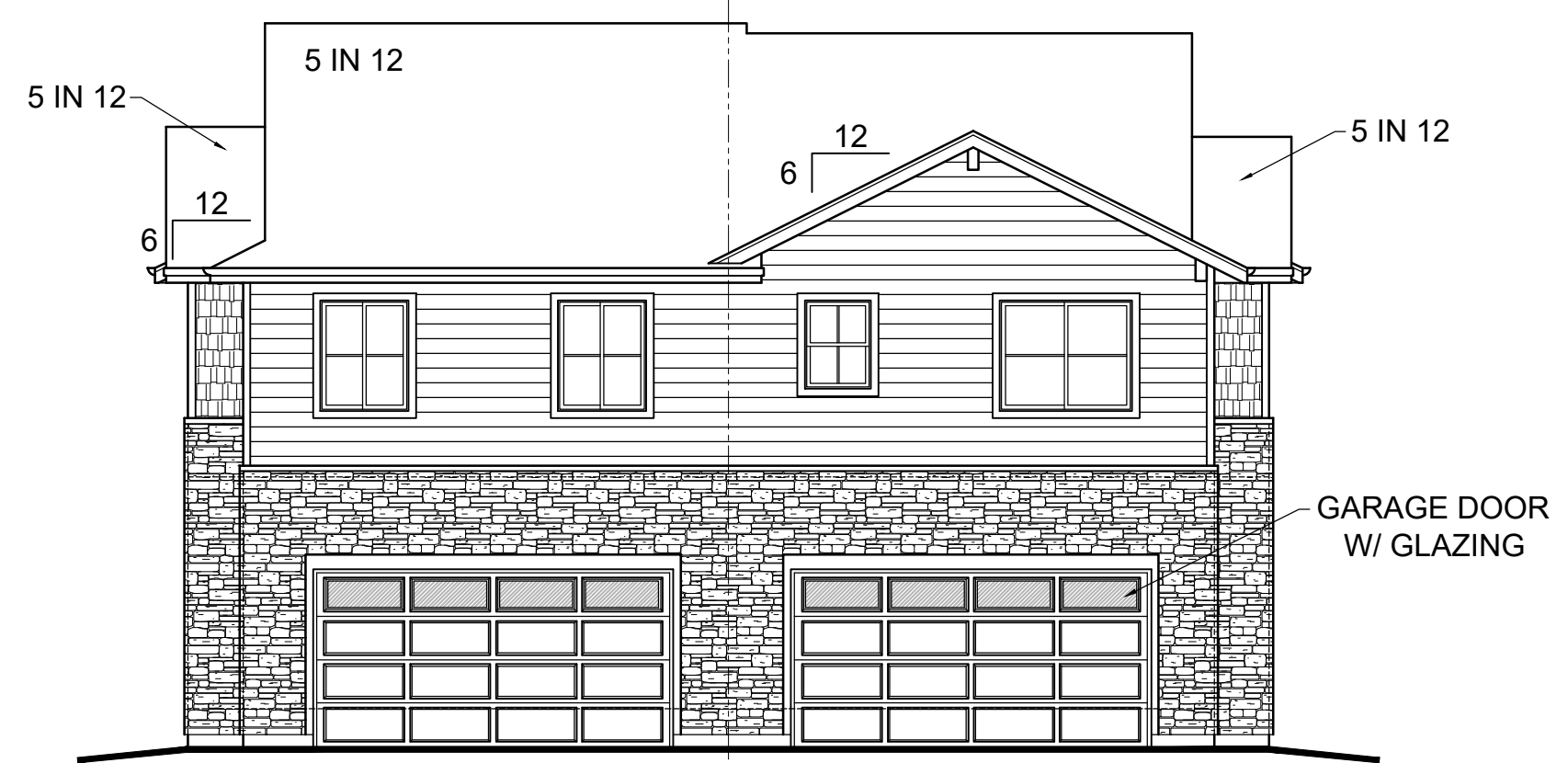


HEIGHT PER IRC  
28'-1 1/4"  
SHINGLE SIDING  
8x8 COLUMN  
AVG. GRADE PLANE  
6'-0"  
GUARDRAIL WHEN PORCH RISES 30" OR HIGHER ABOVE GRADE

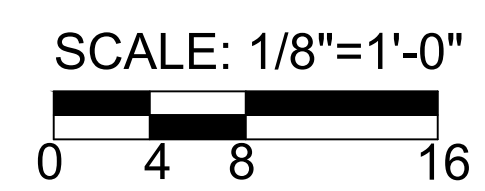
PLAN 2 & 3 ELEVATION 'E' - FRONT  
53% MASONRY PROVIDED AT FRONT  
51% MASONRY AVERAGE TOTAL (50% REQ.)  
SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'E' - RIGHT  
51% MASONRY SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'E' - REAR  
45% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 107 OF 156

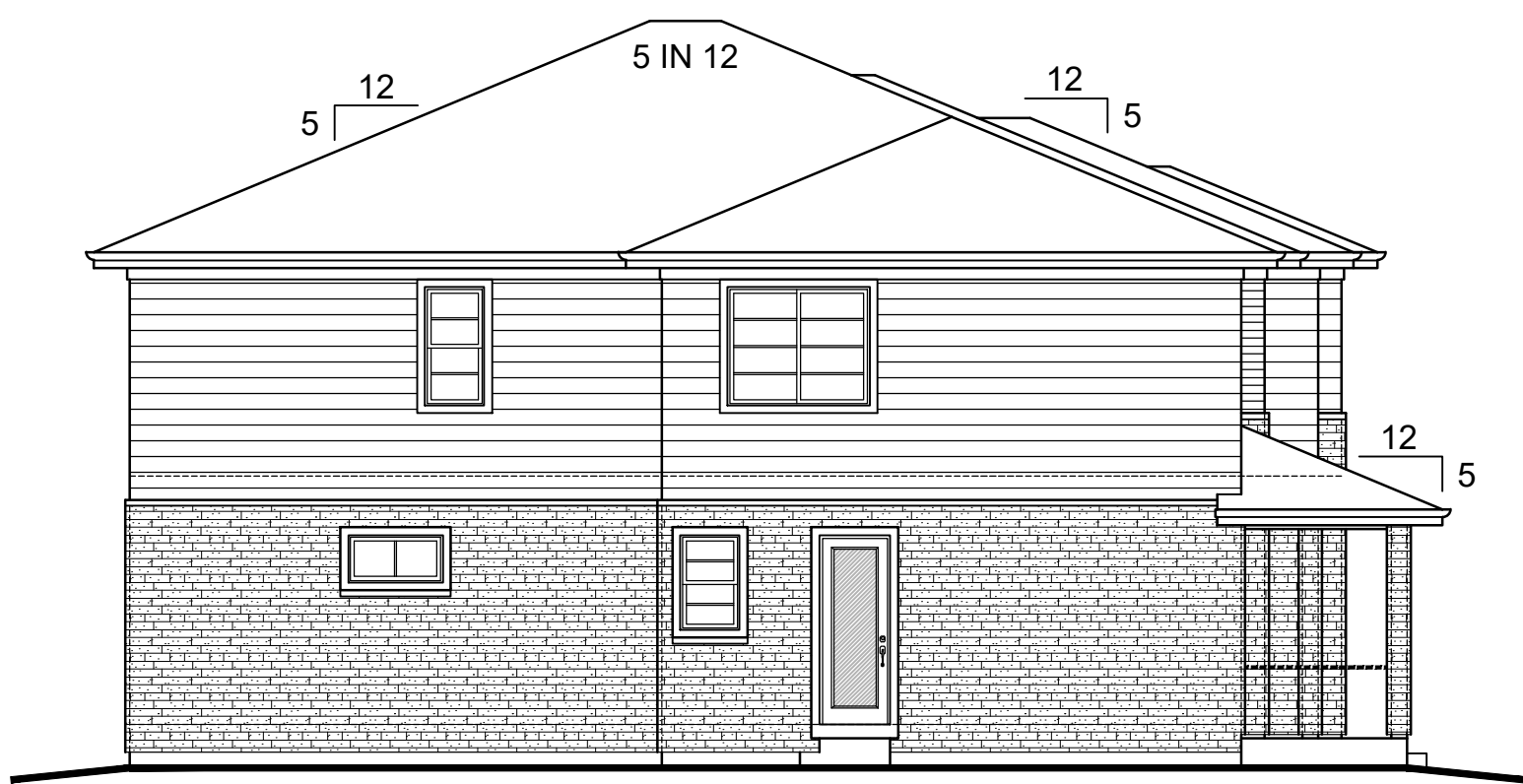
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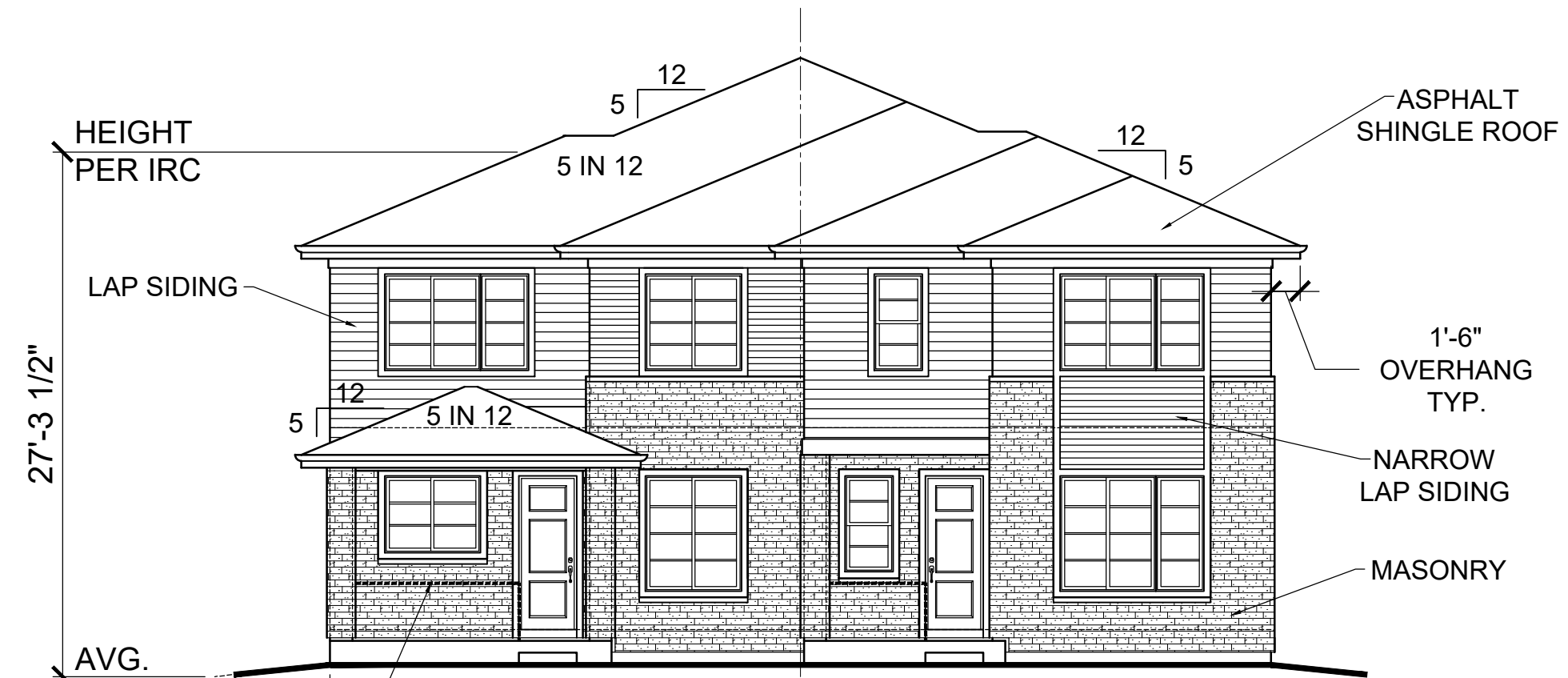
**UPLANDS**

DATE: 10.10.2024

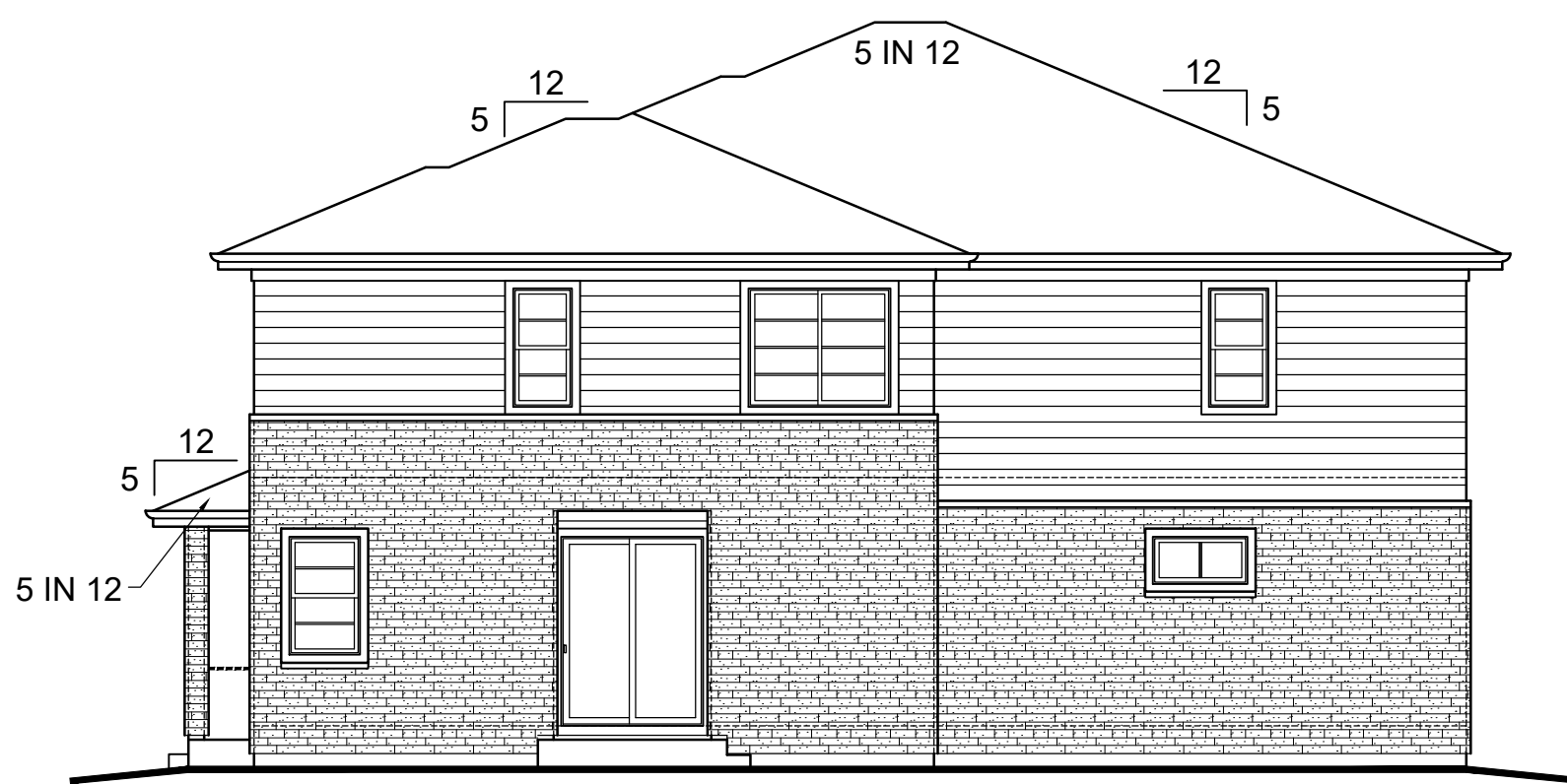
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



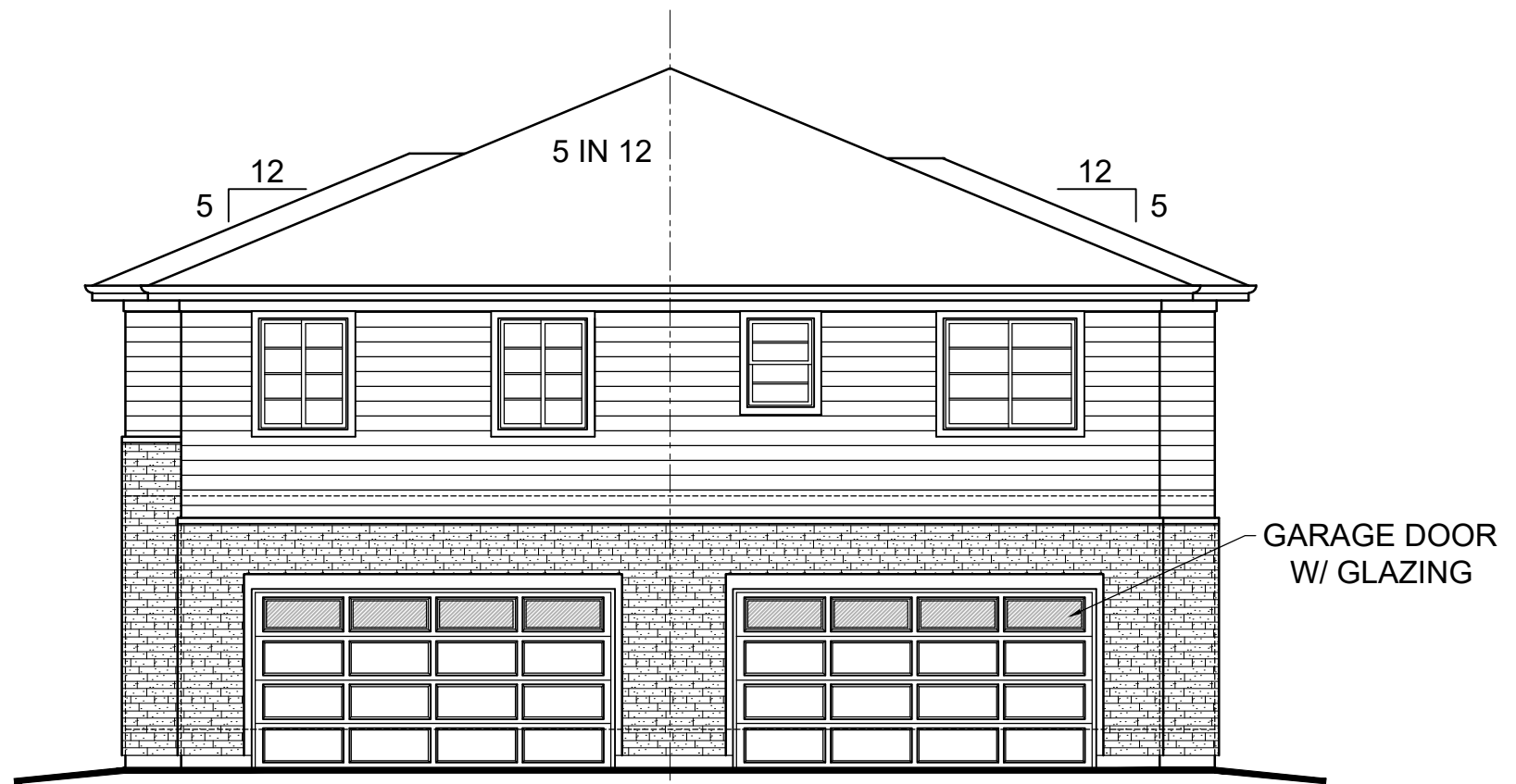
PLAN 2 & 3 ELEVATION 'F' - LEFT  
52% MASONRY SCALE: 1/8" = 1'-0"



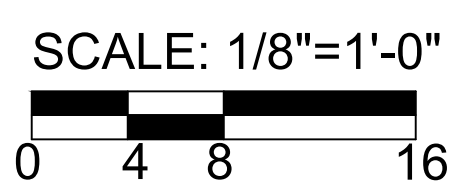
PLAN 2 & 3 ELEVATION 'F' - FRONT  
51% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
51% MASONRY AVERAGE TOTAL (50% REQ.)  
AVG. GRADE PLANE 6'-0"  
GUARDRAIL WHEN PORCH RISES 30" OR HIGHER ABOVE GRADE



PLAN 2 & 3 ELEVATION 'F' - RIGHT  
61% MASONRY SCALE: 1/8" = 1'-0"



PLAN 2 & 3 ELEVATION 'F' - REAR  
38% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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 COUNTY OF ADAMS, STATE OF COLORADO  
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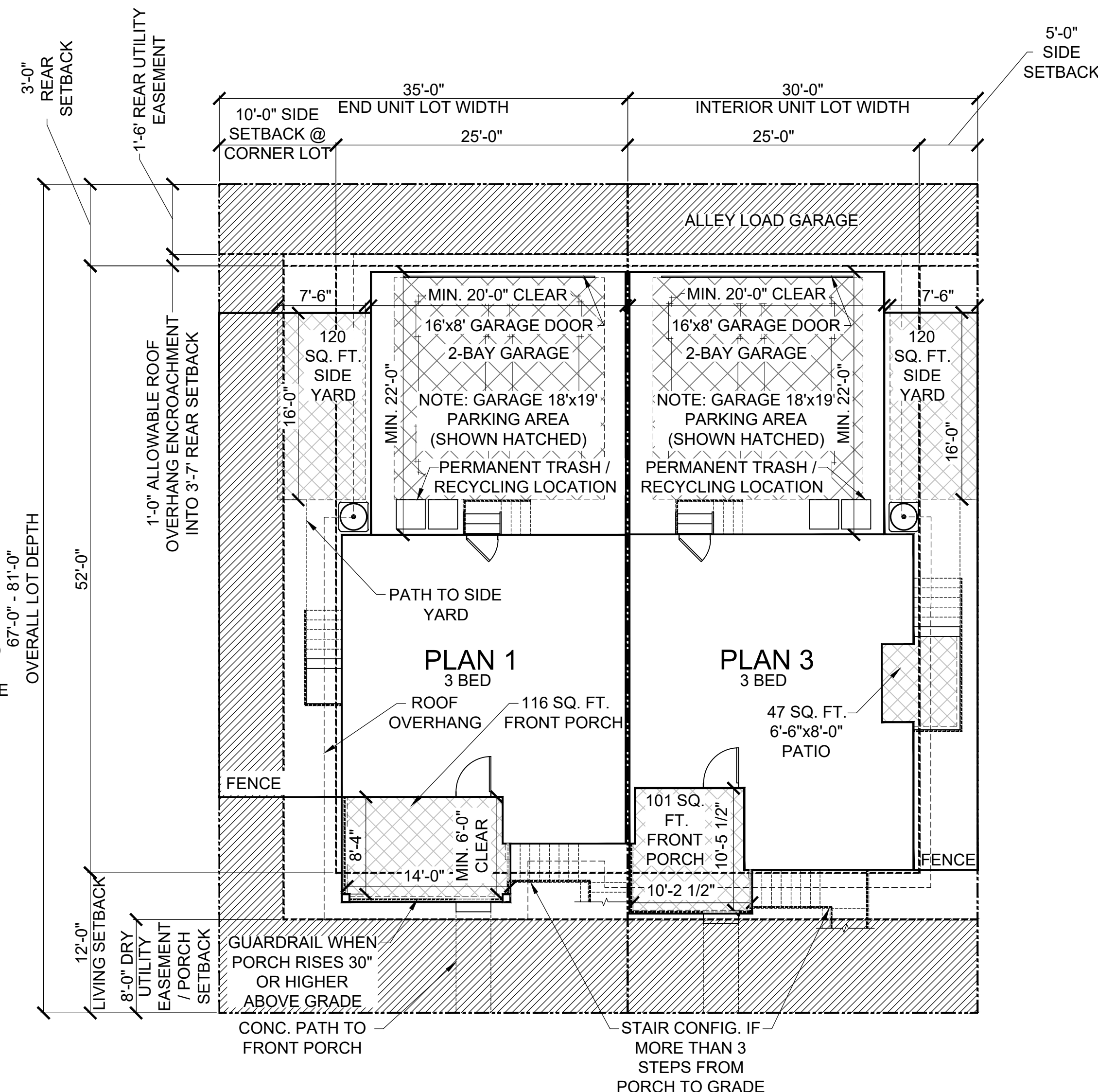
UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY



**2-STORY PAIRED LOT TYPICAL PLAN 1 & 3 - 1ST LEVEL**

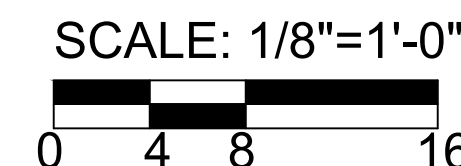
SCALE: 1/8" = 1'-0"

PLAN 1  
 1,535 TOTAL SQ. FT.

PLAN 3  
 1,724 TOTAL SQ. FT.

OUTDOOR LIVING: 236 TOTAL SQ. FT.  
 FRONT PORCH: 116 SQ. FT.  
 SIDE YARD: 120 SQ. FT.

OUTDOOR LIVING: 268 TOTAL SQ. FT.  
 FRONT PORCH: 101 SQ. FT.  
 SIDE YARD: 120 SQ. FT.  
 6'-6"x8'-0" PATIO: 47 SQ. FT.



OFFICIAL DEVELOPMENT PLAN  
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UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 109 OF 156

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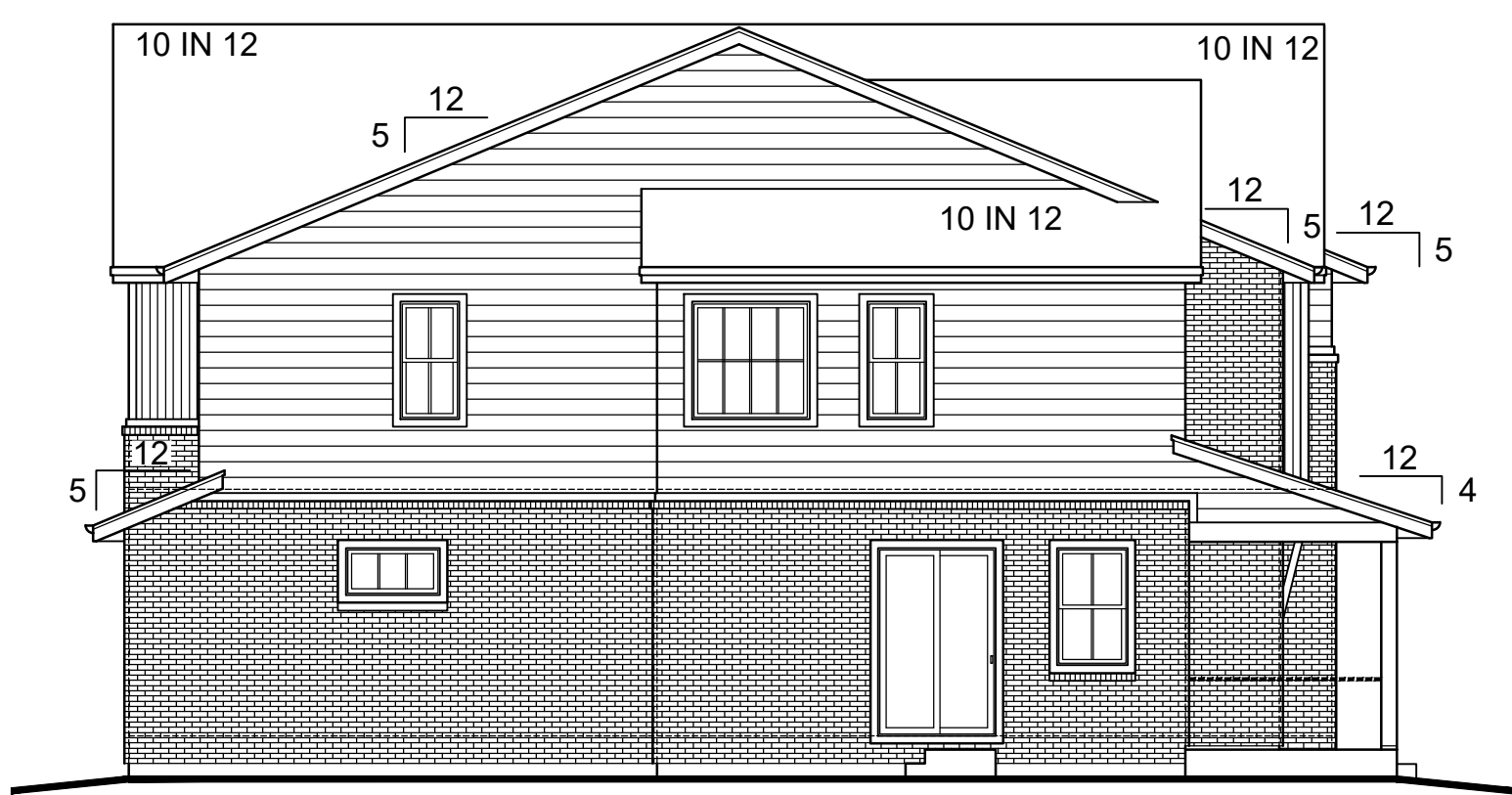
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

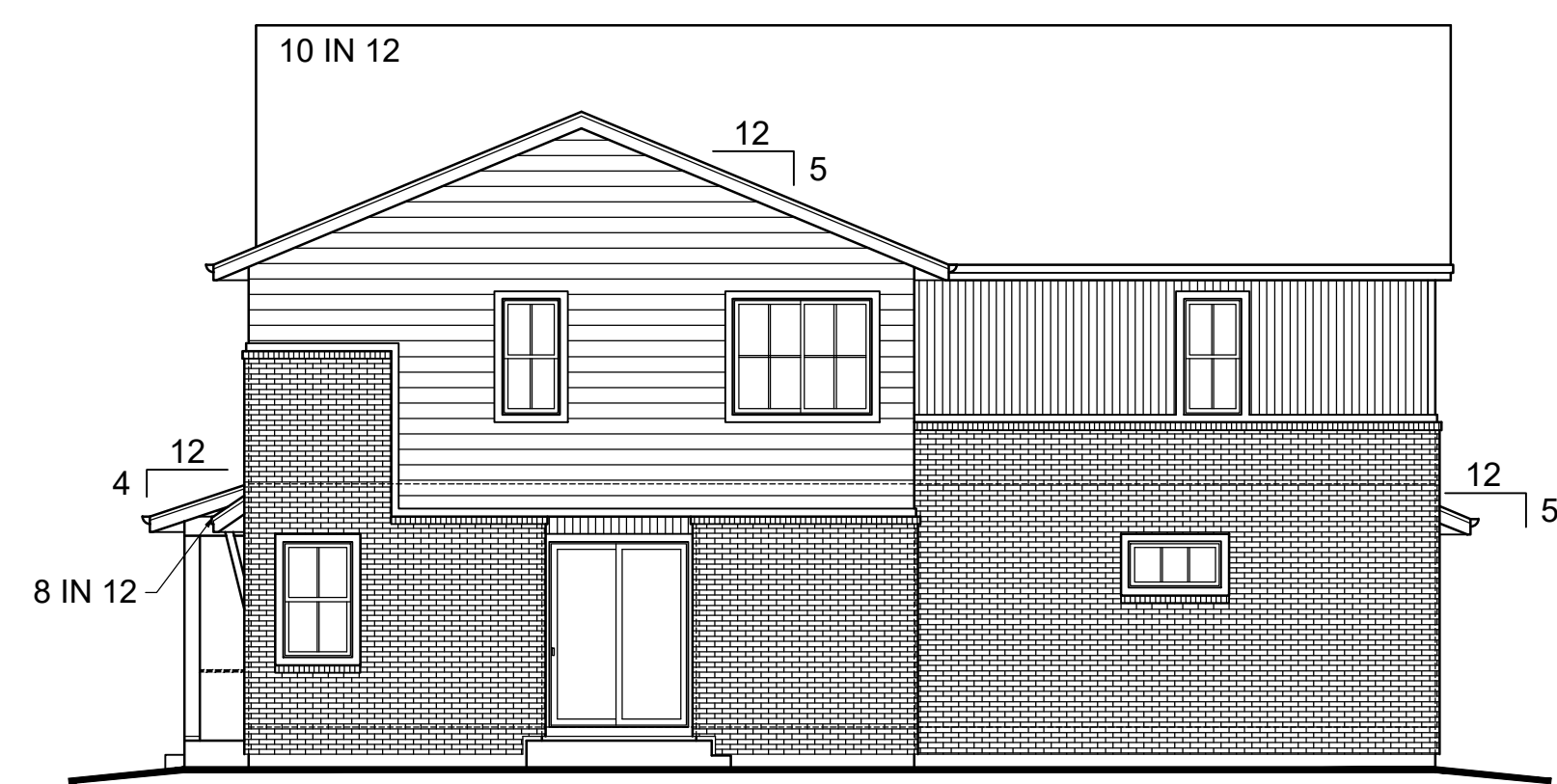
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024



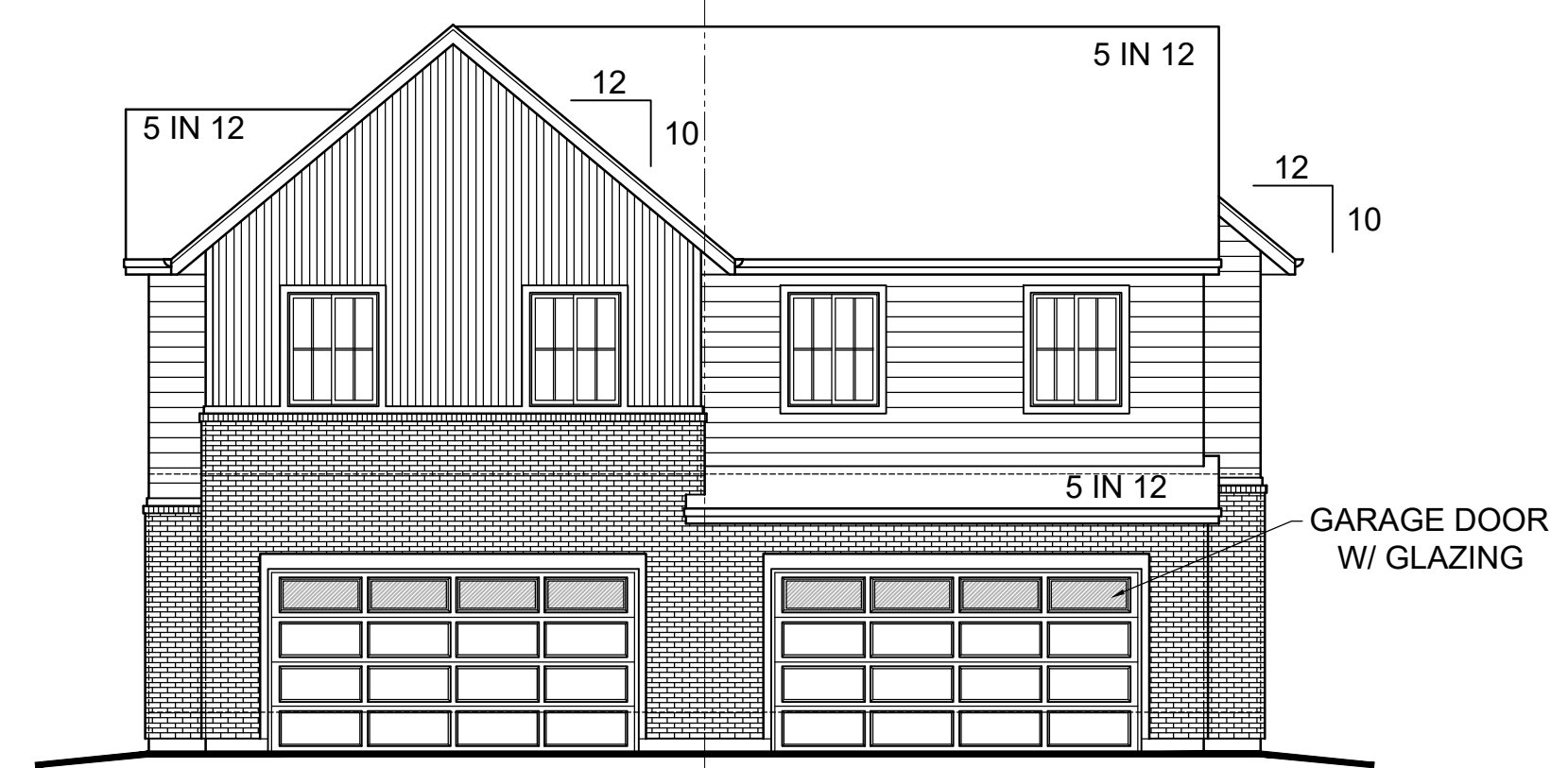
PLAN 1 & 3 ELEVATION 'D' - LEFT  
49% MASONRY SCALE: 1/8" = 1'-0"



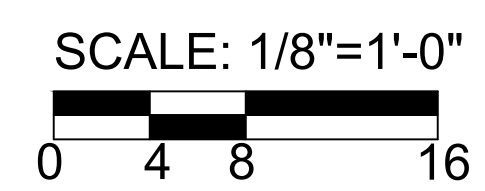
PLAN 1 & 3 ELEVATION 'D' - FRONT  
52% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
50% MASONRY AVERAGE TOTAL (50% REQ.)



PLAN 1 & 3 ELEVATION 'D' - RIGHT  
56% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'D' - REAR  
41% MASONRY SCALE: 1/8" = 1'-0"



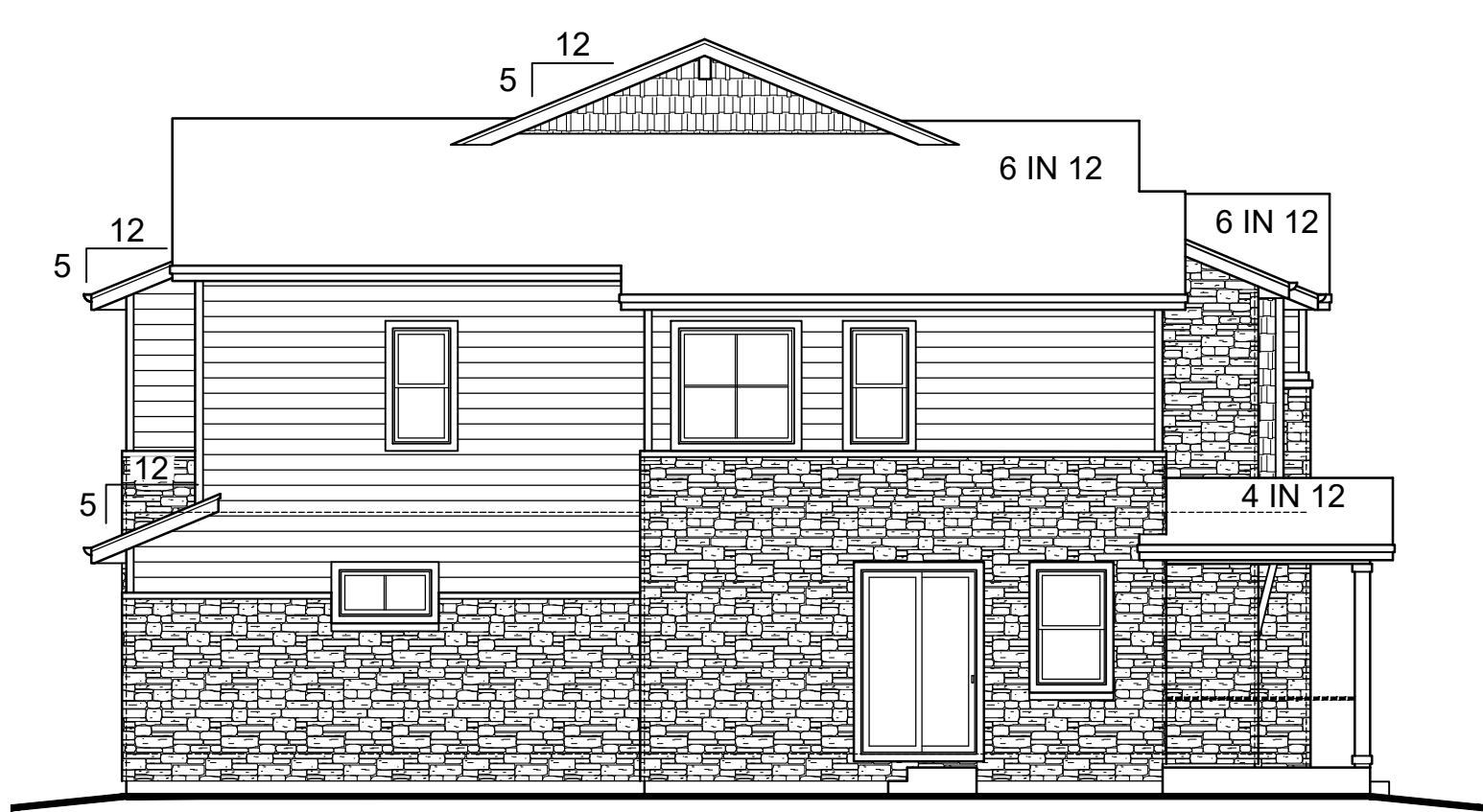
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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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 SHEET 110 OF 156

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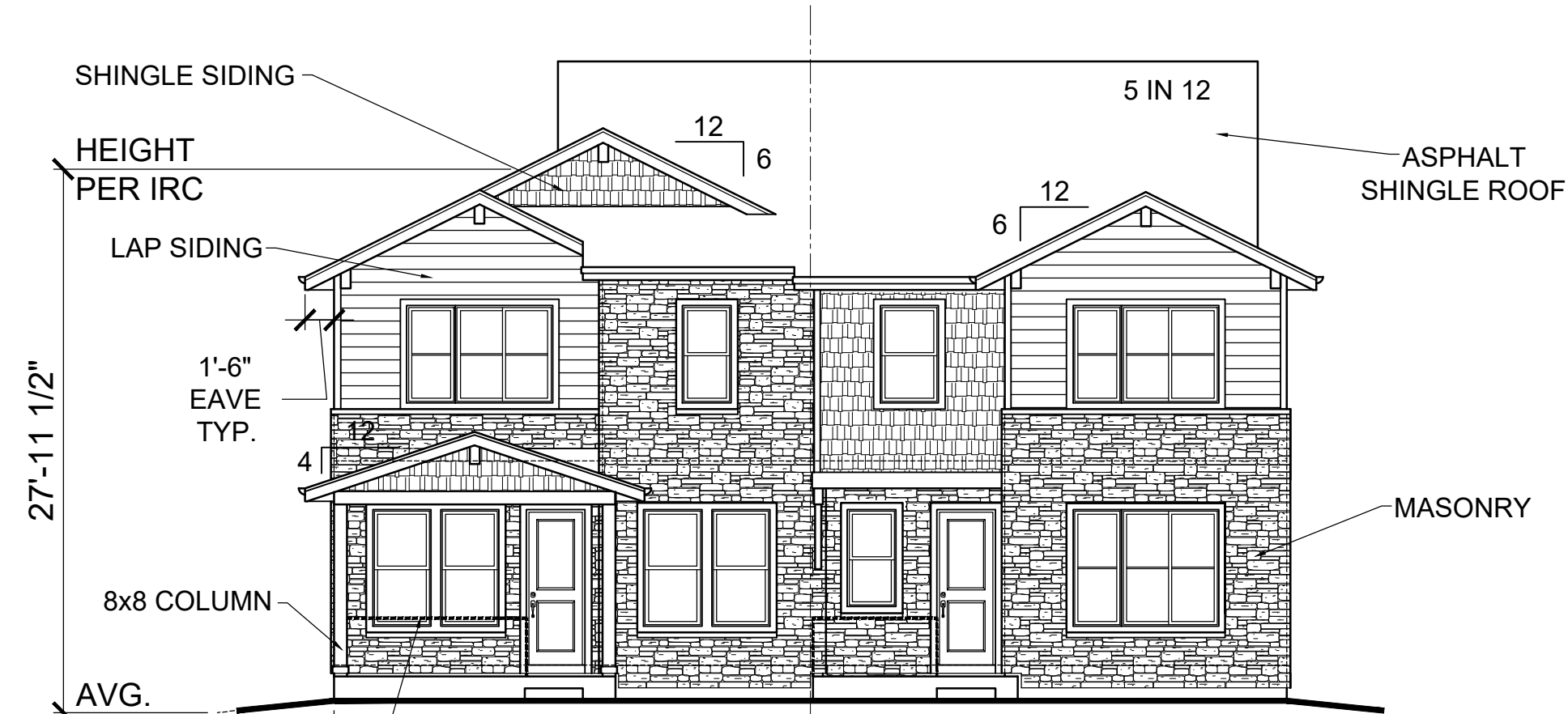
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**UPLANDS**

DATE: 10.10.2024



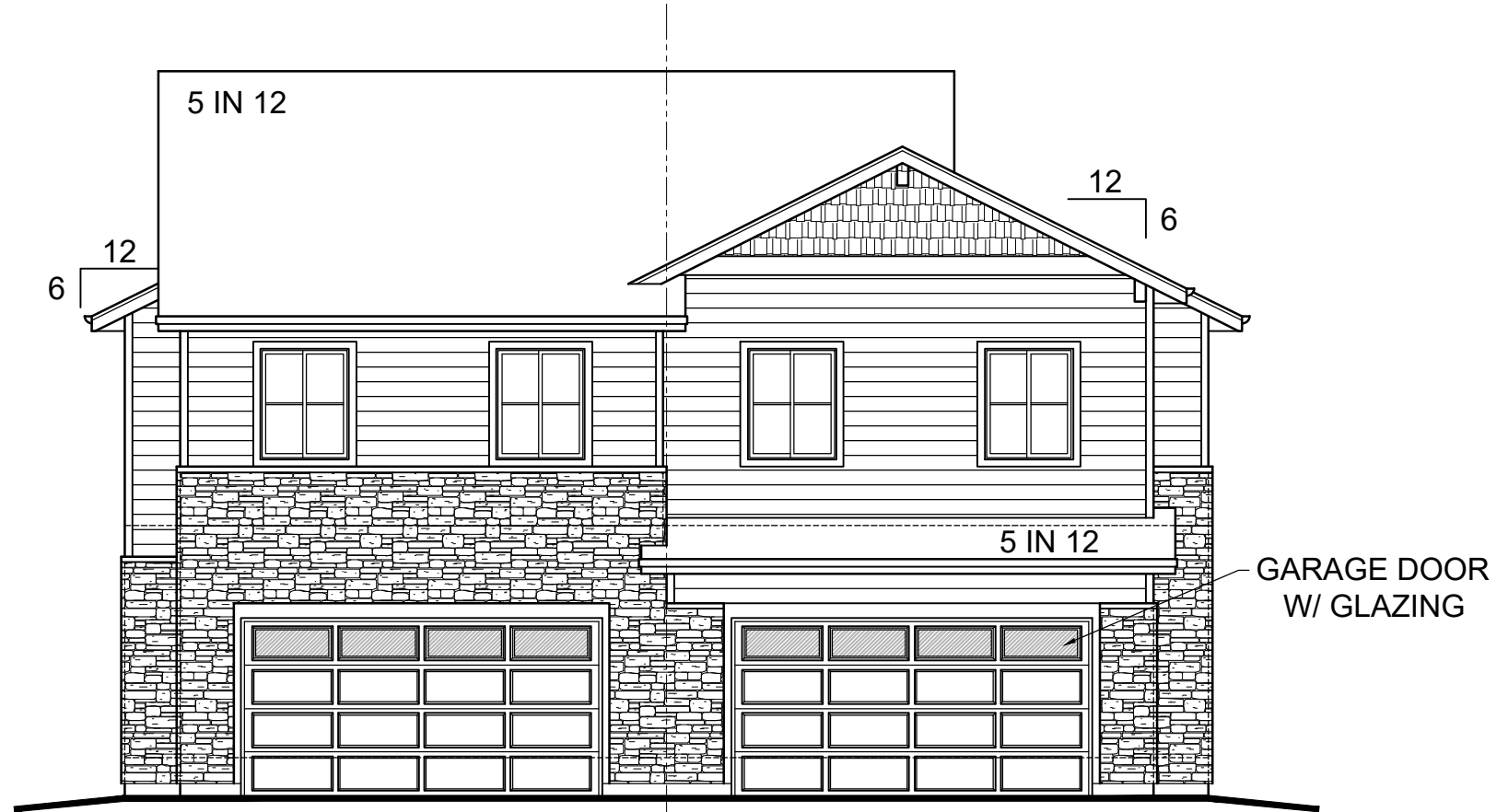
**PLAN 1 & 3 ELEVATION 'E' - LEFT**  
 56% MASONRY SCALE: 1/8" = 1'-0"



**PLAN 1 & 3 ELEVATION 'E' - FRONT**  
 55% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
 50% MASONRY AVERAGE TOTAL (50% REQ.)  
 SHINGLE SIDING  
 HEIGHT PER IRC  
 LAP SIDING  
 1'-6" EAVE TYP.  
 8x8 COLUMN  
 AVG. GRADE PLANE 6'-0"  
 GUARDRAIL WHEN PORCH RISES 30" OR HIGHER ABOVE GRADE  
 ASPHALT SHINGLE ROOF  
 MASONRY



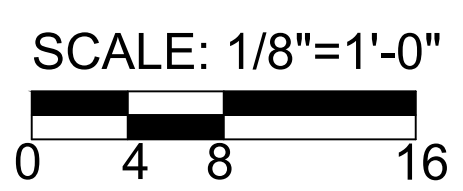
**PLAN 1 & 3 ELEVATION 'E' - RIGHT**  
 49% MASONRY SCALE: 1/8" = 1'-0"



**PLAN 1 & 3 ELEVATION 'E' - REAR**  
 39% MASONRY SCALE: 1/8" = 1'-0"

**UPLANDS FILING NO. 1**  
**BLOCK 3**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 111 OF 156

REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

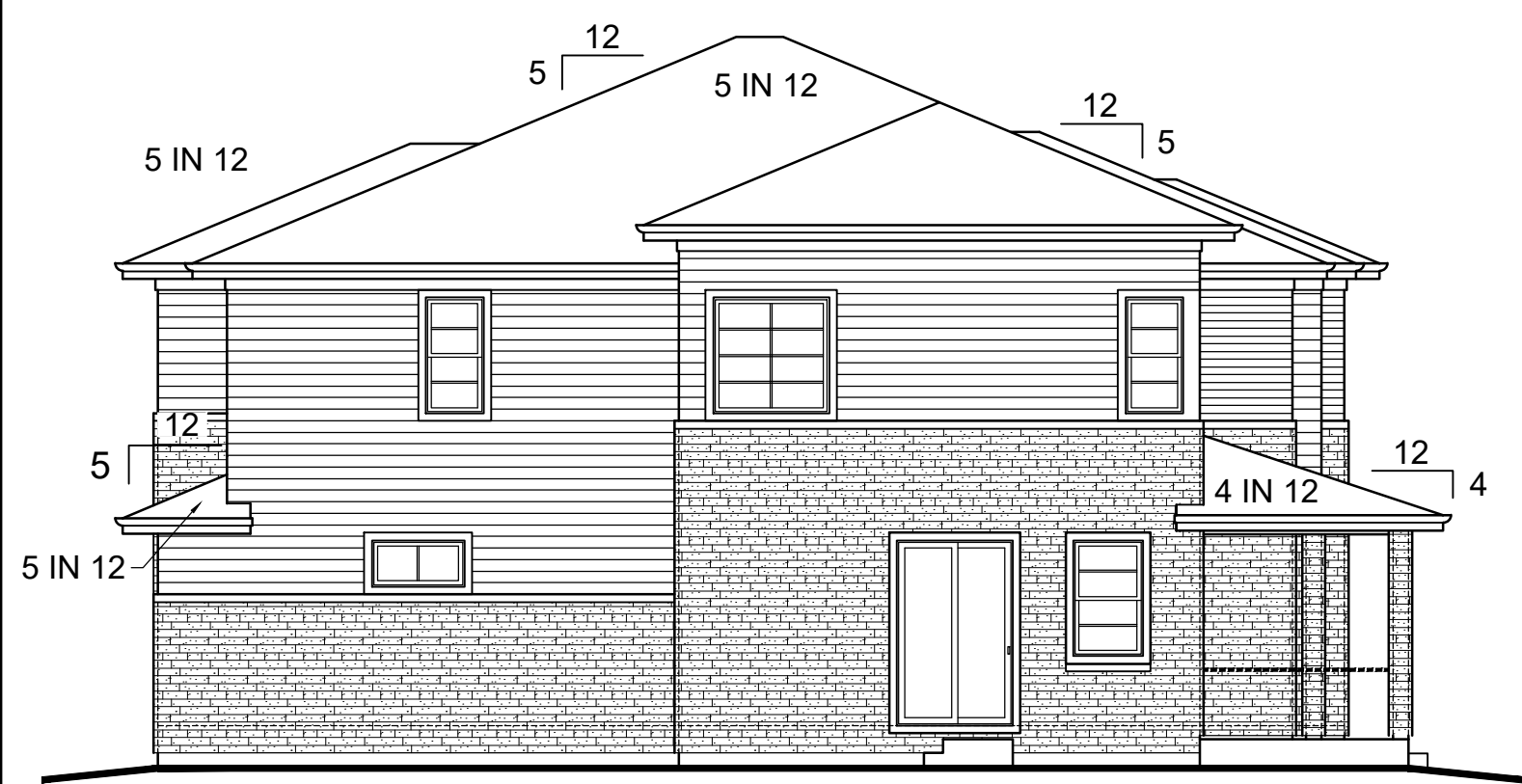
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**UPLANDS**

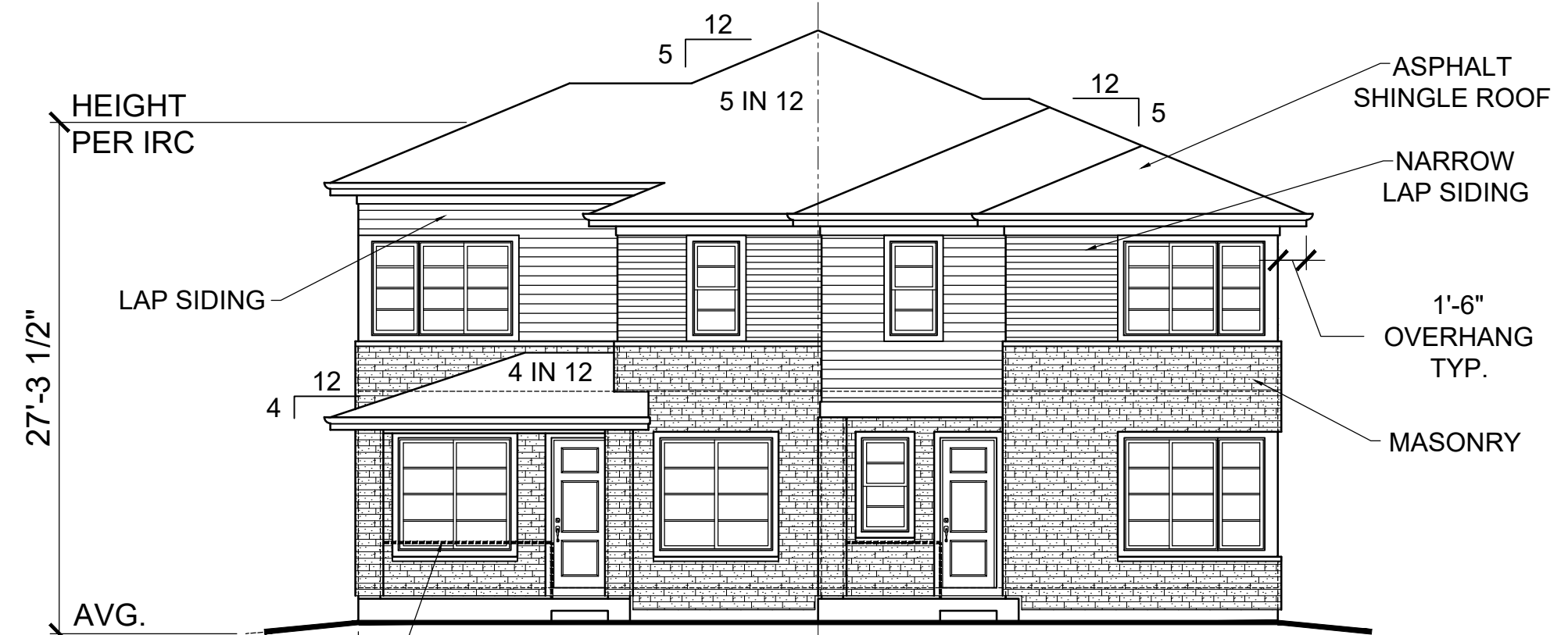
DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

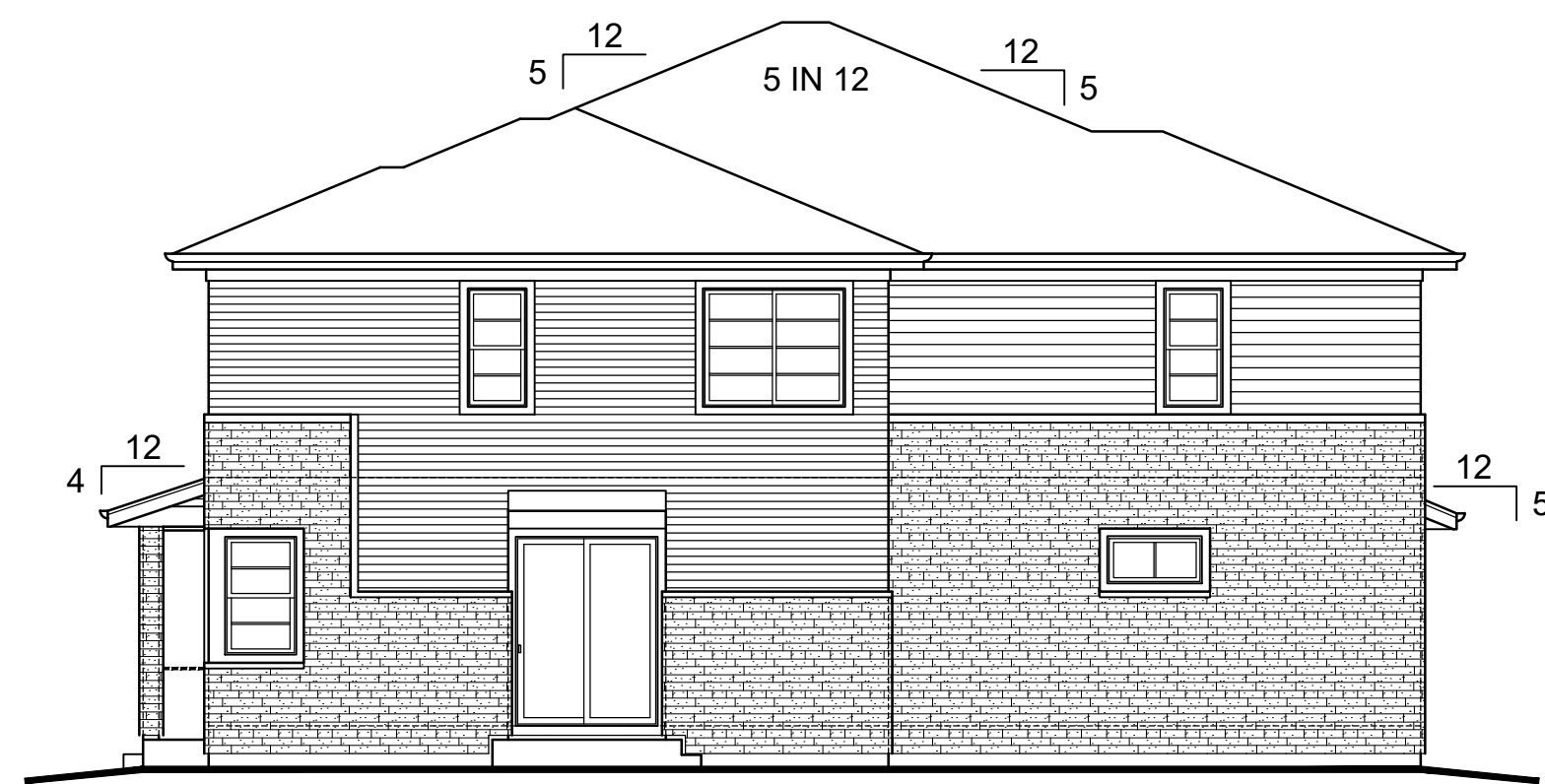
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024



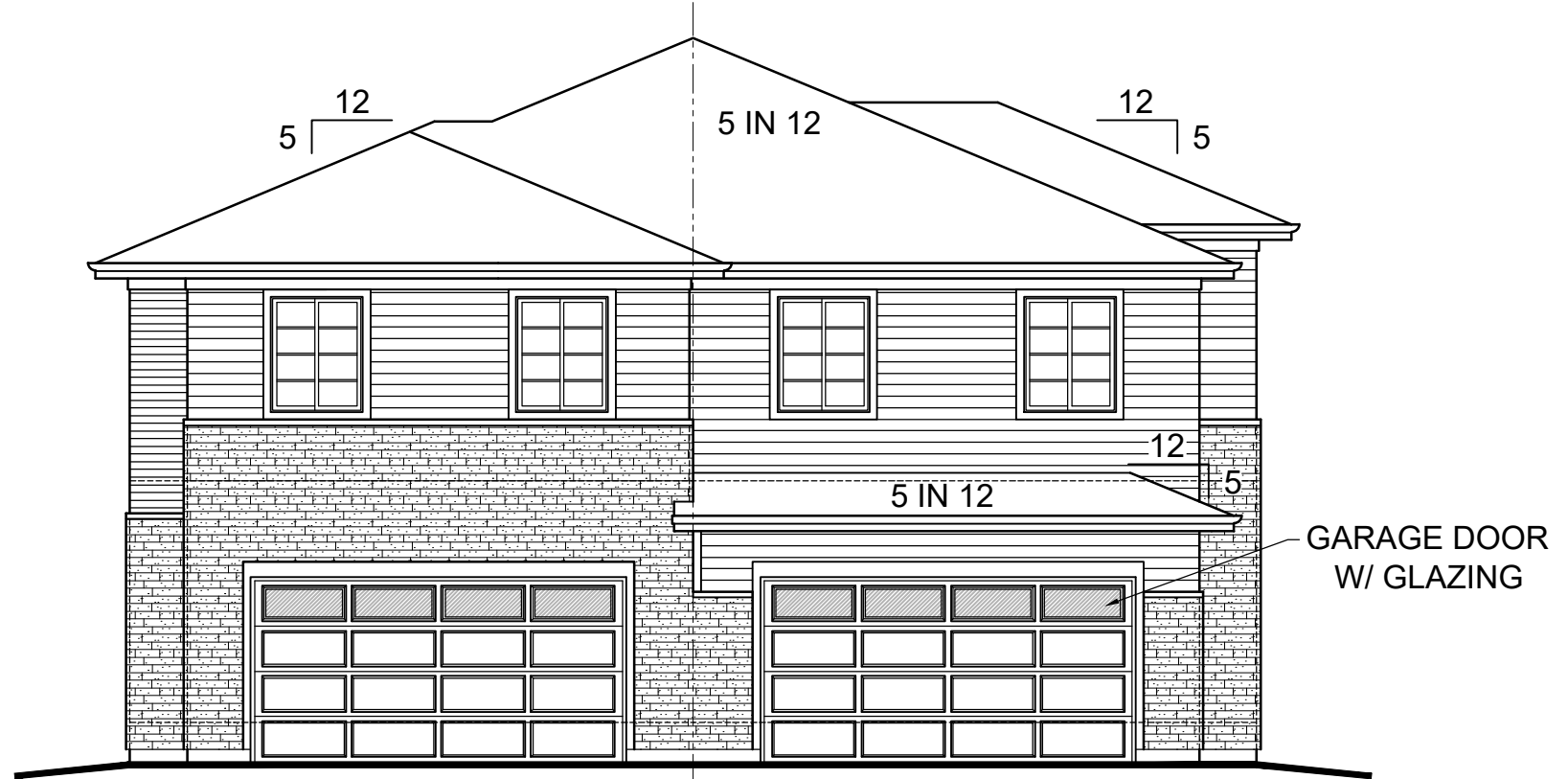
PLAN 1 & 3 ELEVATION 'F' - LEFT  
51% MASONRY SCALE: 1/8" = 1'-0"



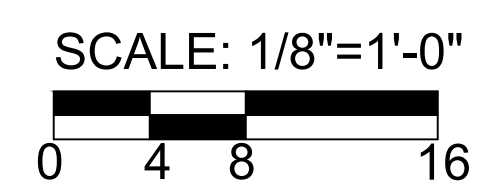
PLAN 1 & 3 ELEVATION 'F' - FRONT  
55% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"  
51% MASONRY AVERAGE TOTAL (50% REQ.)  
GUARDRAIL WHEN PORCH RISES 30" OR HIGHER ABOVE GRADE



PLAN 1 & 3 ELEVATION 'F' - RIGHT  
55% MASONRY SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'F' - REAR  
44% MASONRY SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 112 OF 156

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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1**

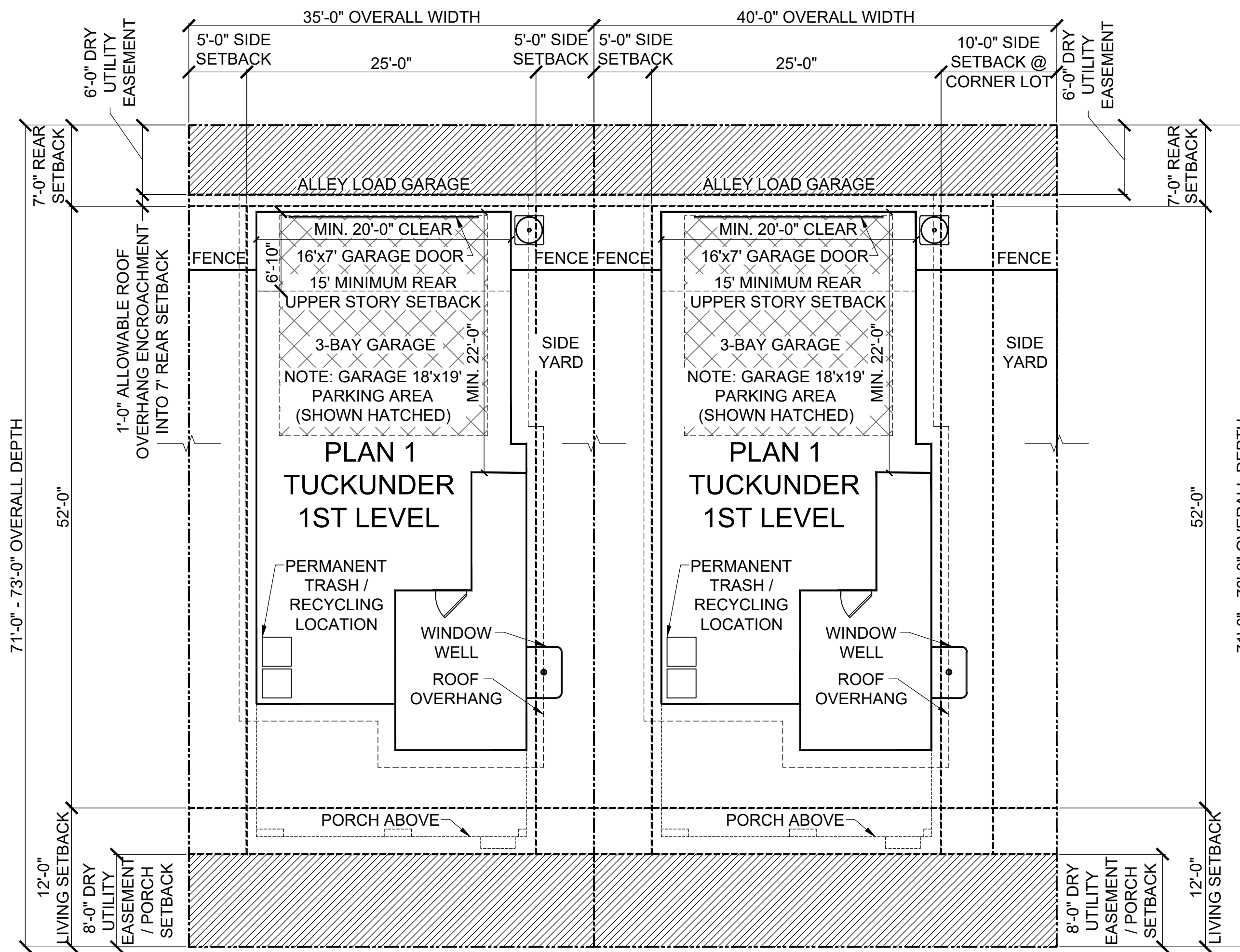
**BLOCK 3**

**OFFICIAL DEVELOPMENT PLAN**

**WESTMINSTER, COLORADO**

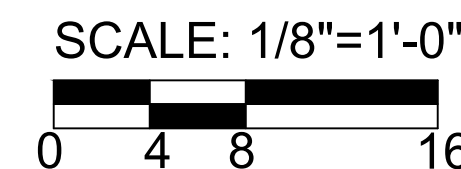
NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY TUCKUNDER  
 LOT TYPICAL PLAN 1 - 1ST LEVEL**

ELEVATION STYLE 'D' SHOWN, 'E' & 'F' SIMILAR SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024  
 10.10.2024

112 OF 156  
 SFD TUCKUNDER  
 PLAN 1 LOT TYPICALS

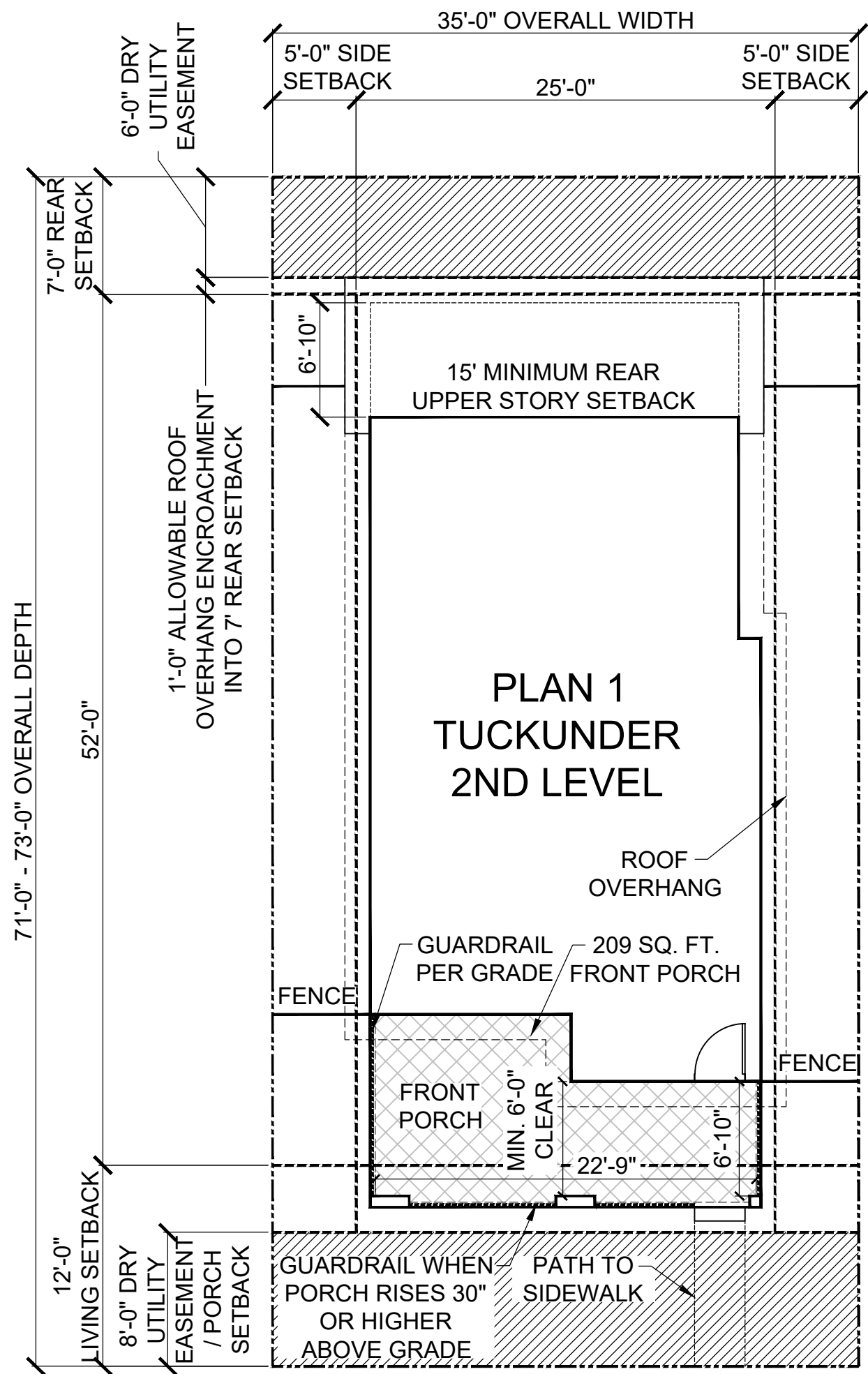
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
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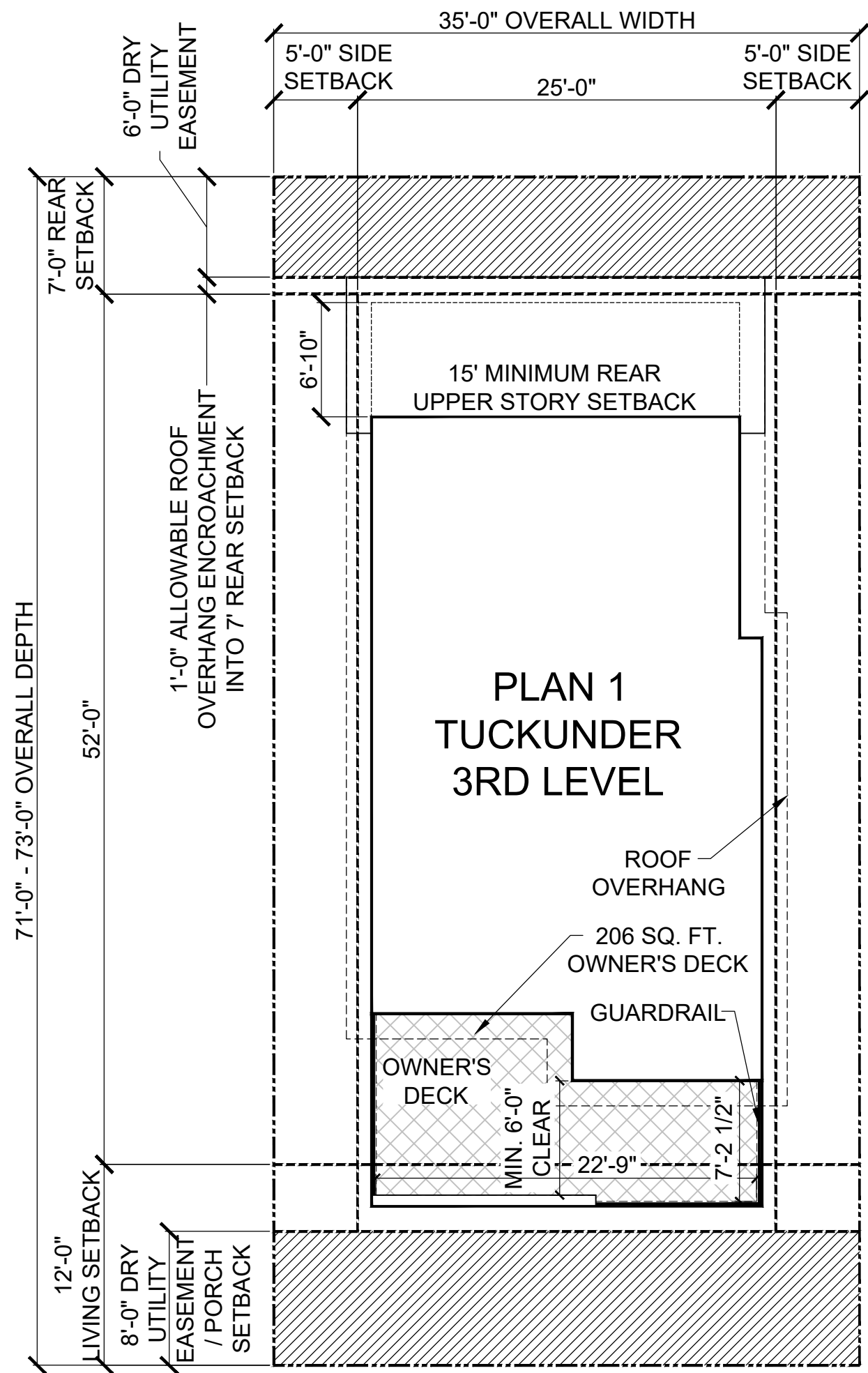
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



SINGLE FAMILY TUCKUNDER  
LOT TYPICAL PLAN 1 - 2ND LEVEL

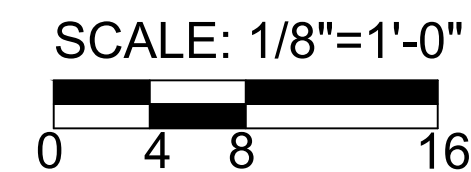
1,848 TOTAL SQ. FT. SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 414 TOTAL SQ. FT.  
FRONT PORCH: 209 SQ. FT.  
OWNER'S DECK: 205 SQ. FT.



SINGLE FAMILY TUCKUNDER  
LOT TYPICAL PLAN 1 - 3RD LEVEL

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
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08.08.2024
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 114 OF 156

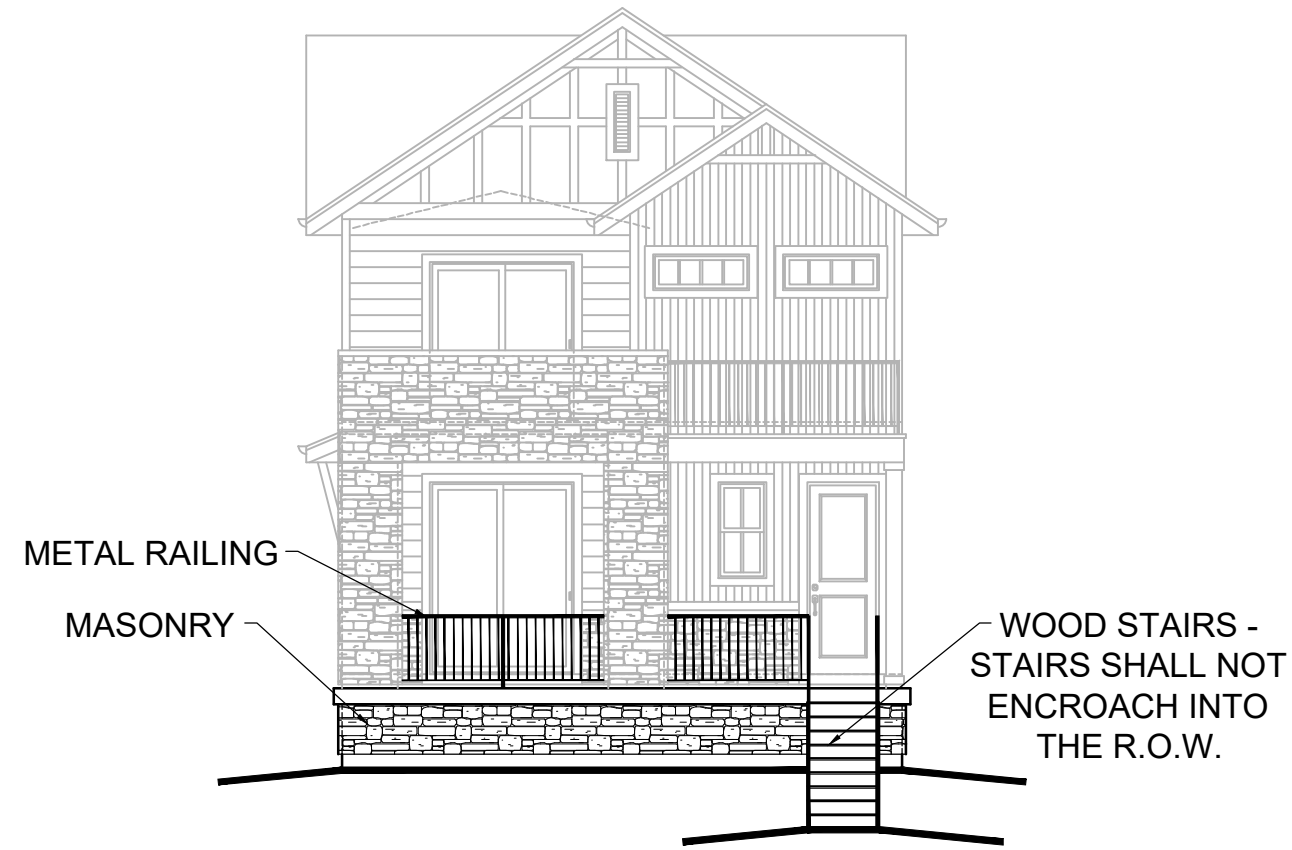
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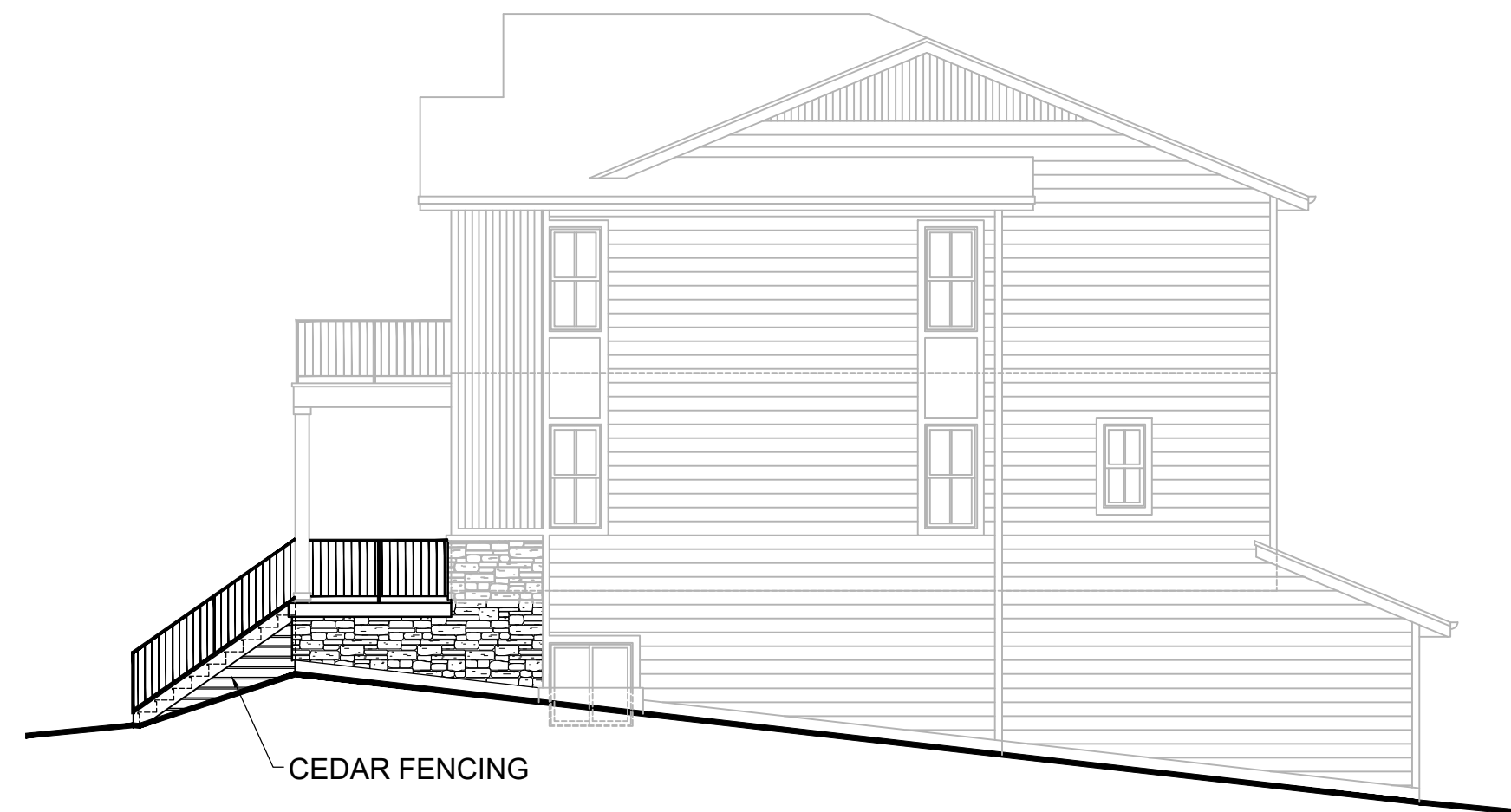
**UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**



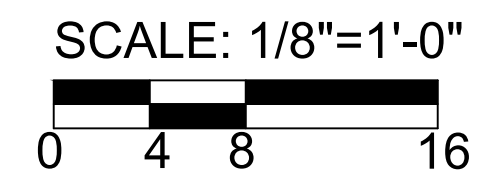
**GRADE SEPARATED ELEVATION - FRONT**  
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"



**GRADE SEPARATED ELEVATION - LEFT**  
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"



**GRADE SEPARATED ELEVATION - RIGHT**  
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 115 OF 156

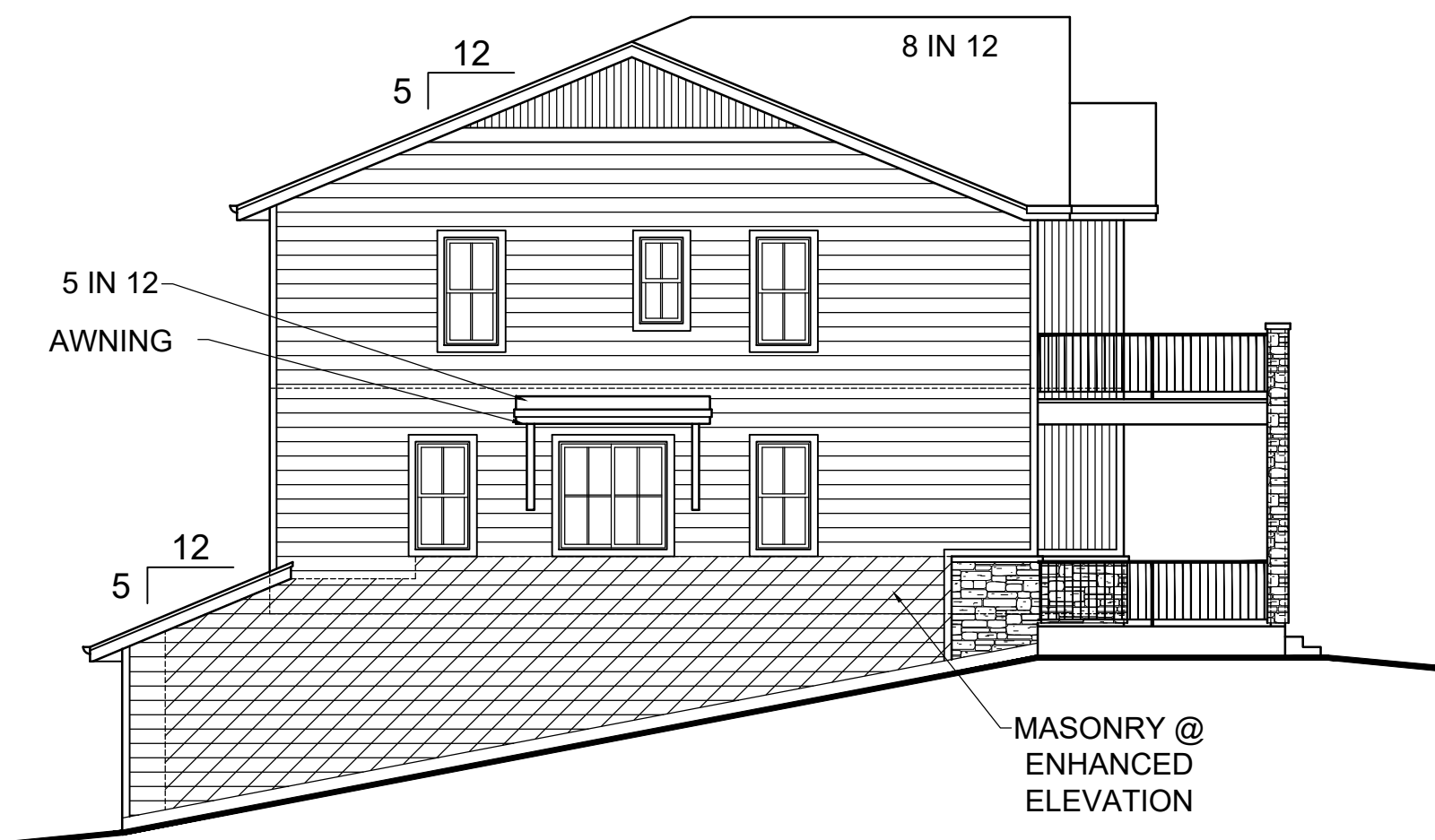
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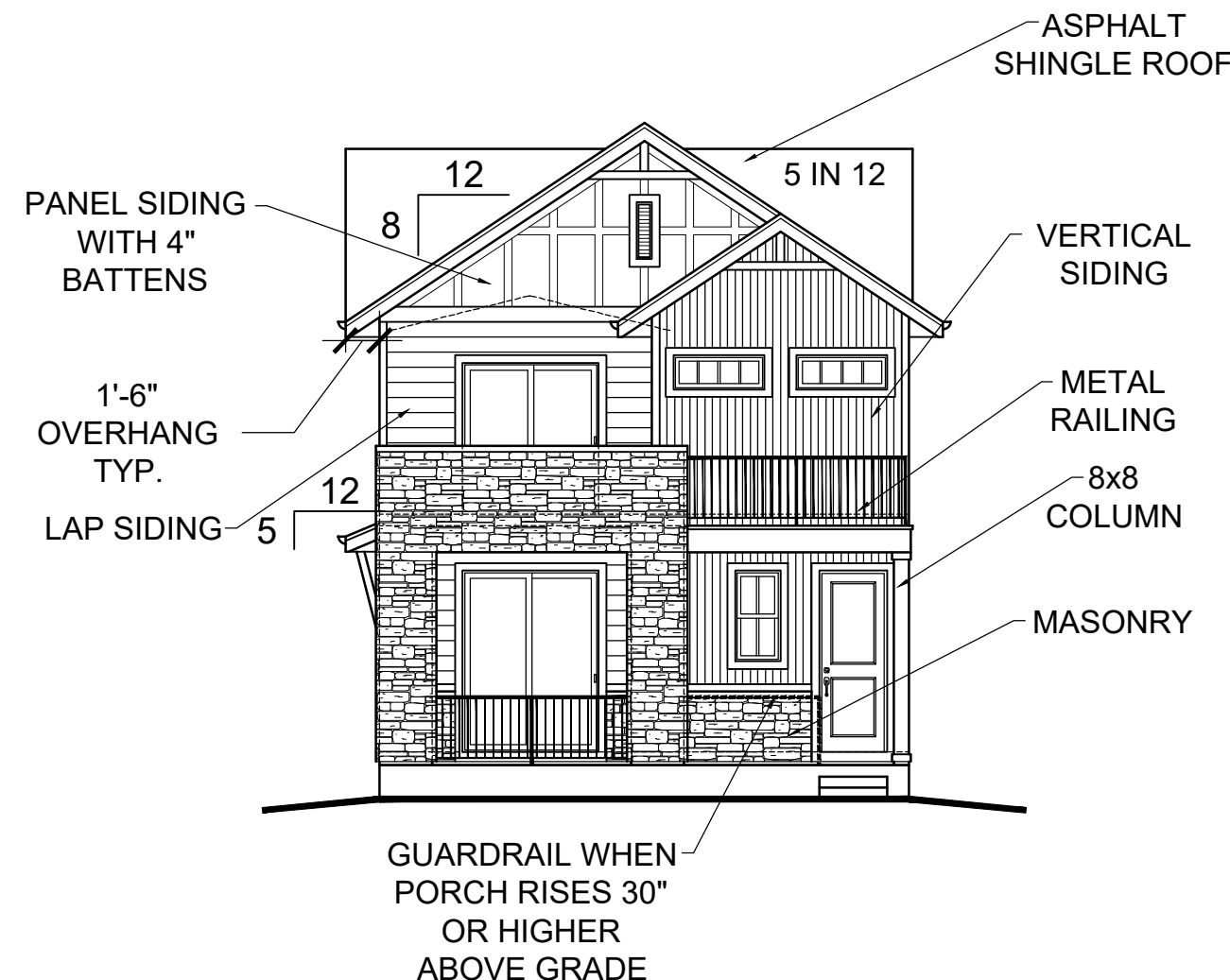
**UPLANDS**

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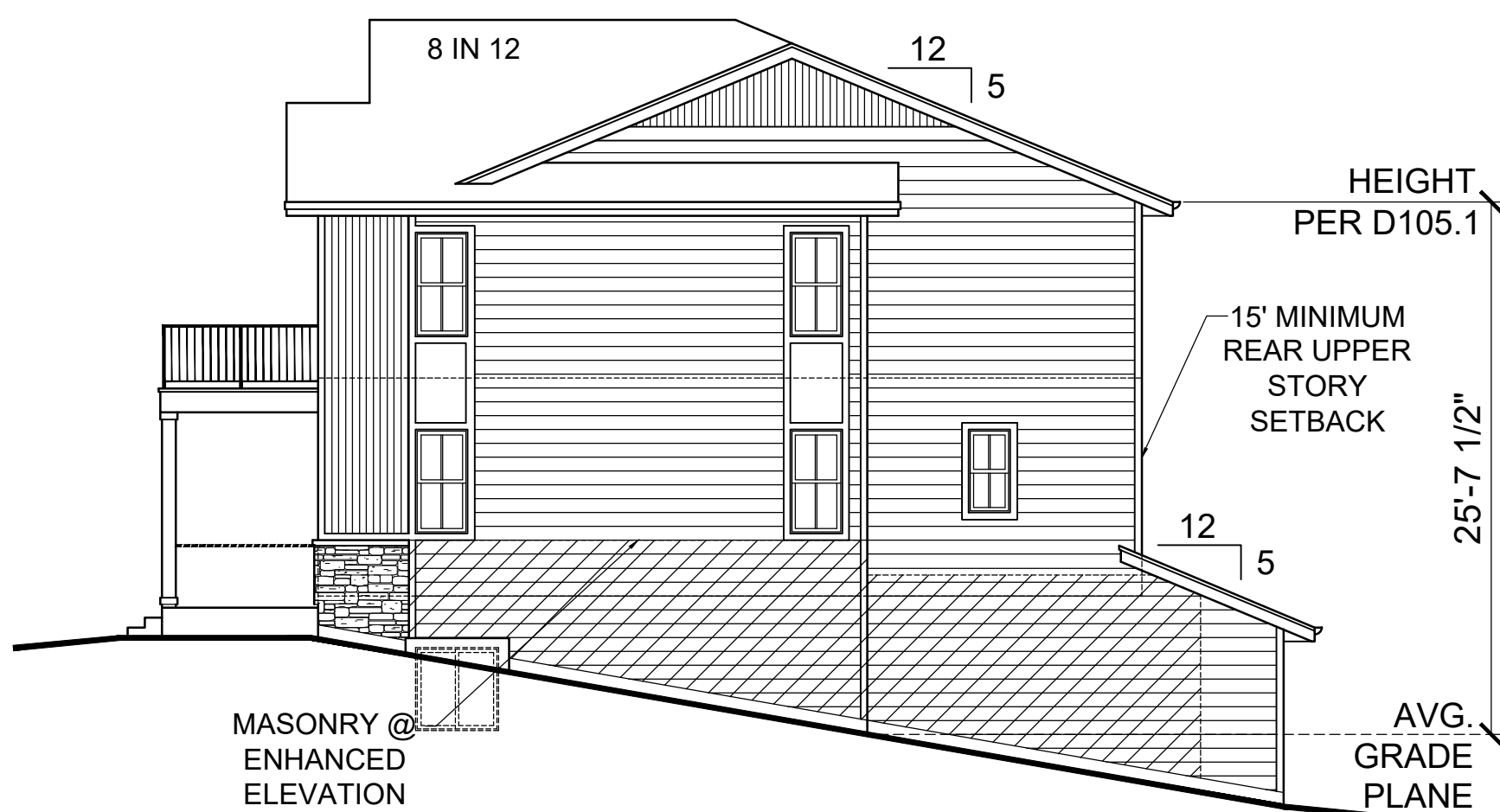
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



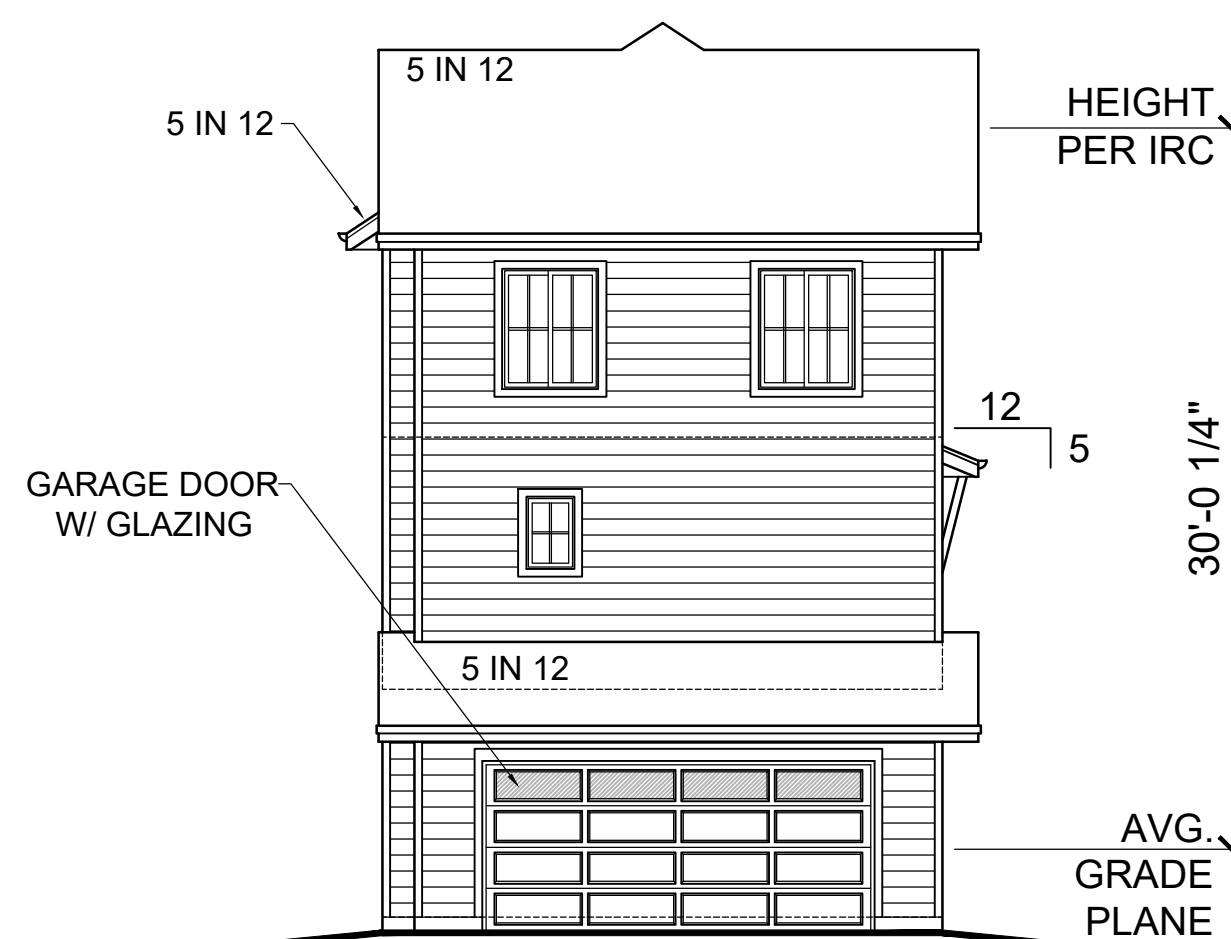
PLAN 1 ELEVATION 'D' - LEFT  
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



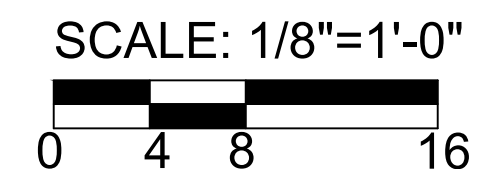
PLAN 1 ELEVATION 'D' - FRONT  
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'D' - RIGHT  
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'D' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		

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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 116 OF 156

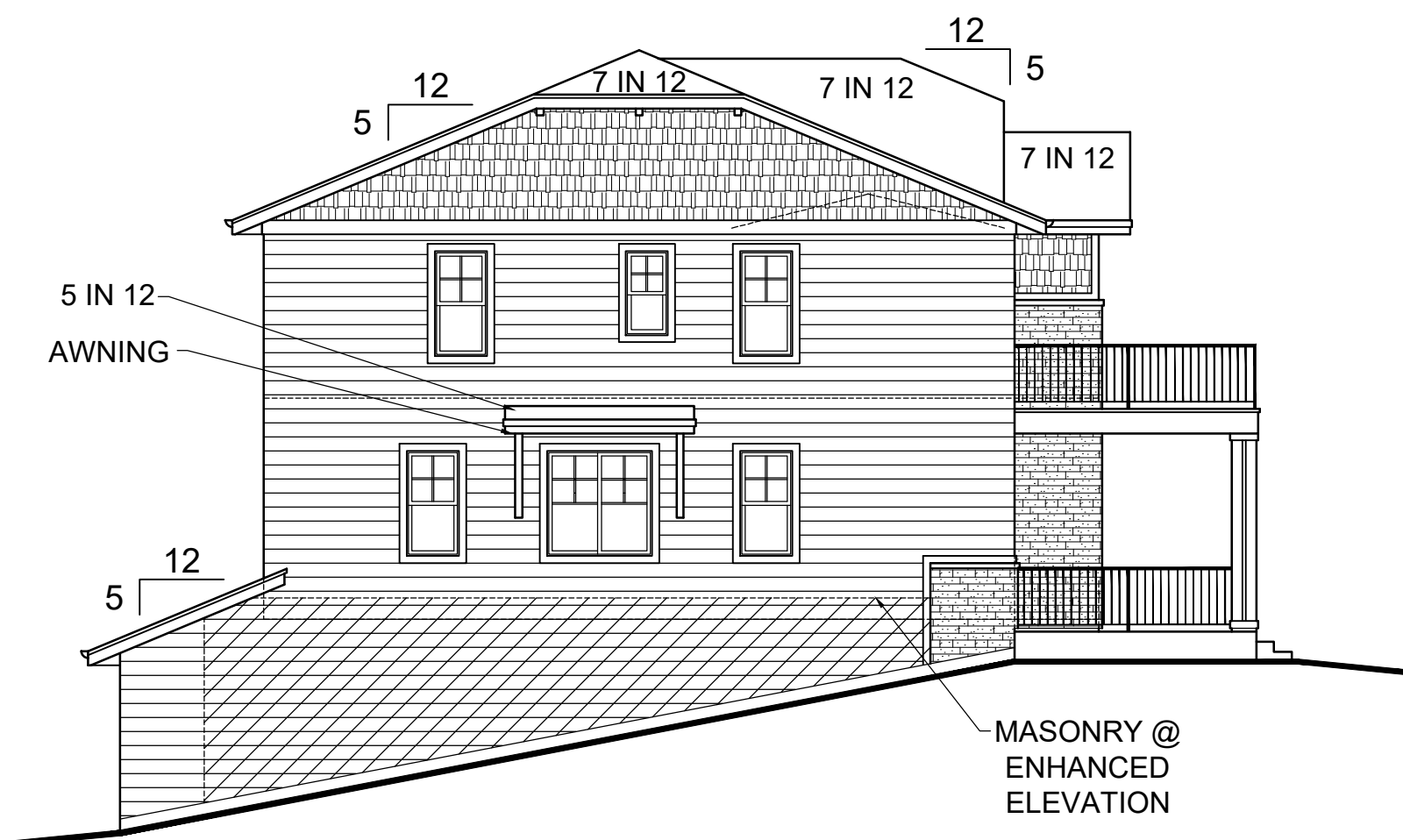
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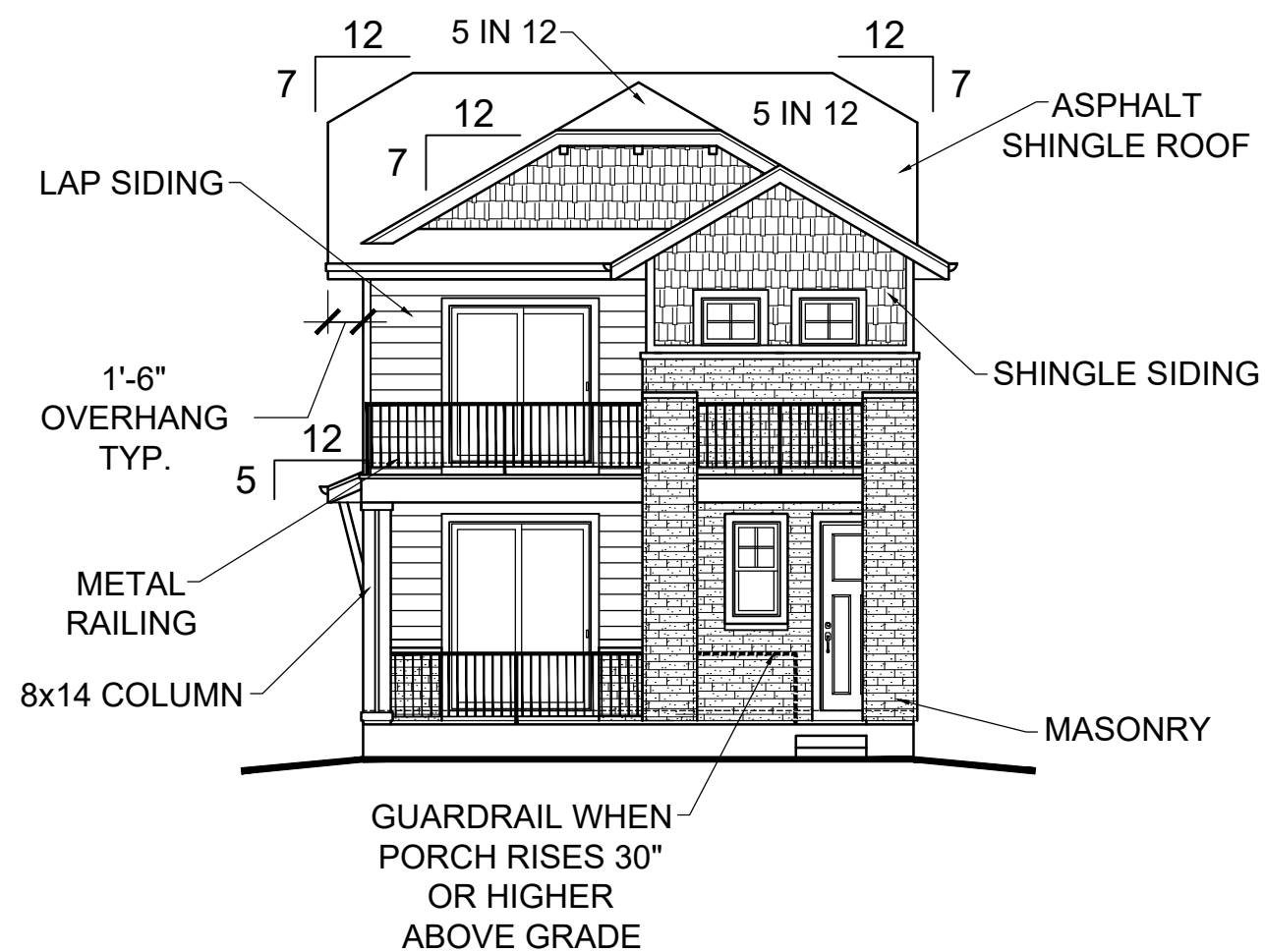
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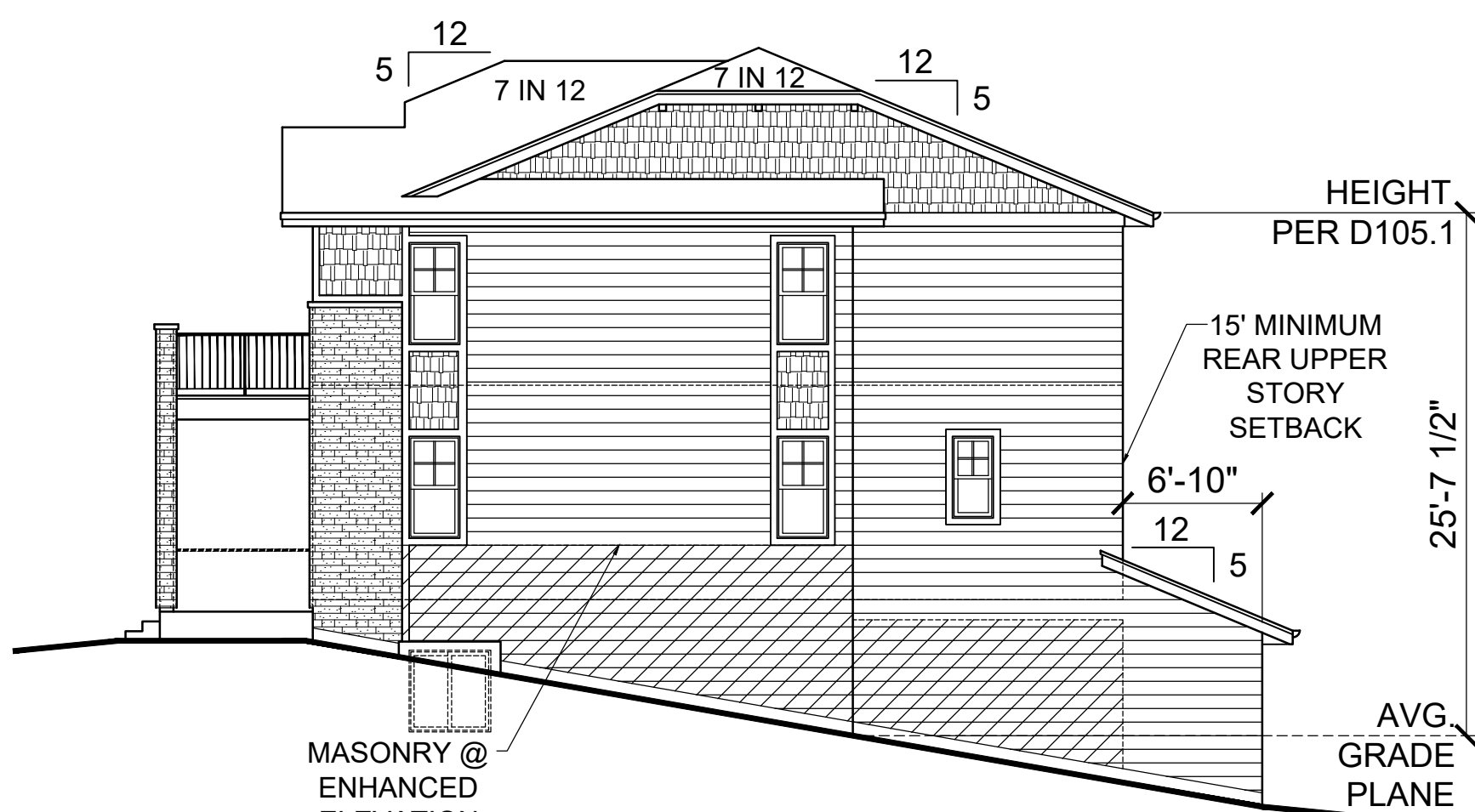
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



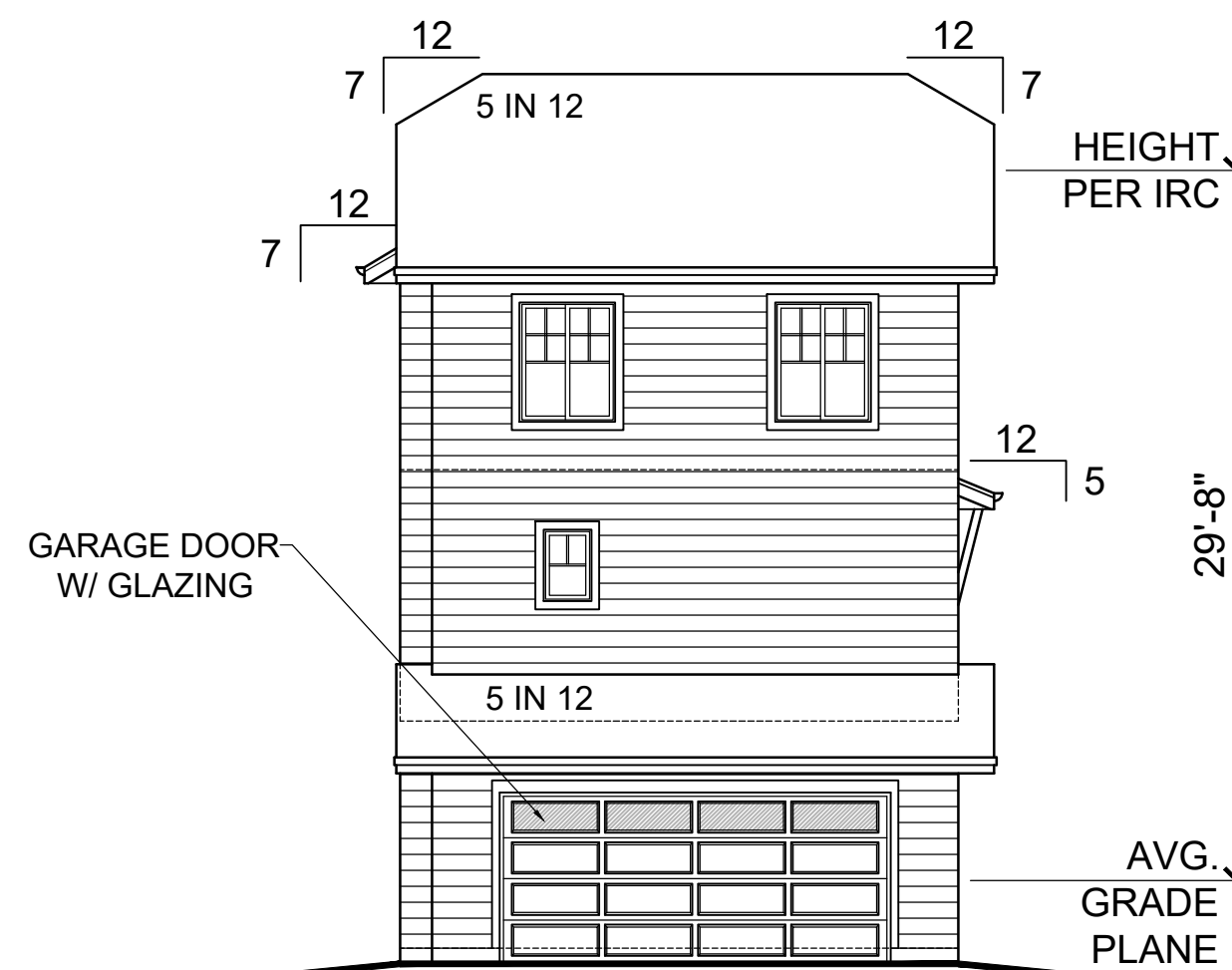
PLAN 1 ELEVATION 'E' - LEFT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



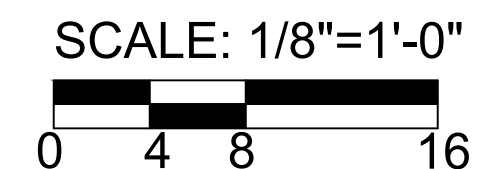
PLAN 1 ELEVATION 'E' - FRONT  
43% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'E' - RIGHT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'E' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 117 OF 156

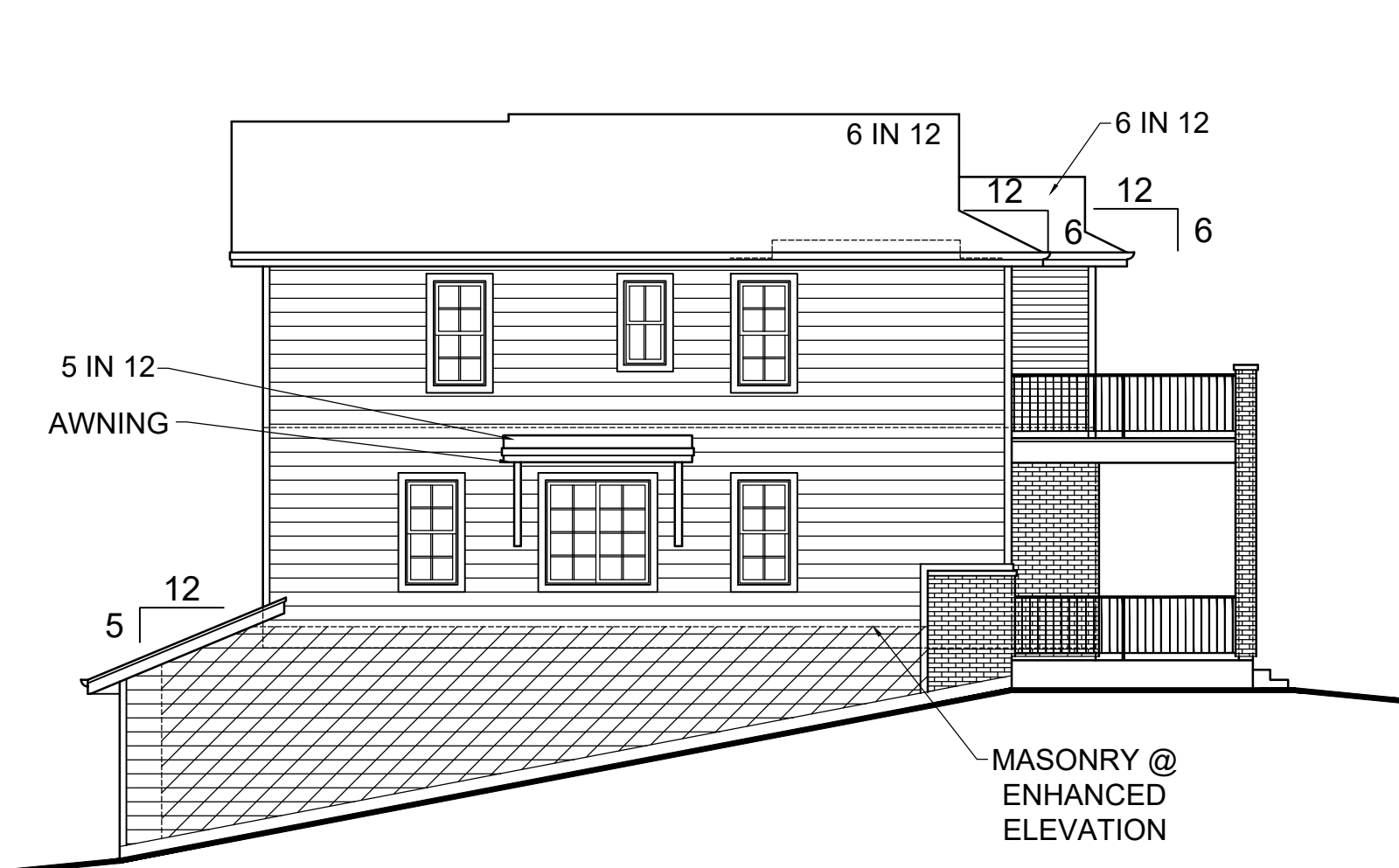
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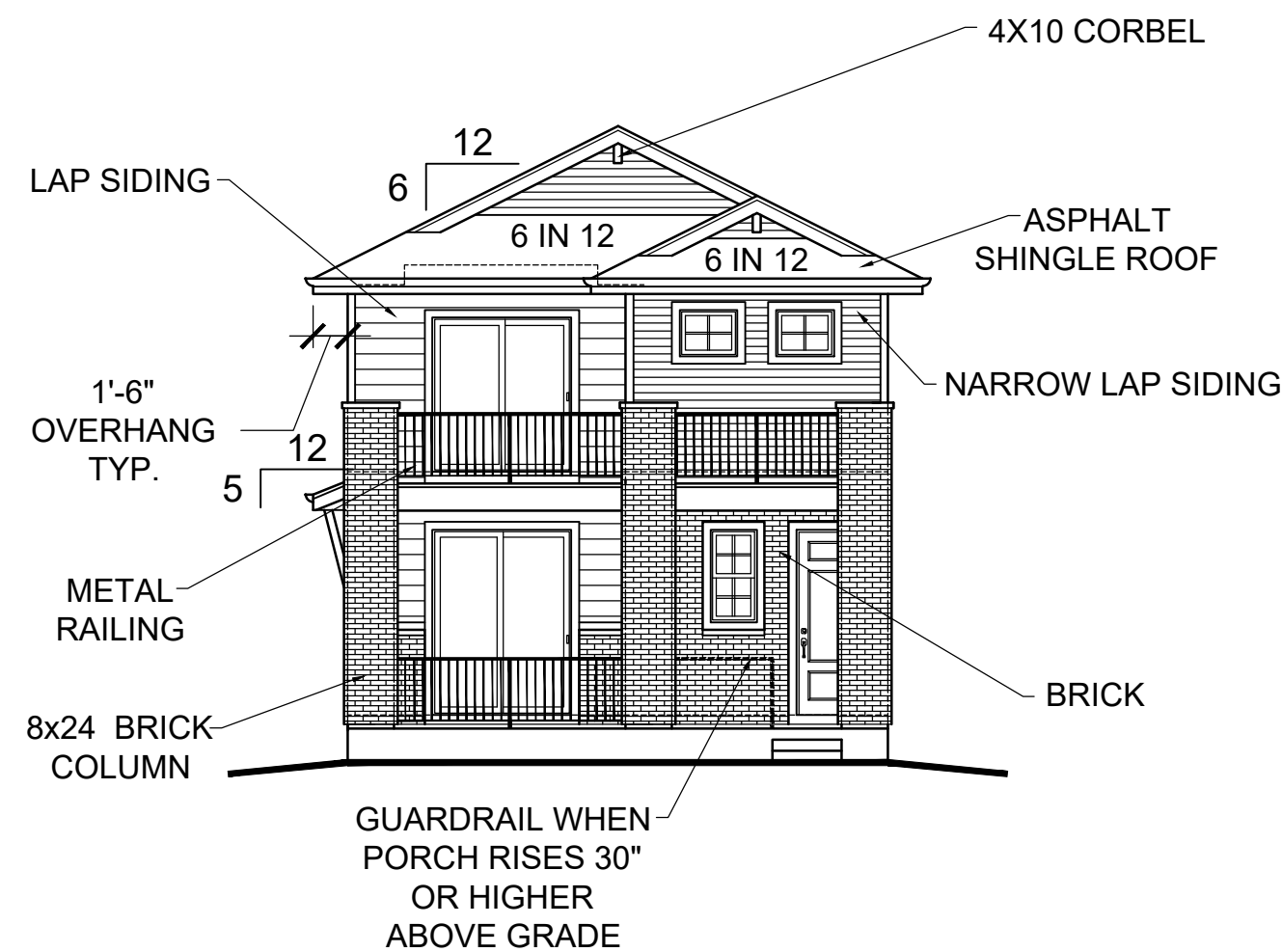
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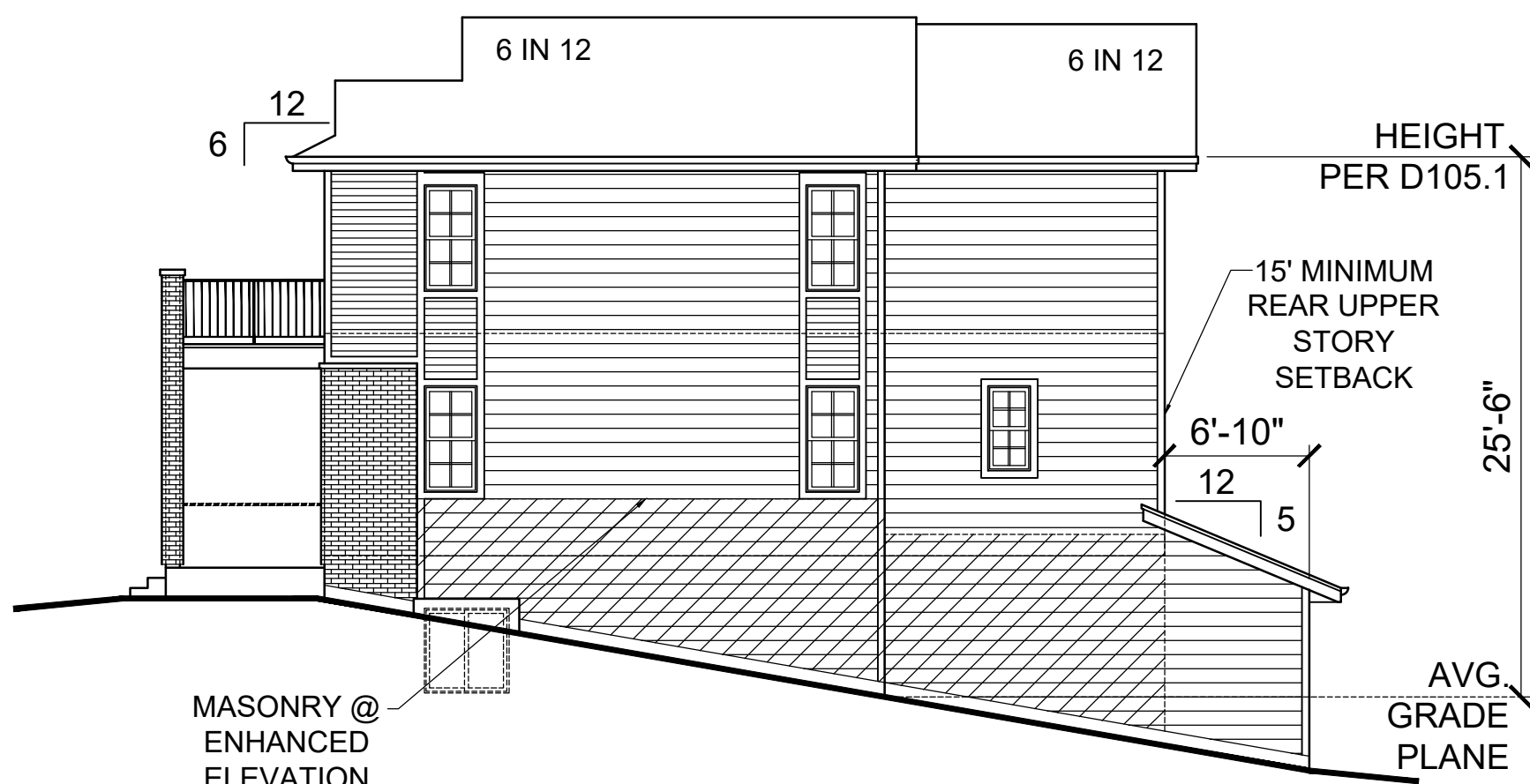
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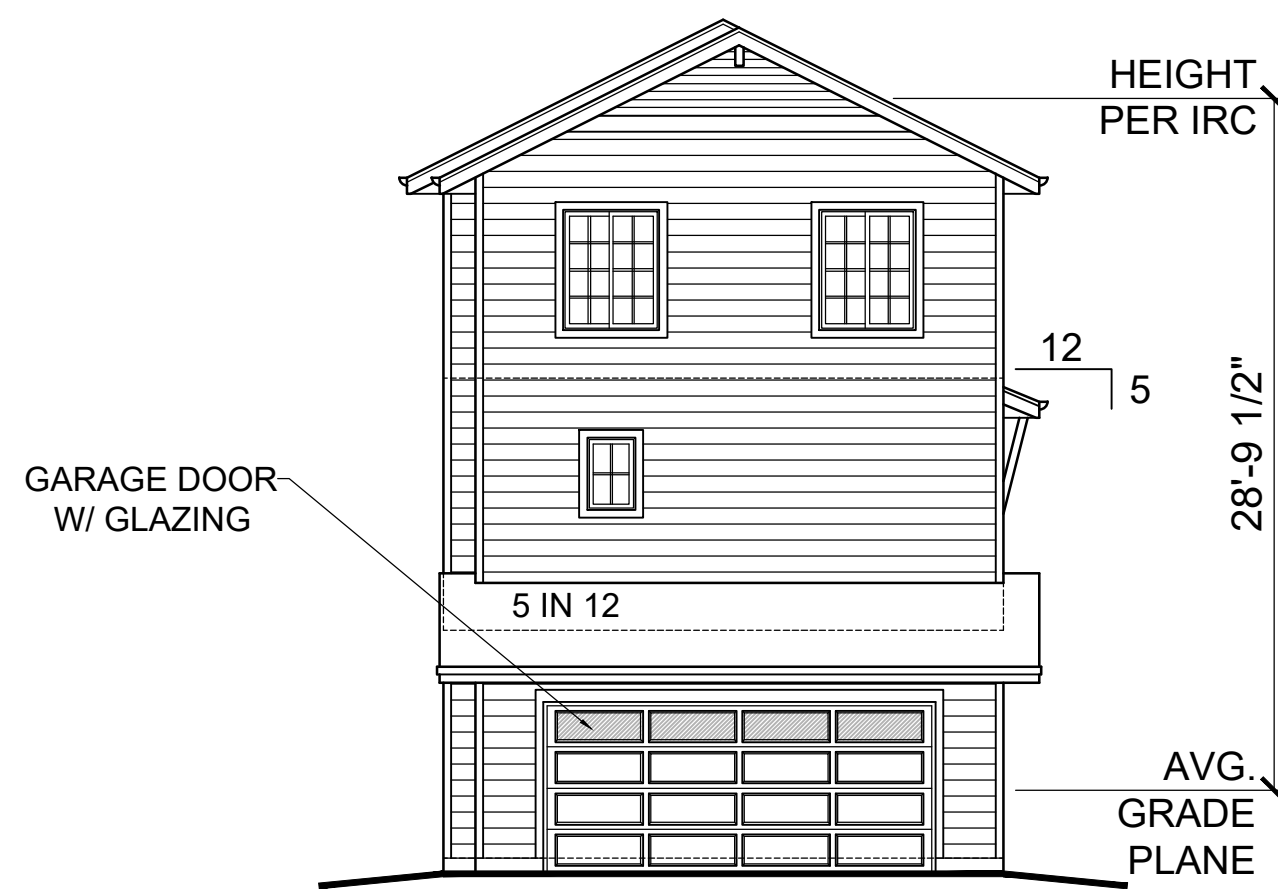
PLAN 1 ELEVATION 'F' - LEFT  
35% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



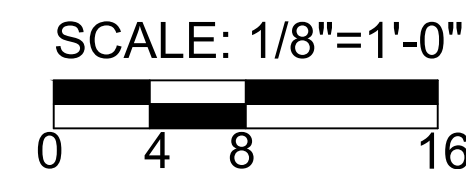
PLAN 1 ELEVATION 'F' - FRONT  
44% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'F' - RIGHT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'F' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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 SHEET 118 OF 156

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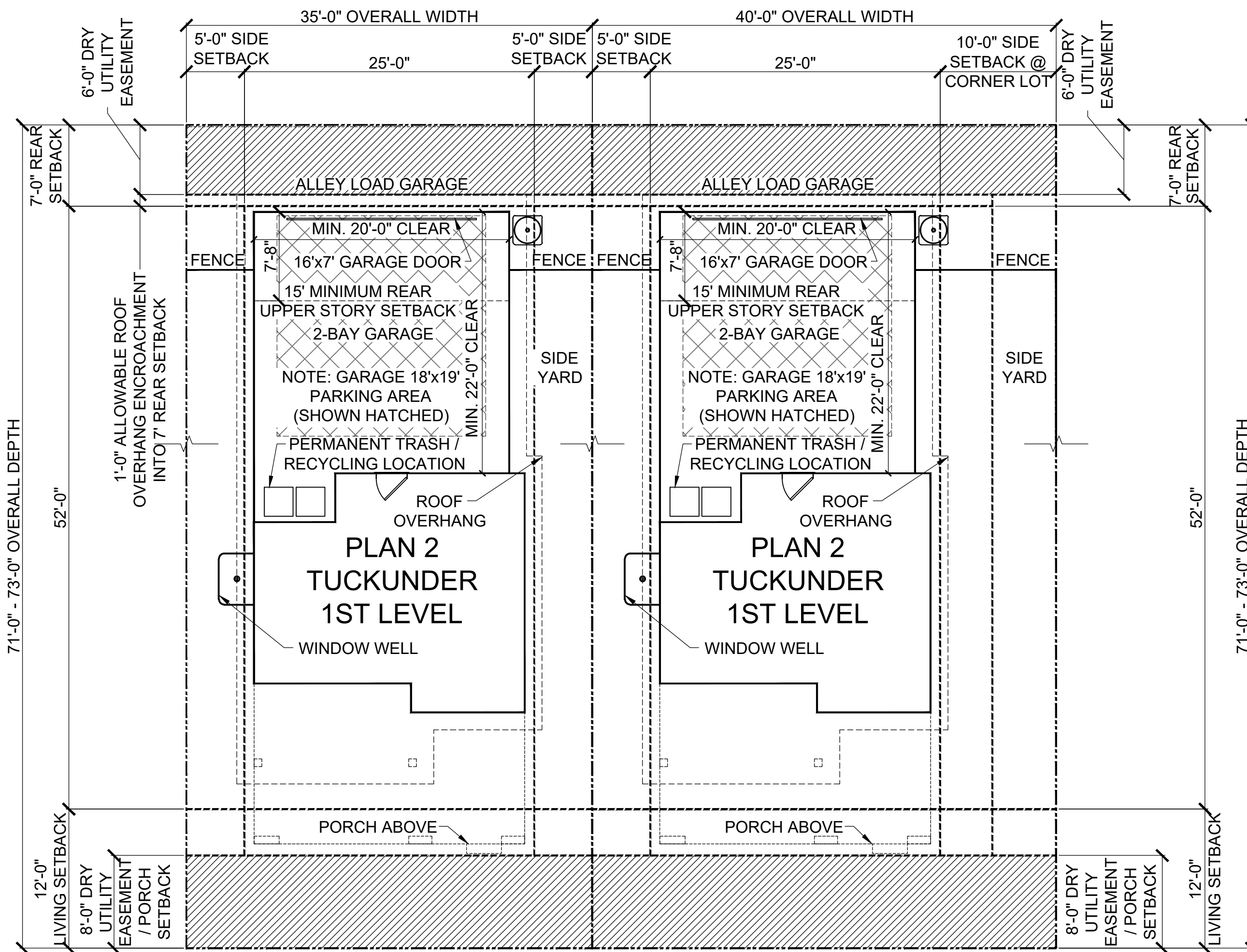
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 OFFICIAL DEVELOPMENT PLAN  
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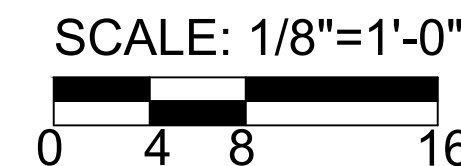
NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY TUCKUNDER  
 LOT TYPICAL PLAN 2 - 1ST LEVEL**

ELEVATION STYLE 'D' SHOWN, 'E' & 'F' SIMILAR SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024	
10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 119 OF 156

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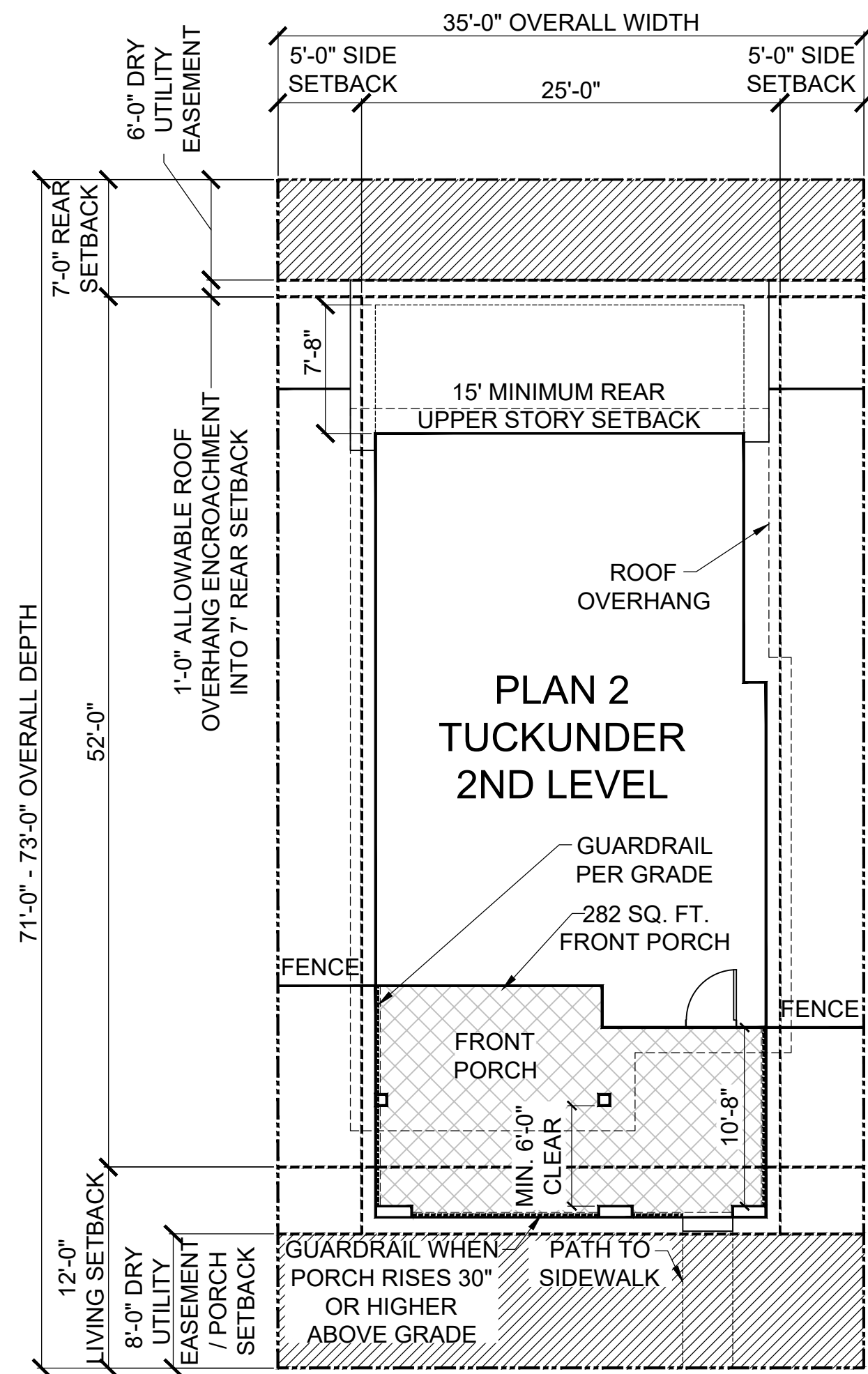
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WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

119 OF 156  
SFD TUCKUNDER  
PLAN 2 LOT TYPICALS

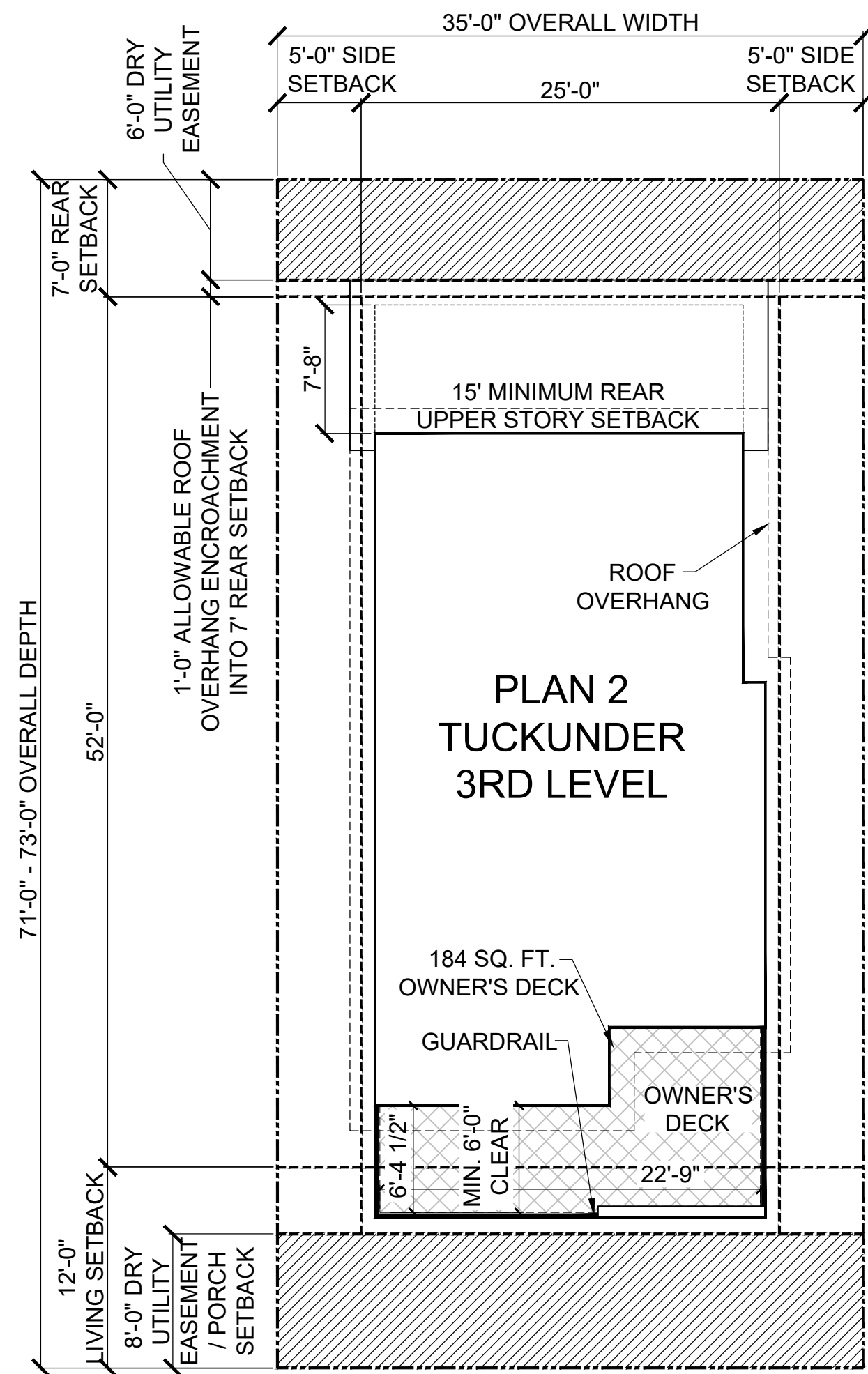


SINGLE FAMILY TUCKUNDER  
LOT TYPICAL PLAN 2 - 2ND LEVEL

1,956 TOTAL SQ. FT.

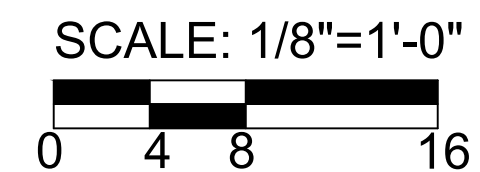
SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 464 TOTAL SQ. FT.  
FRONT PORCH: 281 SQ. FT.  
OWNER'S DECK: 183 SQ. FT.



SINGLE FAMILY TUCKUNDER  
LOT TYPICAL PLAN 2 - 3RD LEVEL

SCALE: 1/8" = 1'-0"





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 120 OF 156

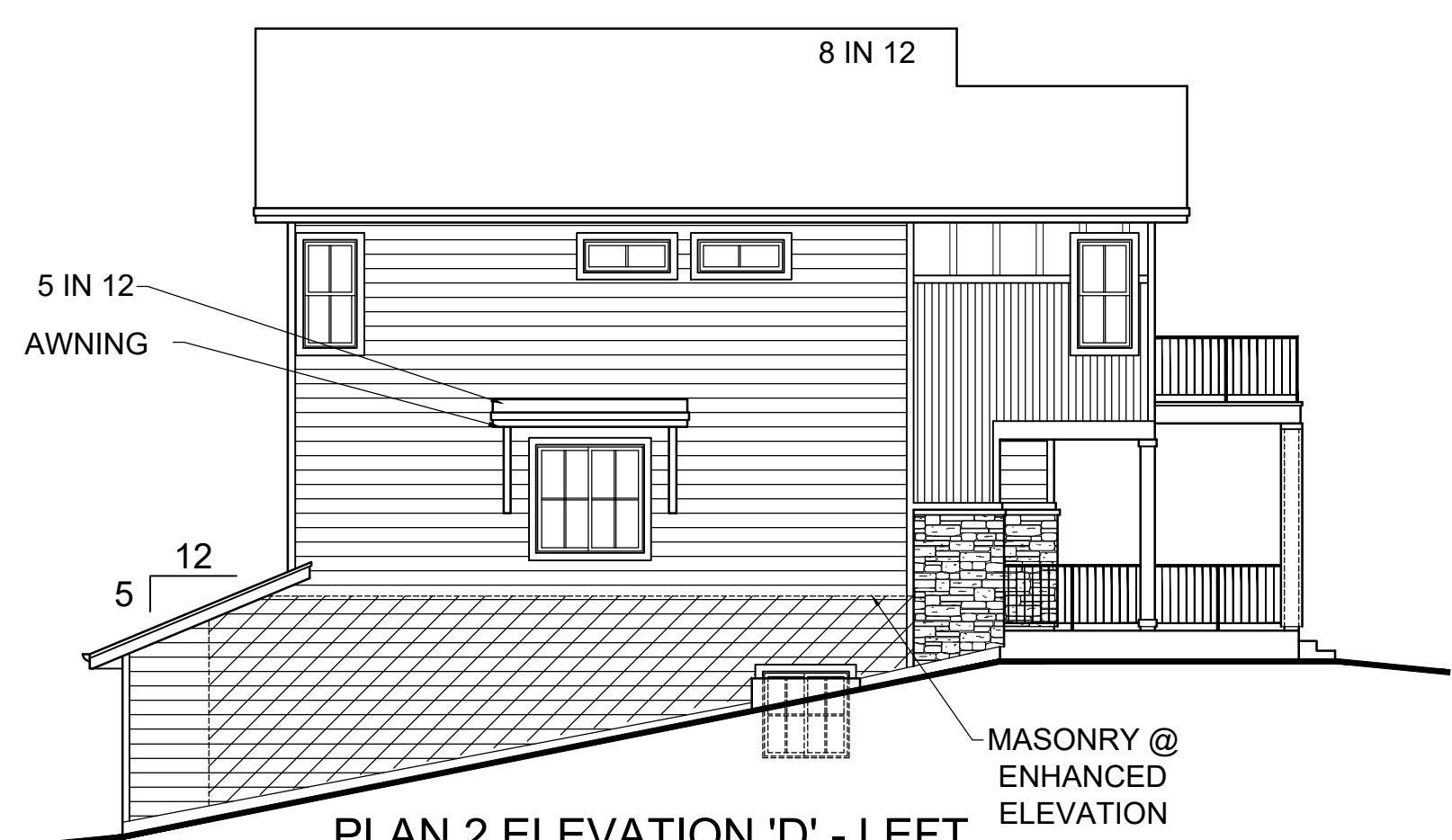
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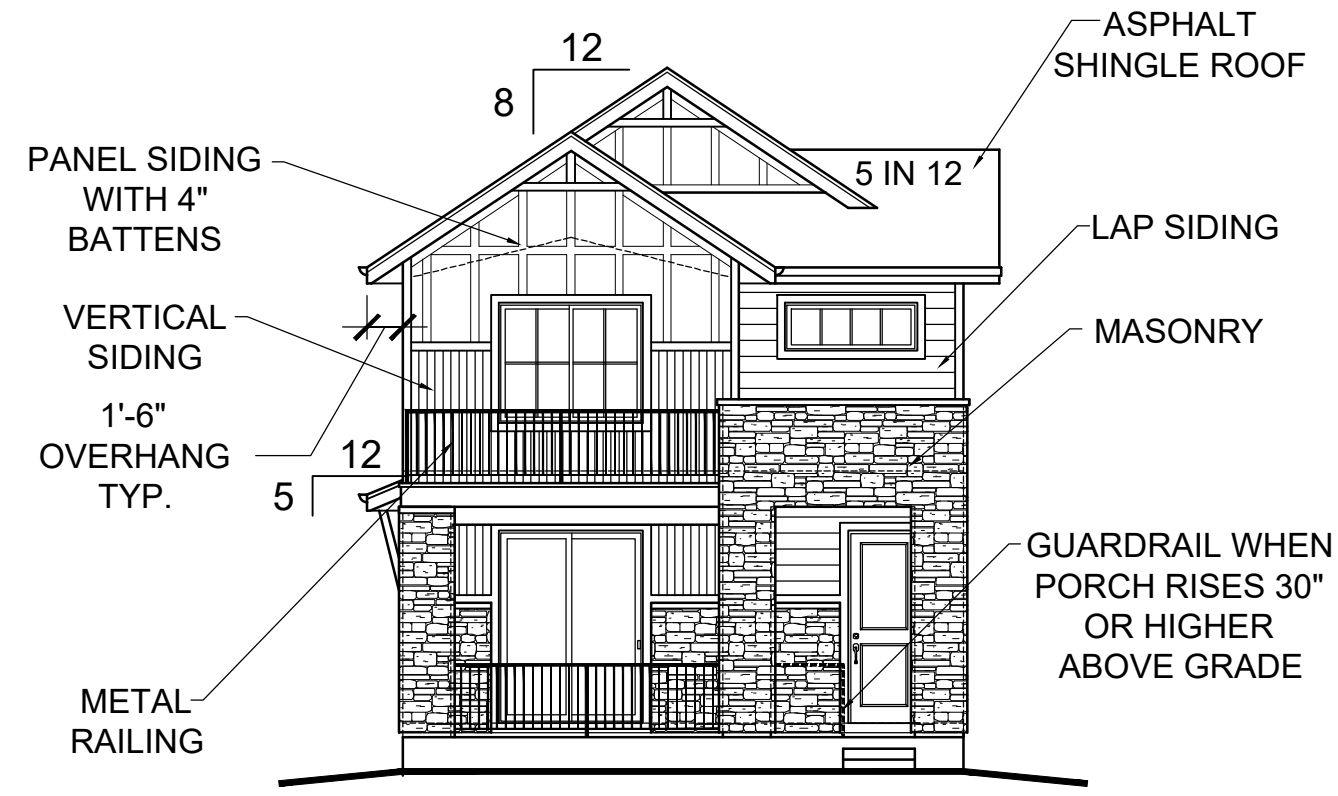
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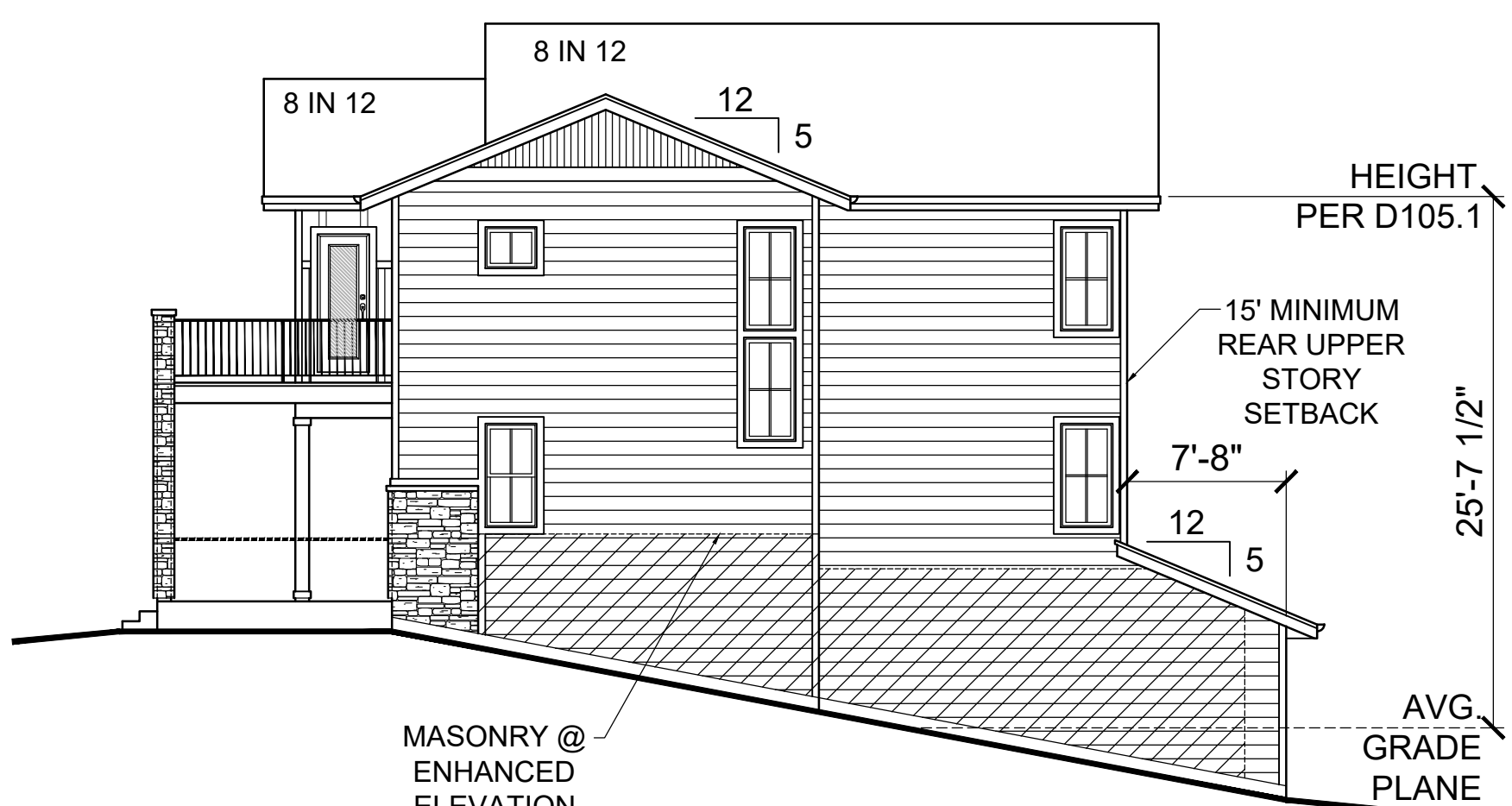
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



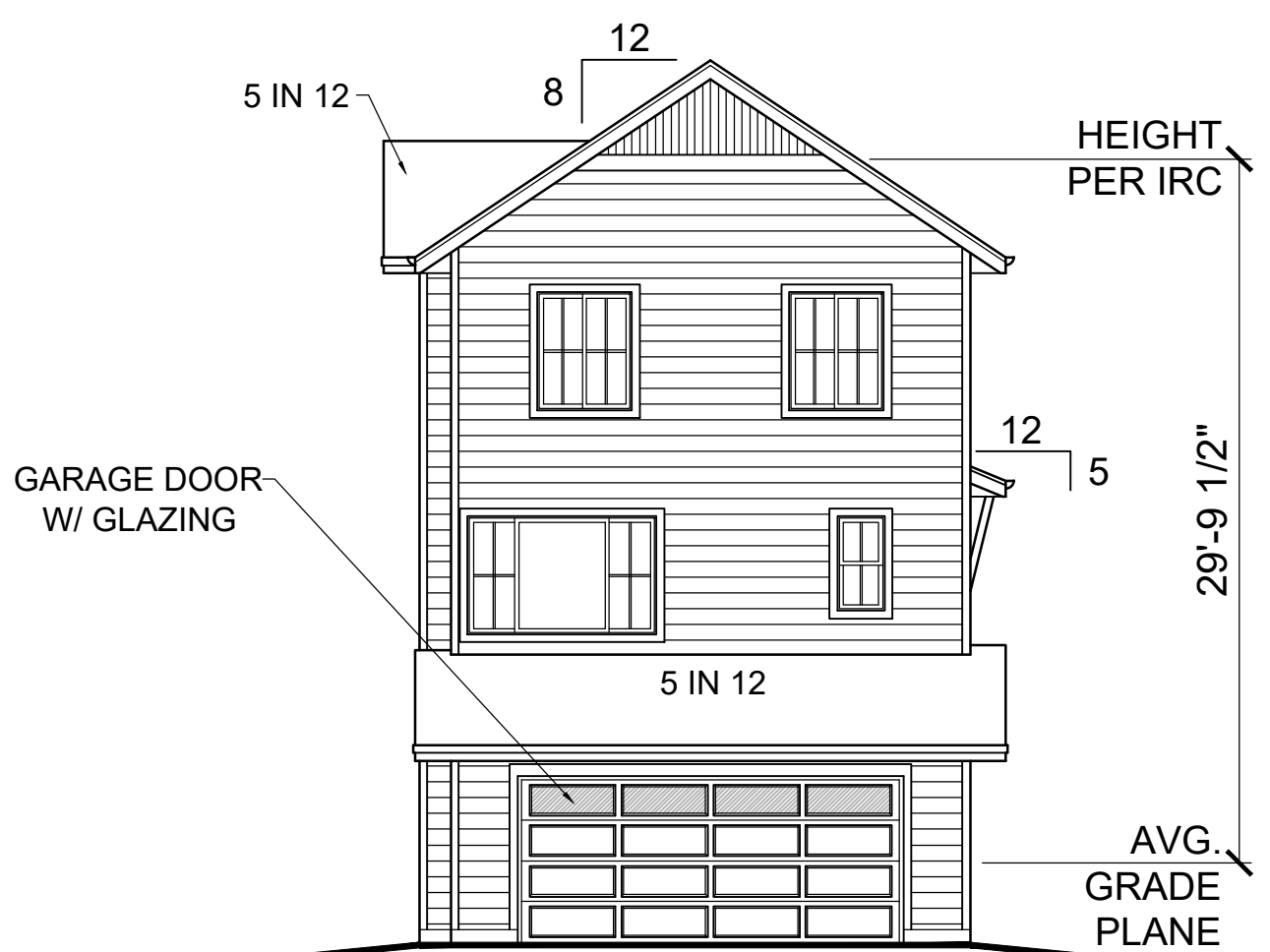
PLAN 2 ELEVATION 'D' - LEFT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



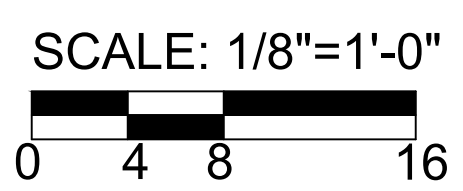
PLAN 2 ELEVATION 'D' - FRONT  
32% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'D' - RIGHT  
33% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'D' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 121 OF 156

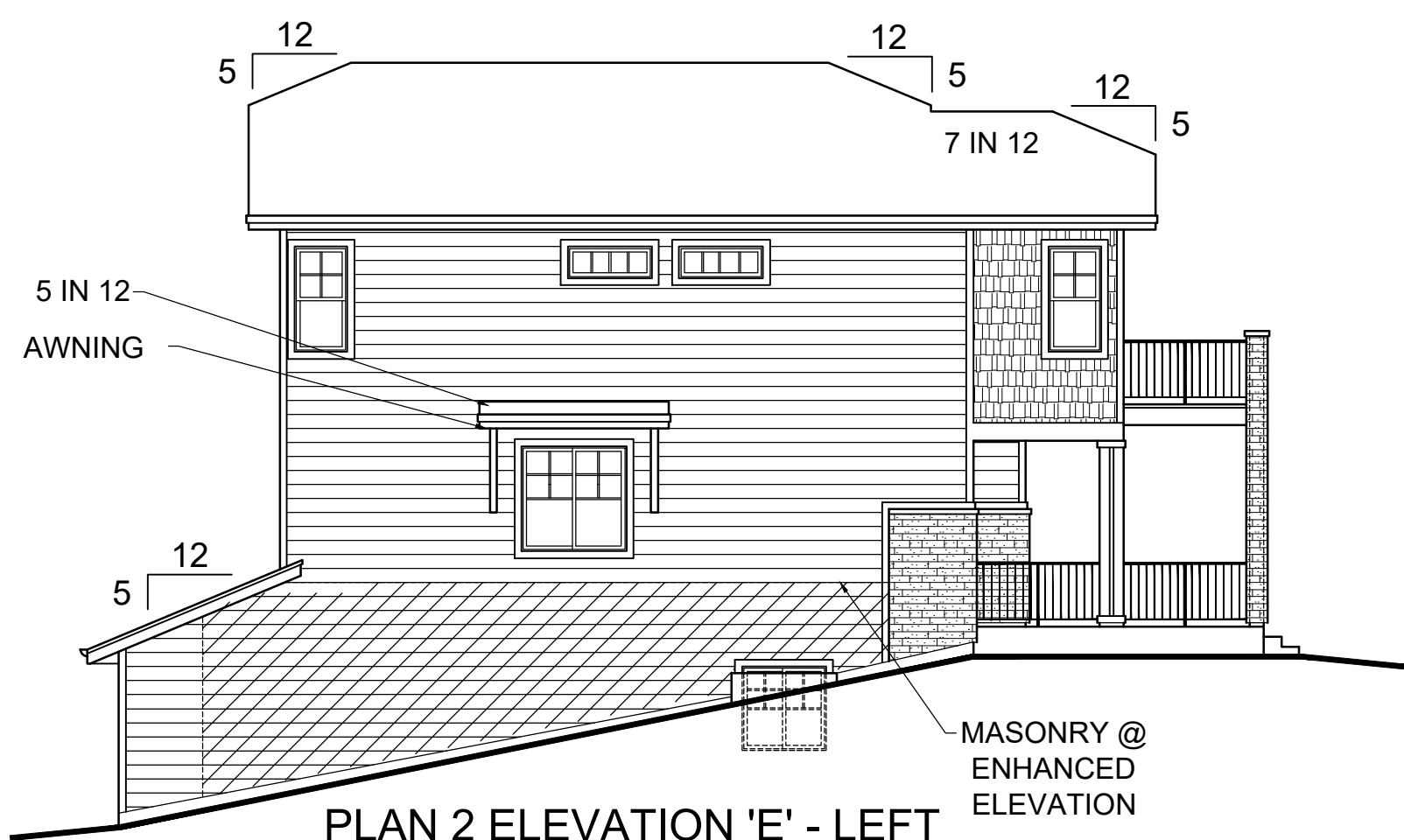
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

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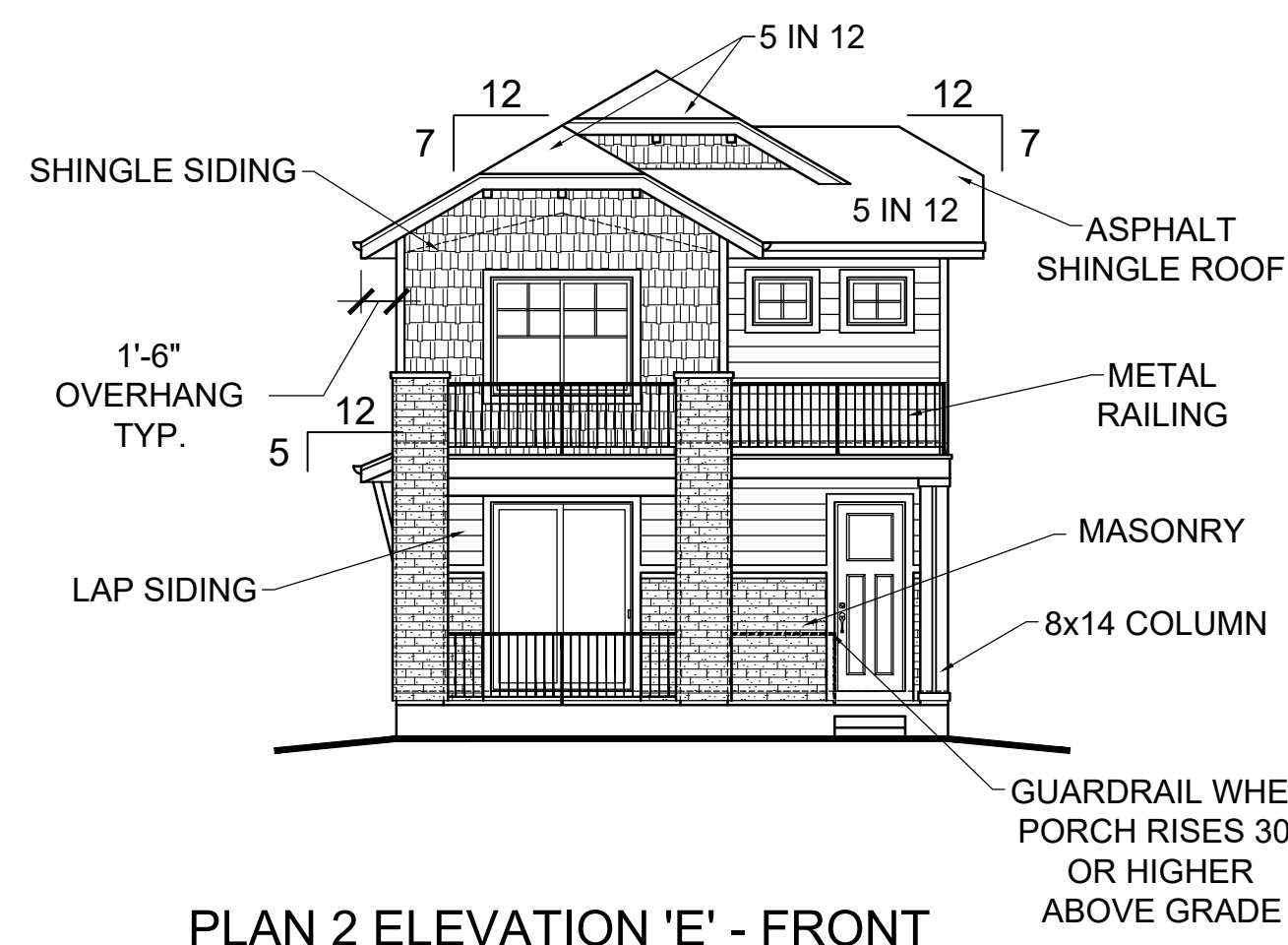
**UPLANDS**

DATE: 10.10.2024

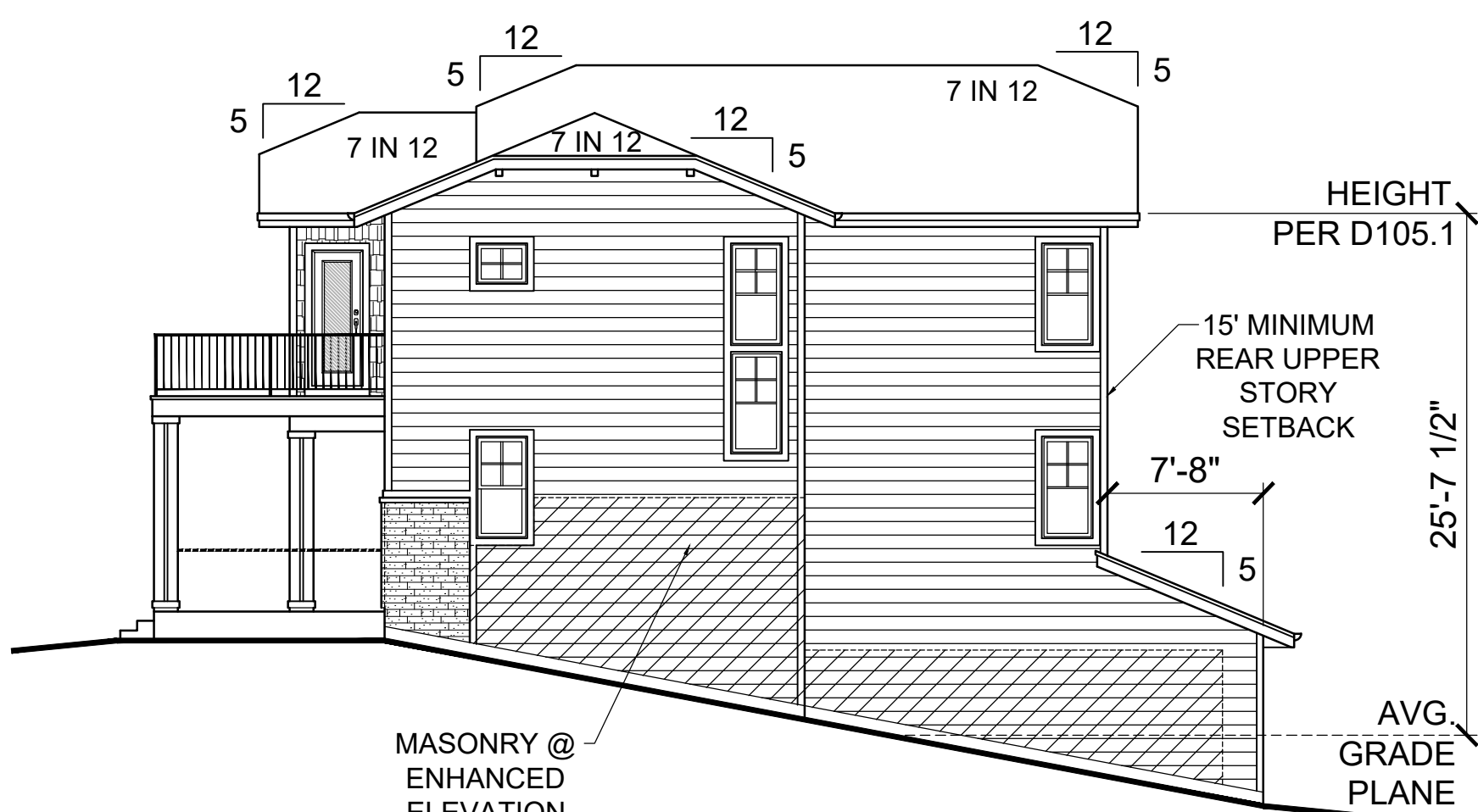
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



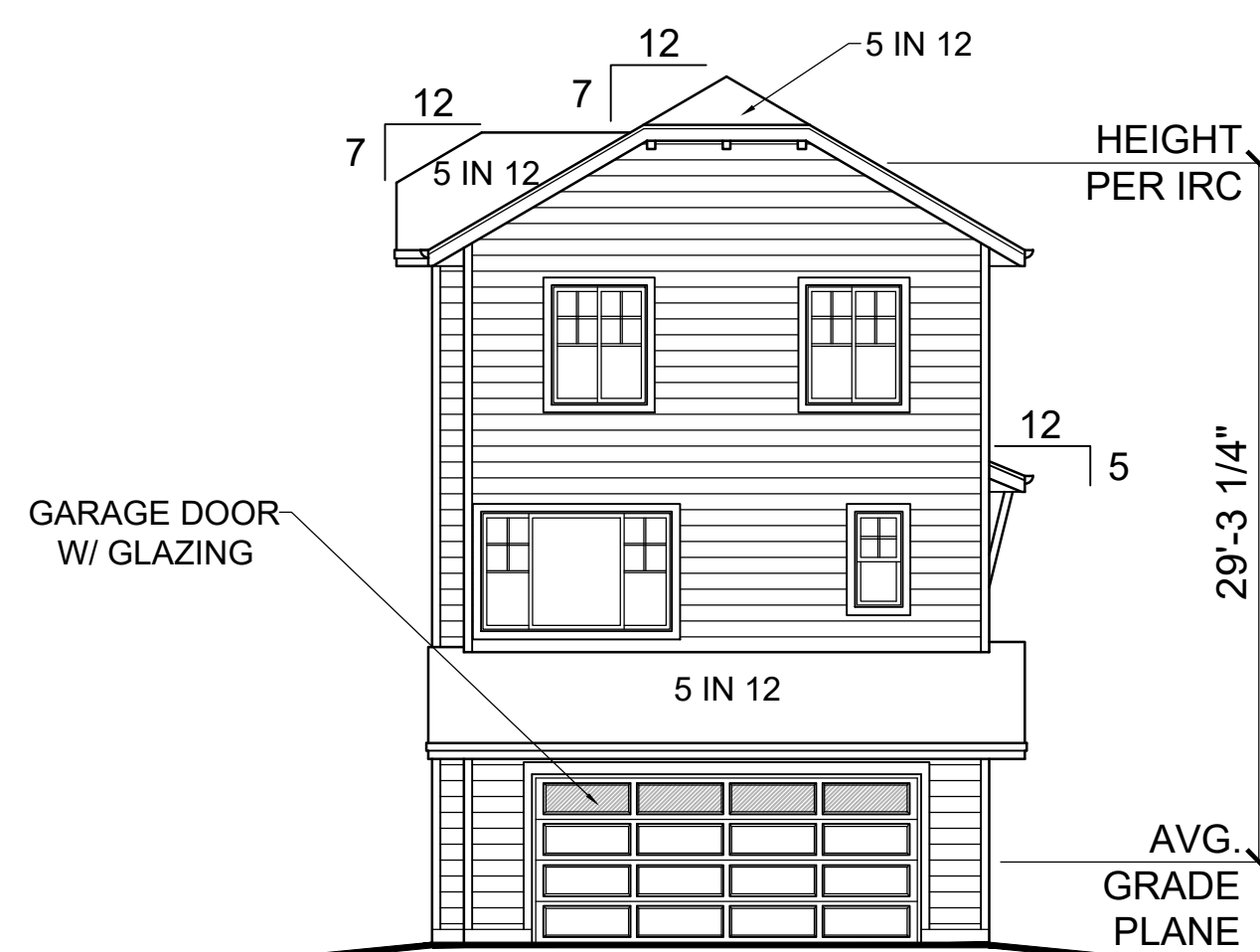
PLAN 2 ELEVATION 'E' - LEFT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



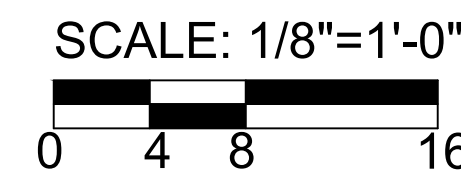
PLAN 2 ELEVATION 'E' - FRONT  
50% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'E' - RIGHT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'E' - REAR  
SCALE: 1/8" = 1'-0"



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	08.08.2024	10.10.2024	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 122 OF 156

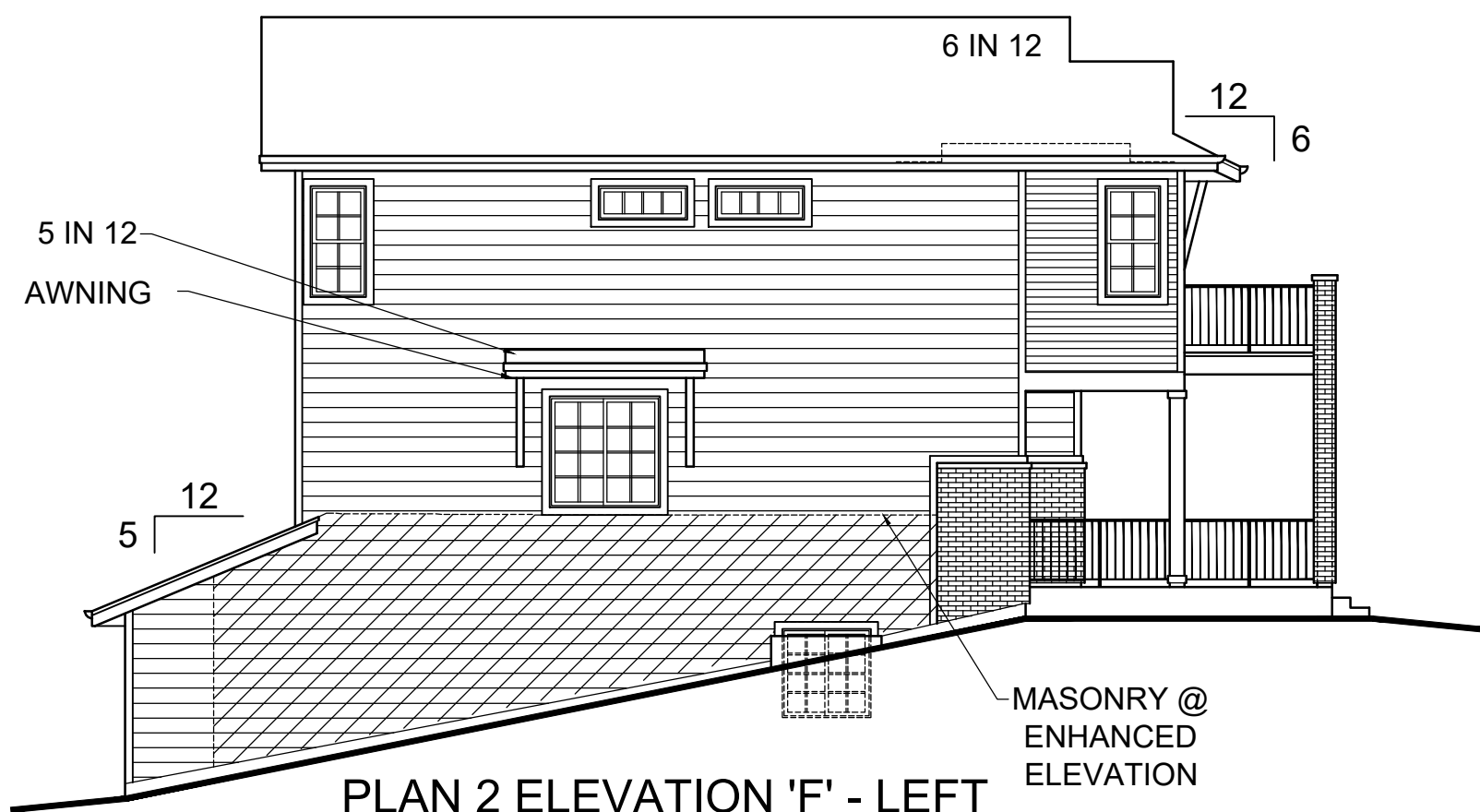
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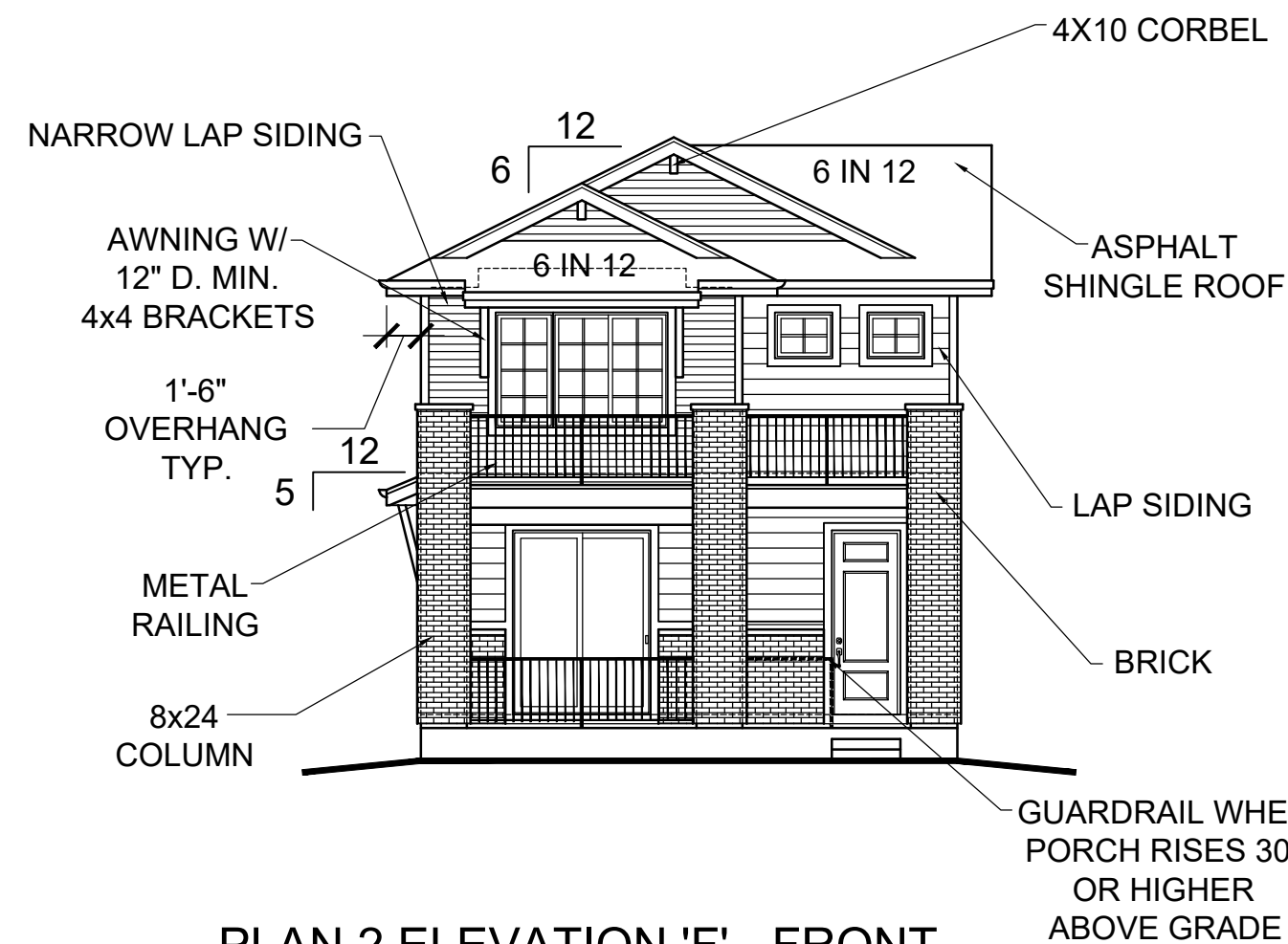
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DATE: 10.10.2024

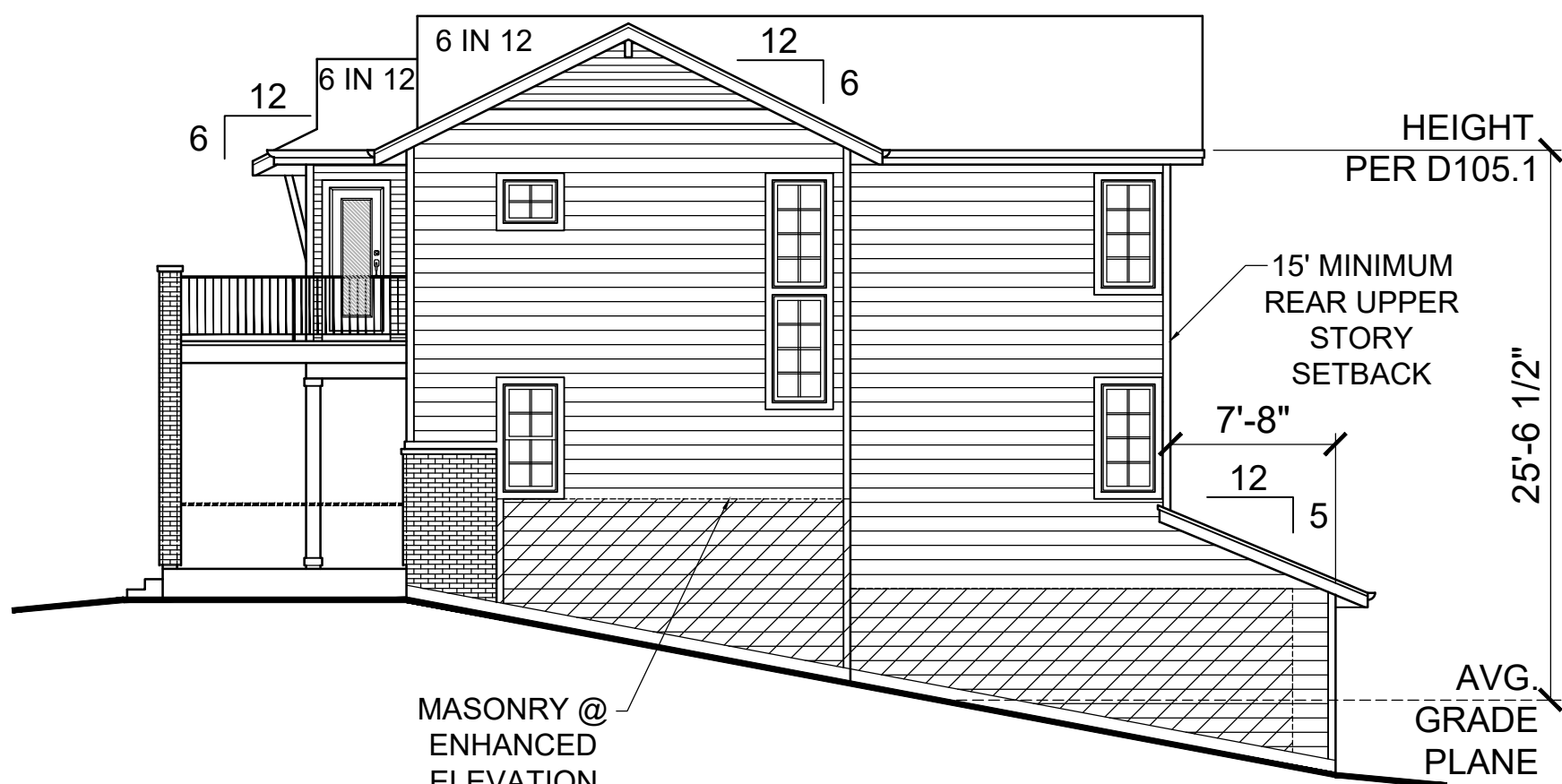
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



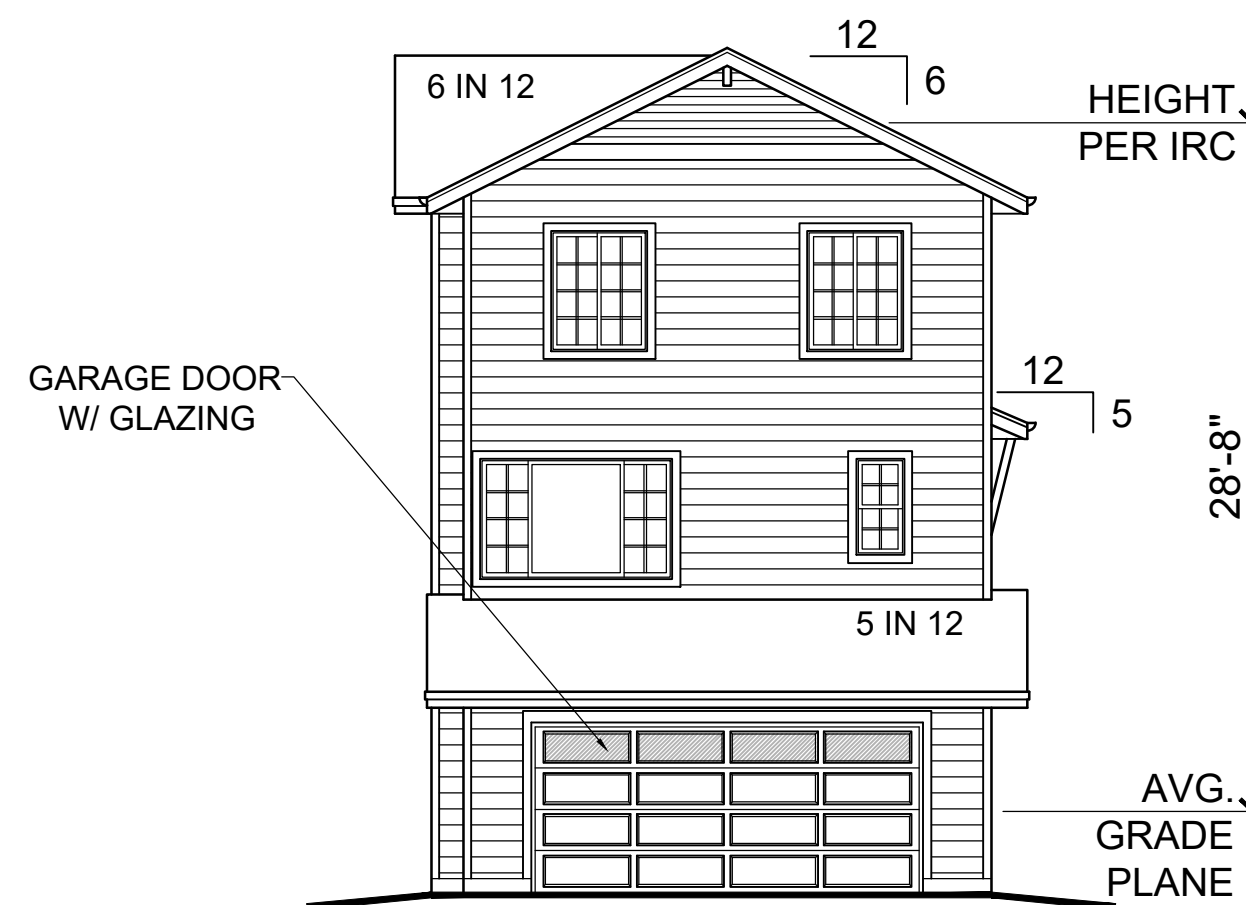
PLAN 2 ELEVATION 'F' - LEFT  
36% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



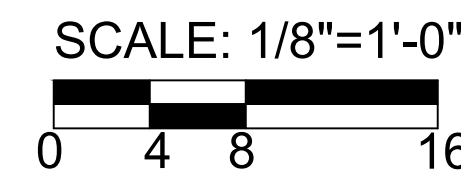
PLAN 2 ELEVATION 'F' - FRONT  
37% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'F' - RIGHT  
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'F' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 123 OF 156

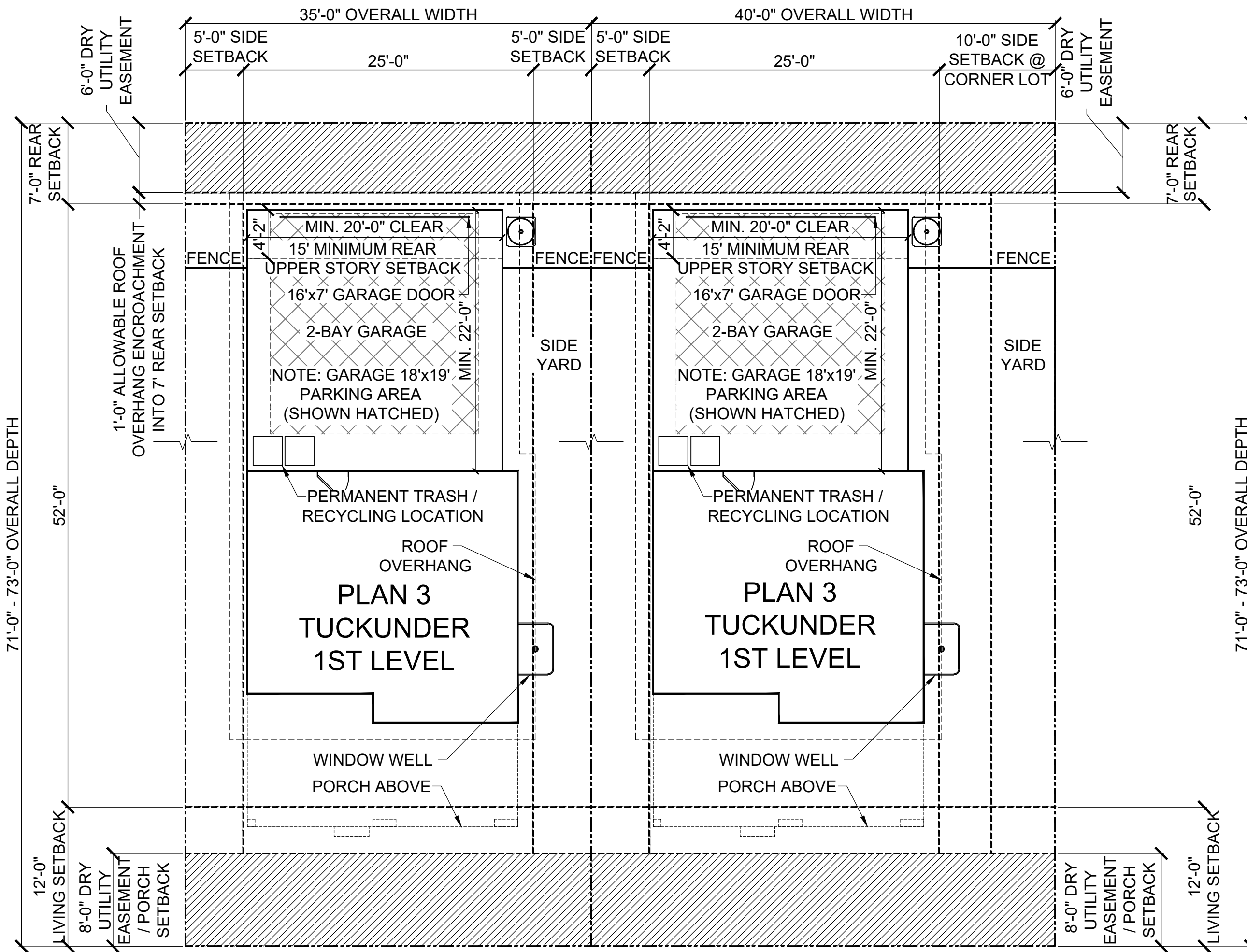
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**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
  2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
  4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
  5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
  6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
  7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY TUCKUNDER  
 LOT TYPICAL PLAN 3 - 1ST LEVEL**  
 ELEVATION STYLE 'D' SHOWN, 'E' & 'F' SIMILAR SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024

123 OF 156  
 SFD TUCKUNDER  
 PLAN 3 LOT TYPICALS

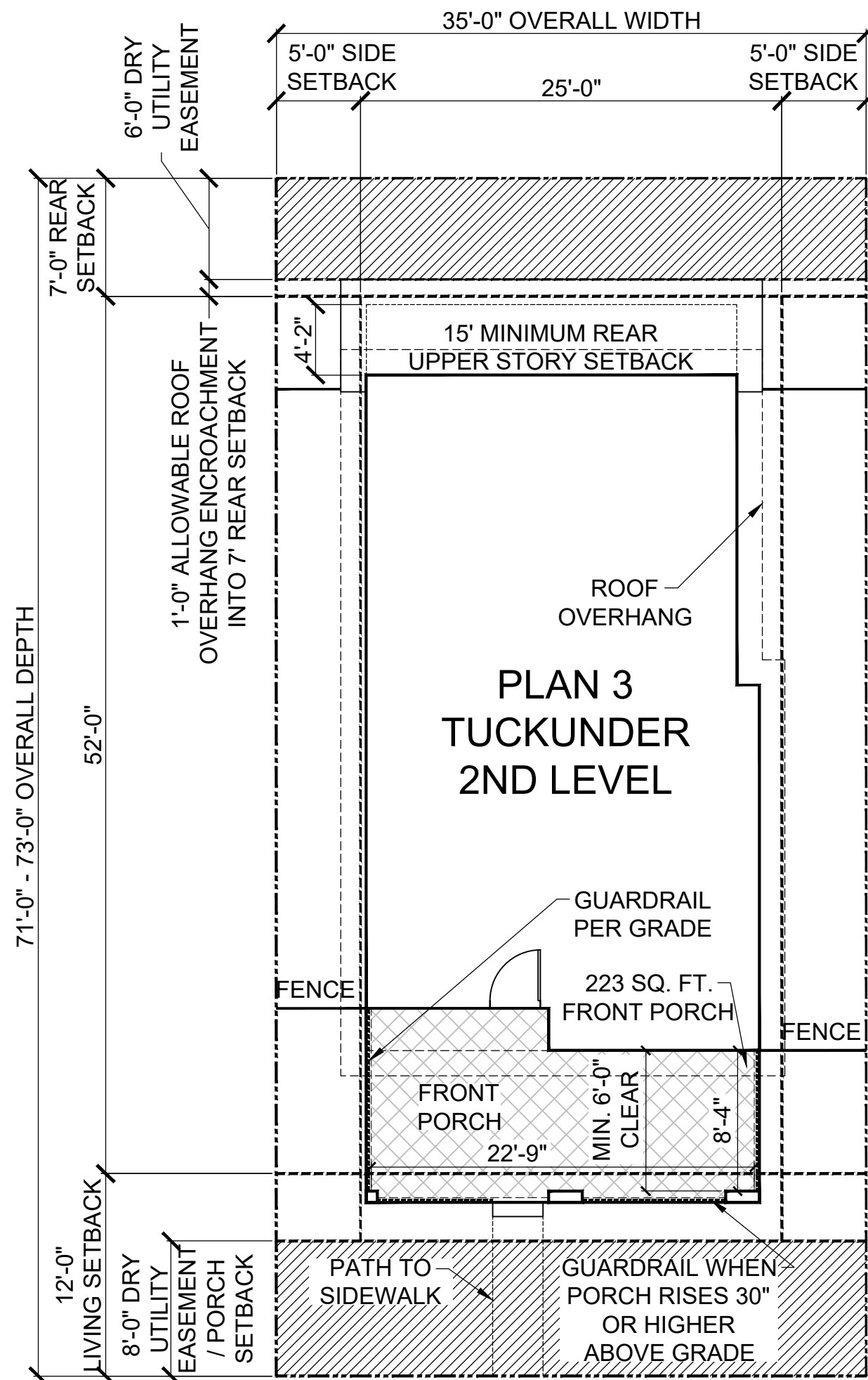
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
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DATE: 10.10.2024

**UPLANDS FILING NO. 1  
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

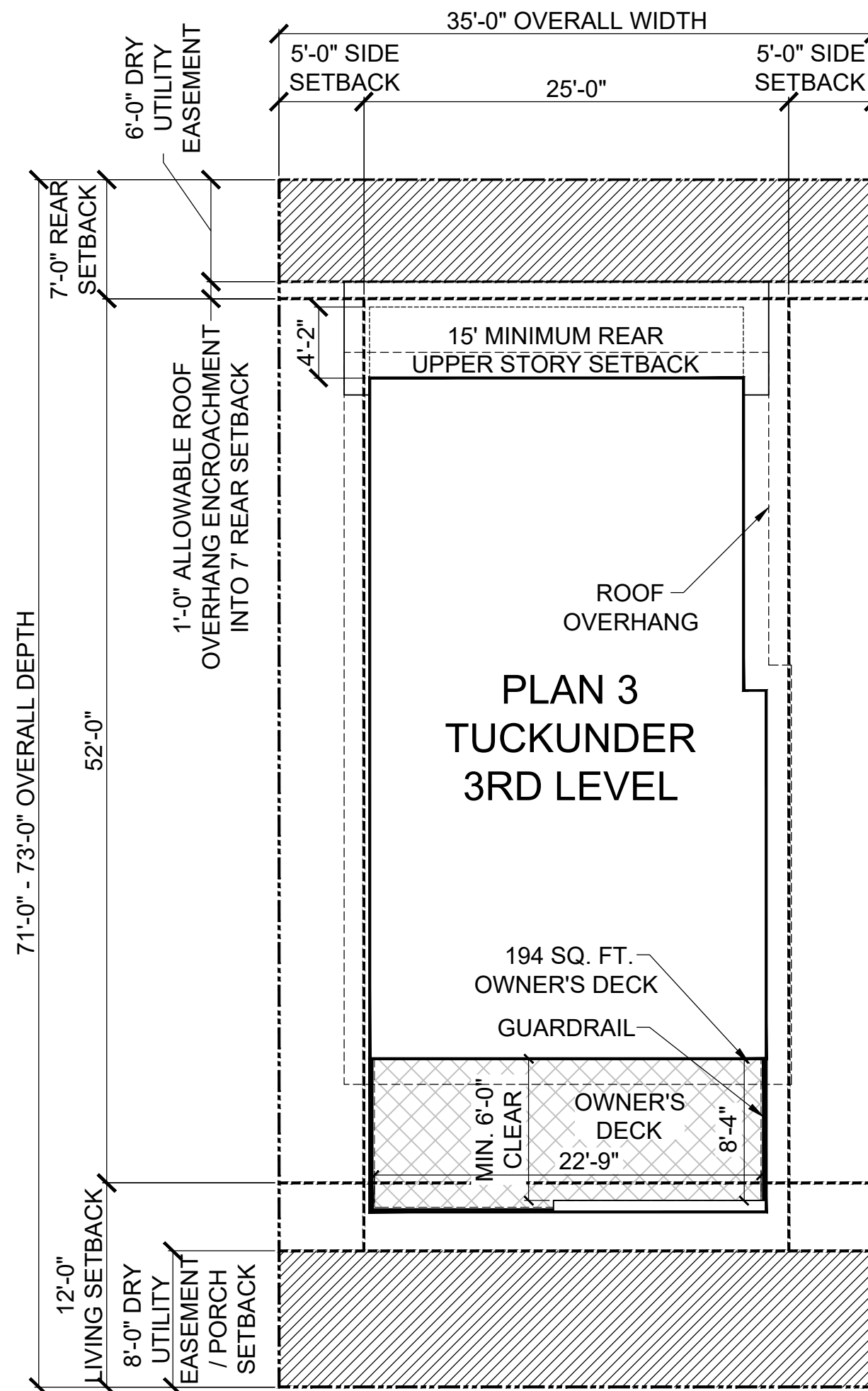


**SINGLE FAMILY TUCKUNDER  
 LOT TYPICAL PLAN 3 - 2ND LEVEL**

2,173 TOTAL SQ. FT.

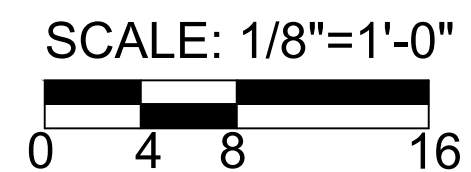
SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 416 TOTAL SQ. FT.  
 FRONT PORCH: 223 SQ. FT.  
 OWNER'S DECK: 193 SQ. FT.



**SINGLE FAMILY TUCKUNDER  
 LOT TYPICAL PLAN 3 - 3RD LEVEL**

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
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	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 125 OF 156

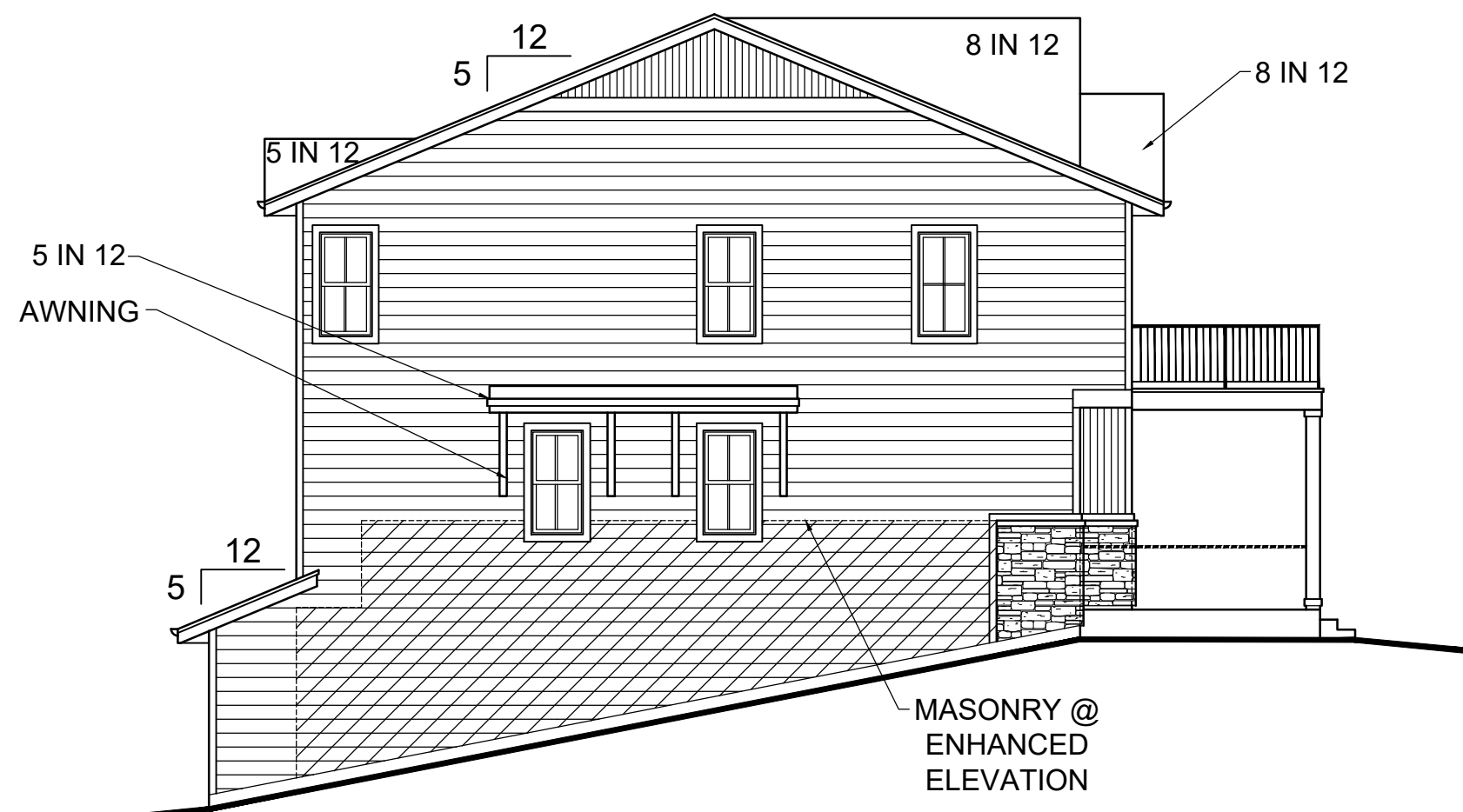
REFER TO COLOR  
BOOK FOR MATERIAL  
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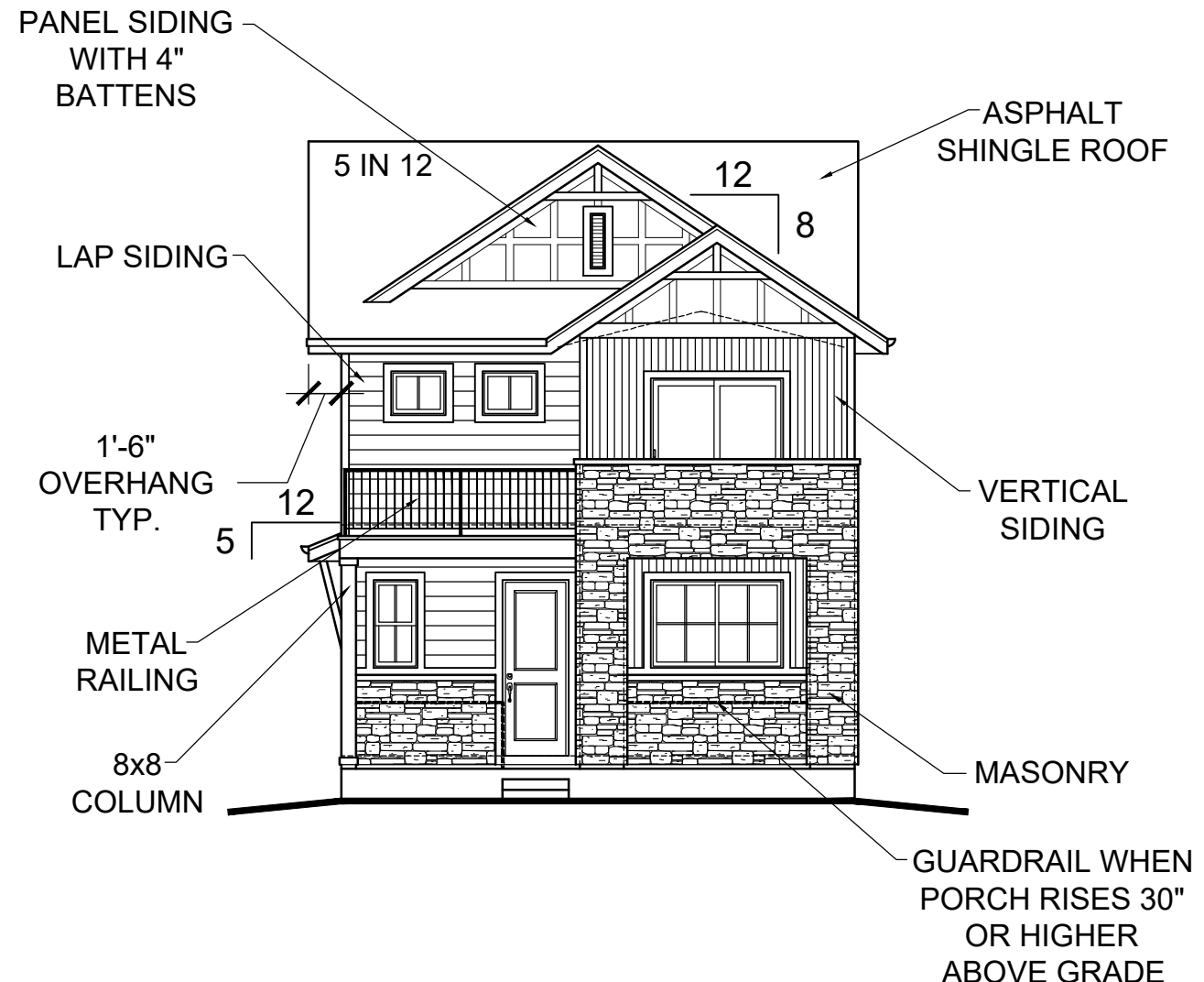
**UPLANDS**

DATE: 10.10.2024

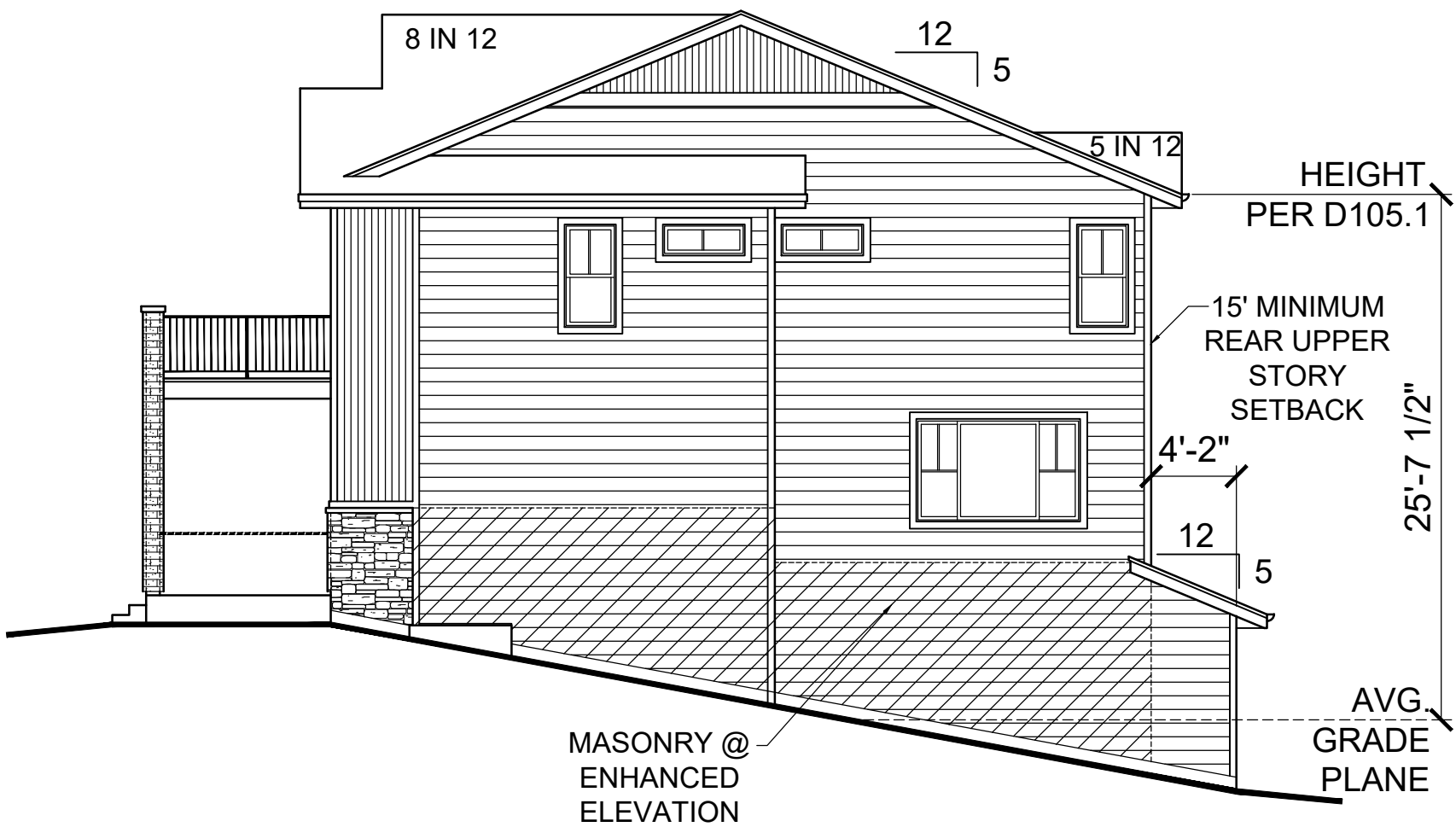
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



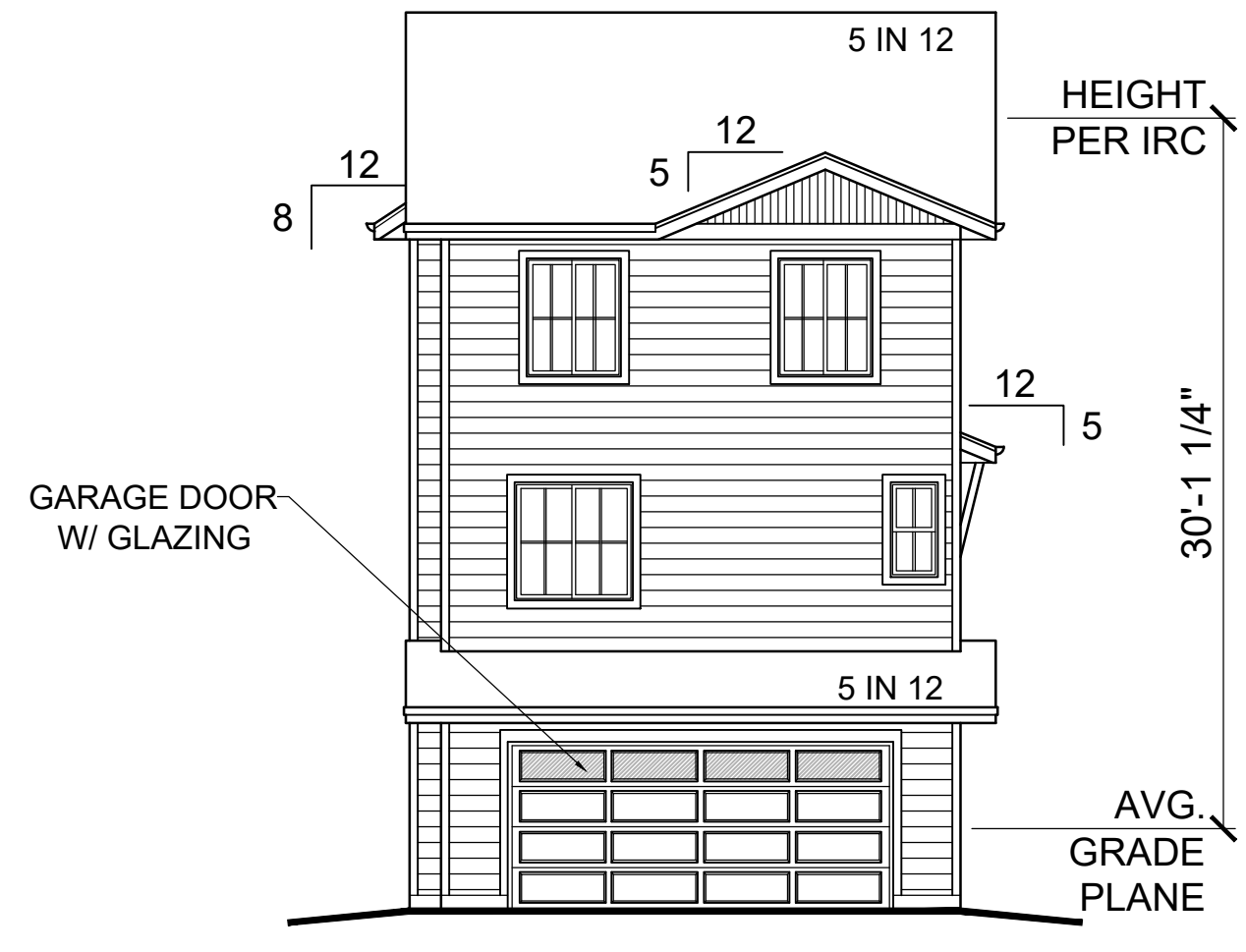
PLAN 3 ELEVATION 'D' - LEFT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



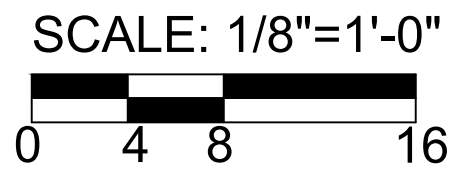
PLAN 3 ELEVATION 'D' - FRONT  
37% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'D' - RIGHT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'D' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 126 OF 156

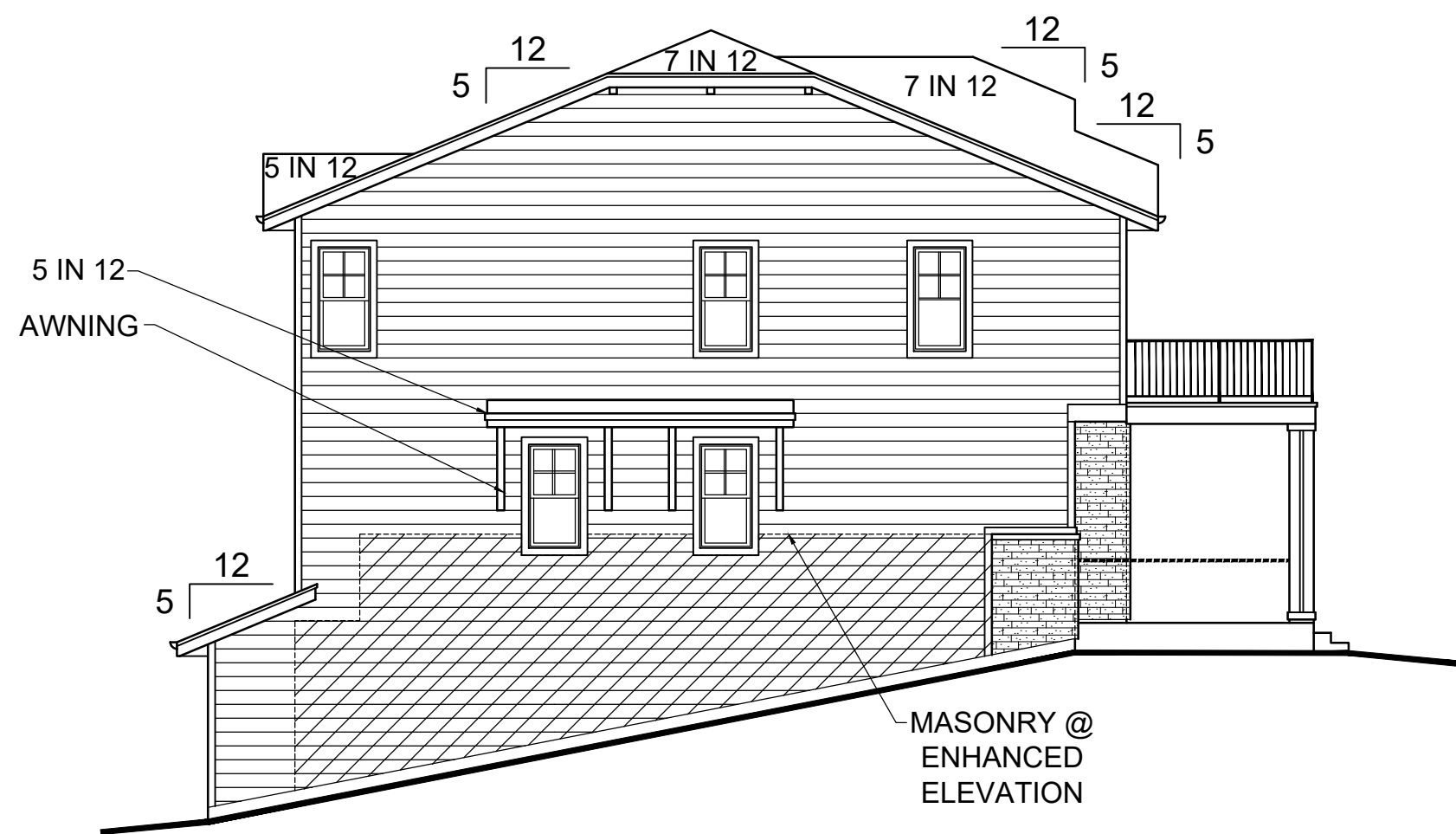
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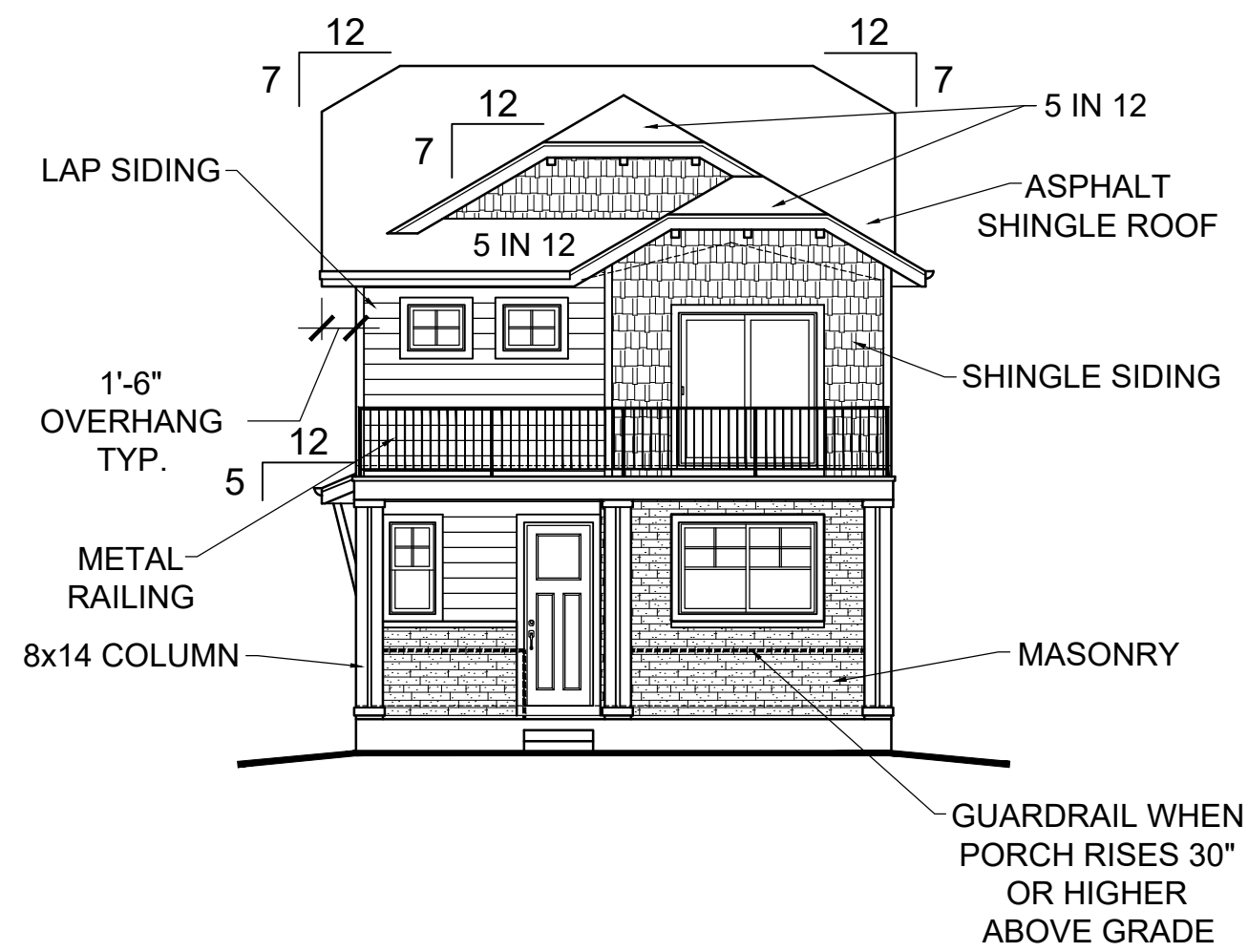
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DATE: 10.10.2024

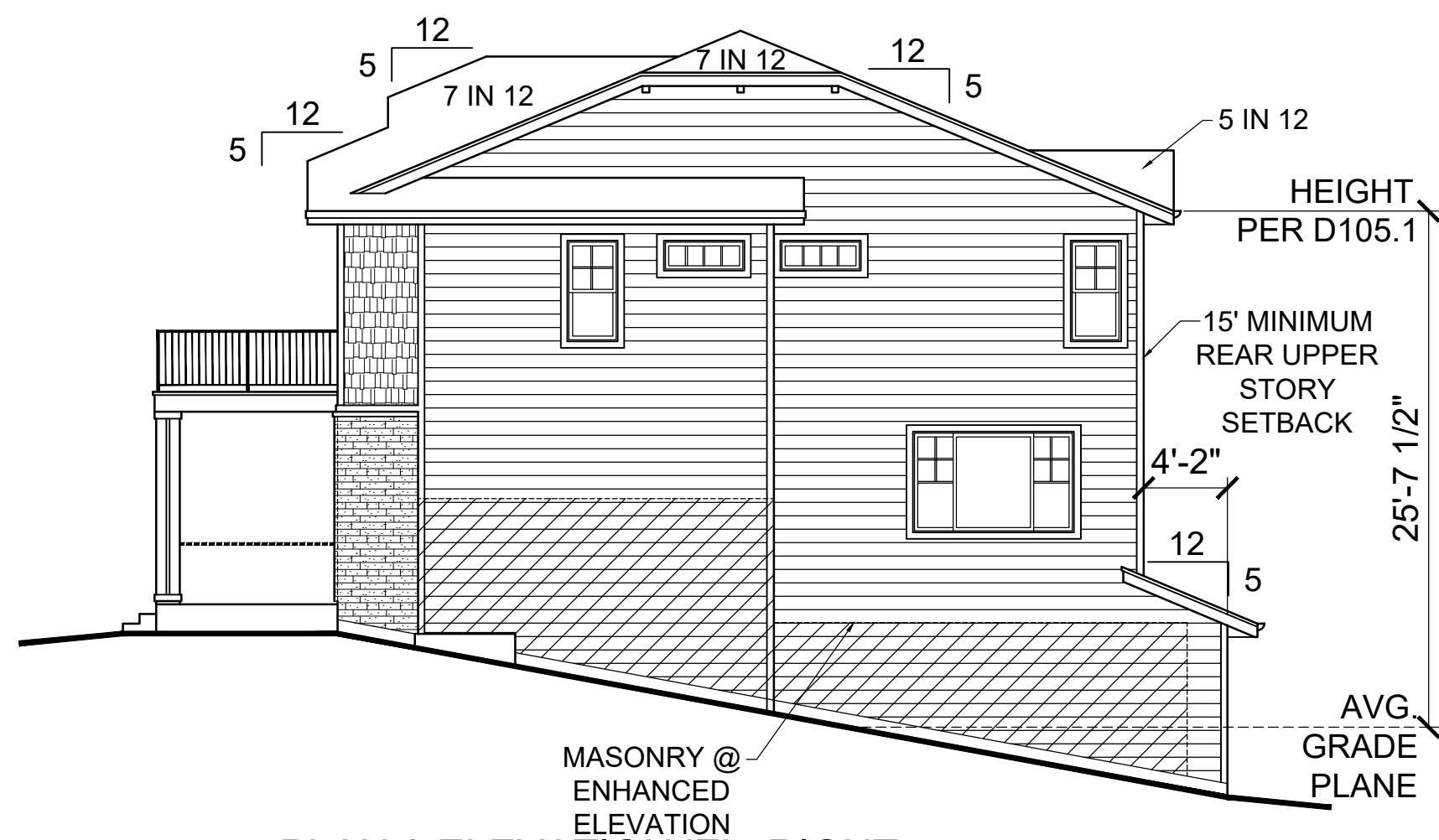
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



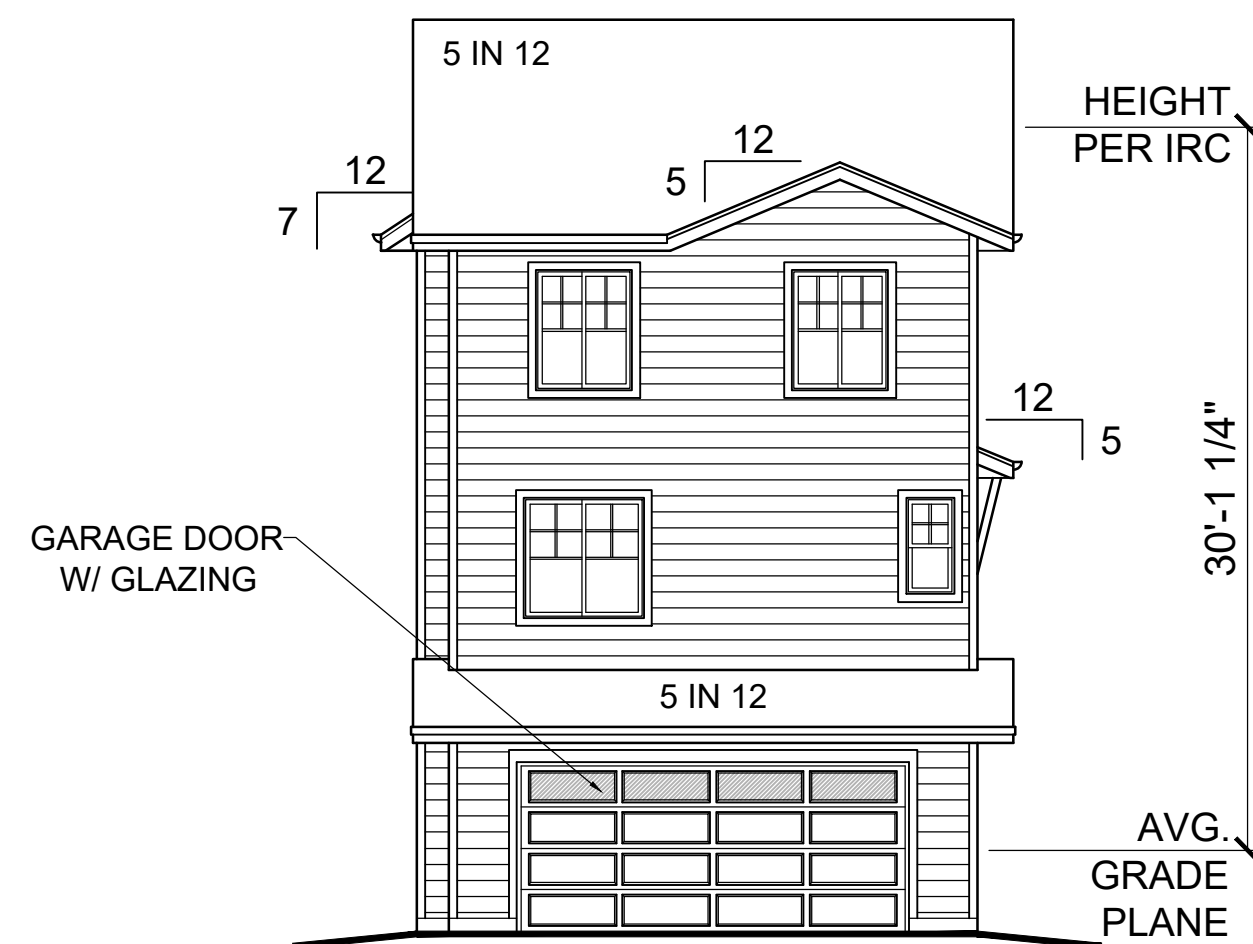
PLAN 3 ELEVATION 'E' - LEFT  
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



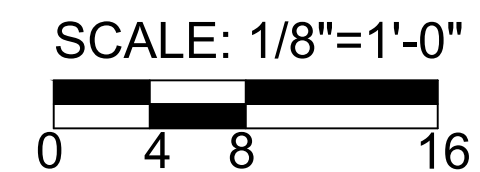
PLAN 3 ELEVATION 'E' - FRONT  
42% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'E' - RIGHT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'E' - REAR  
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 127 OF 156

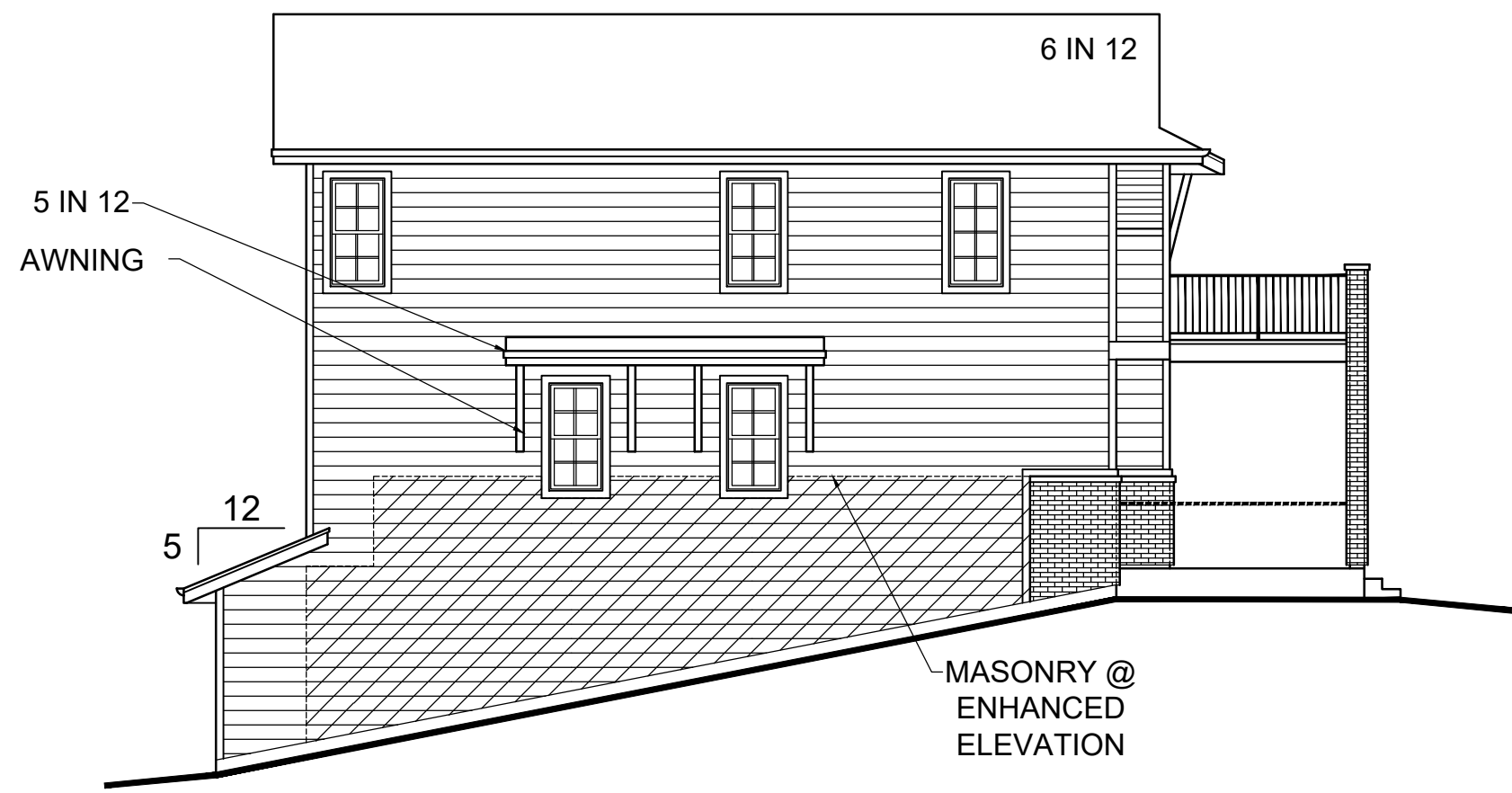
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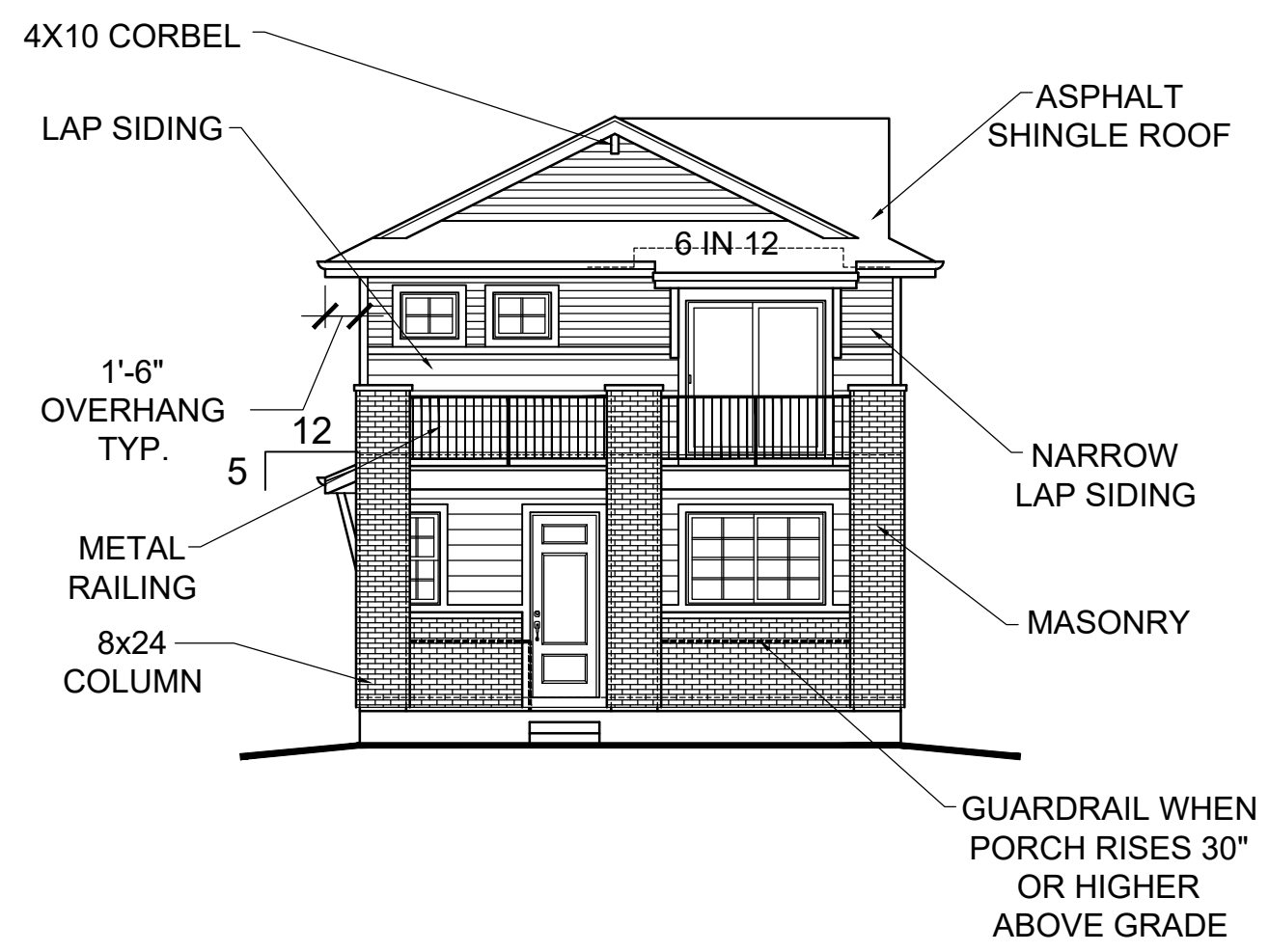
**UPLANDS**

DATE: 10.10.2024

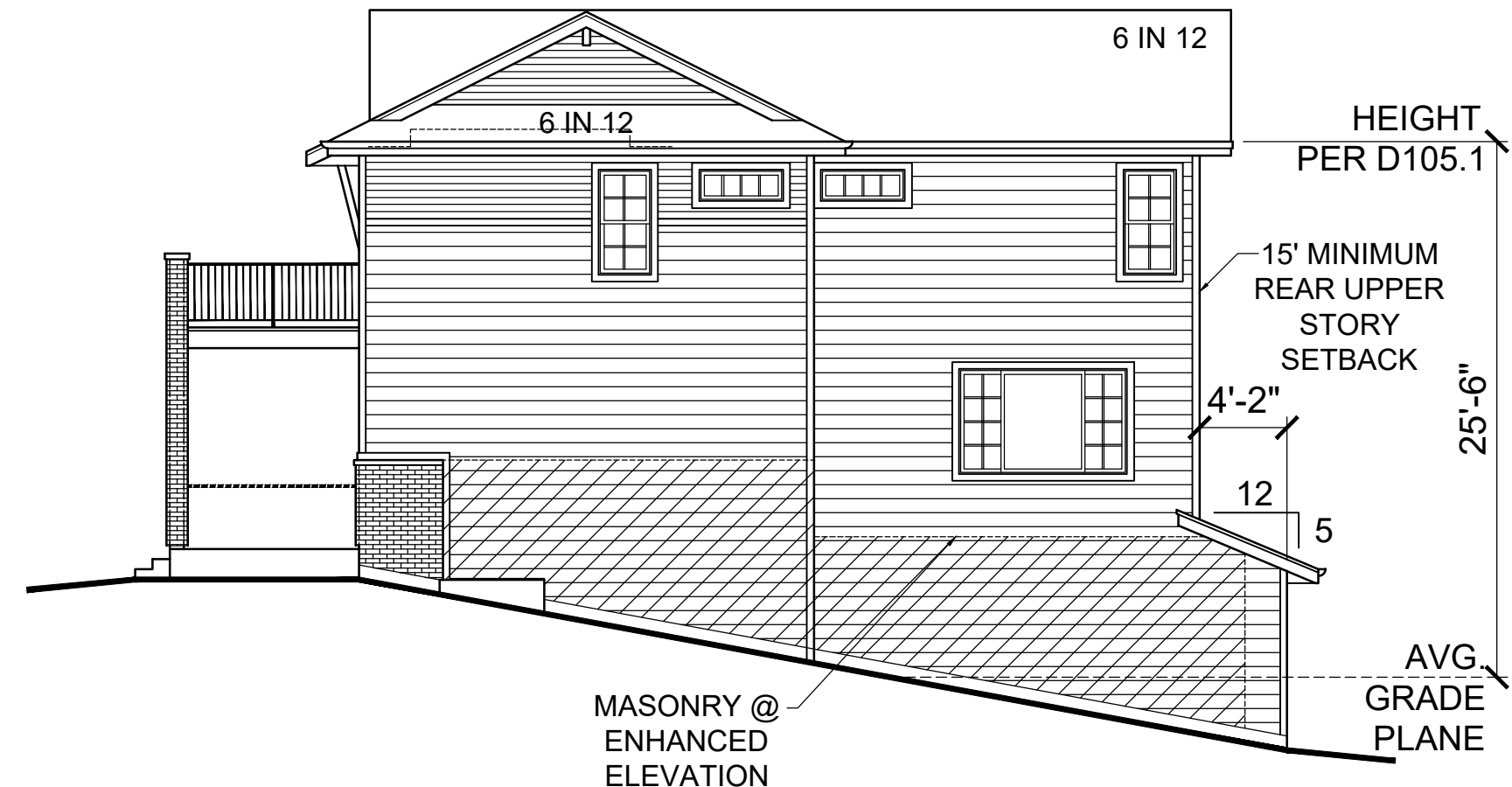
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



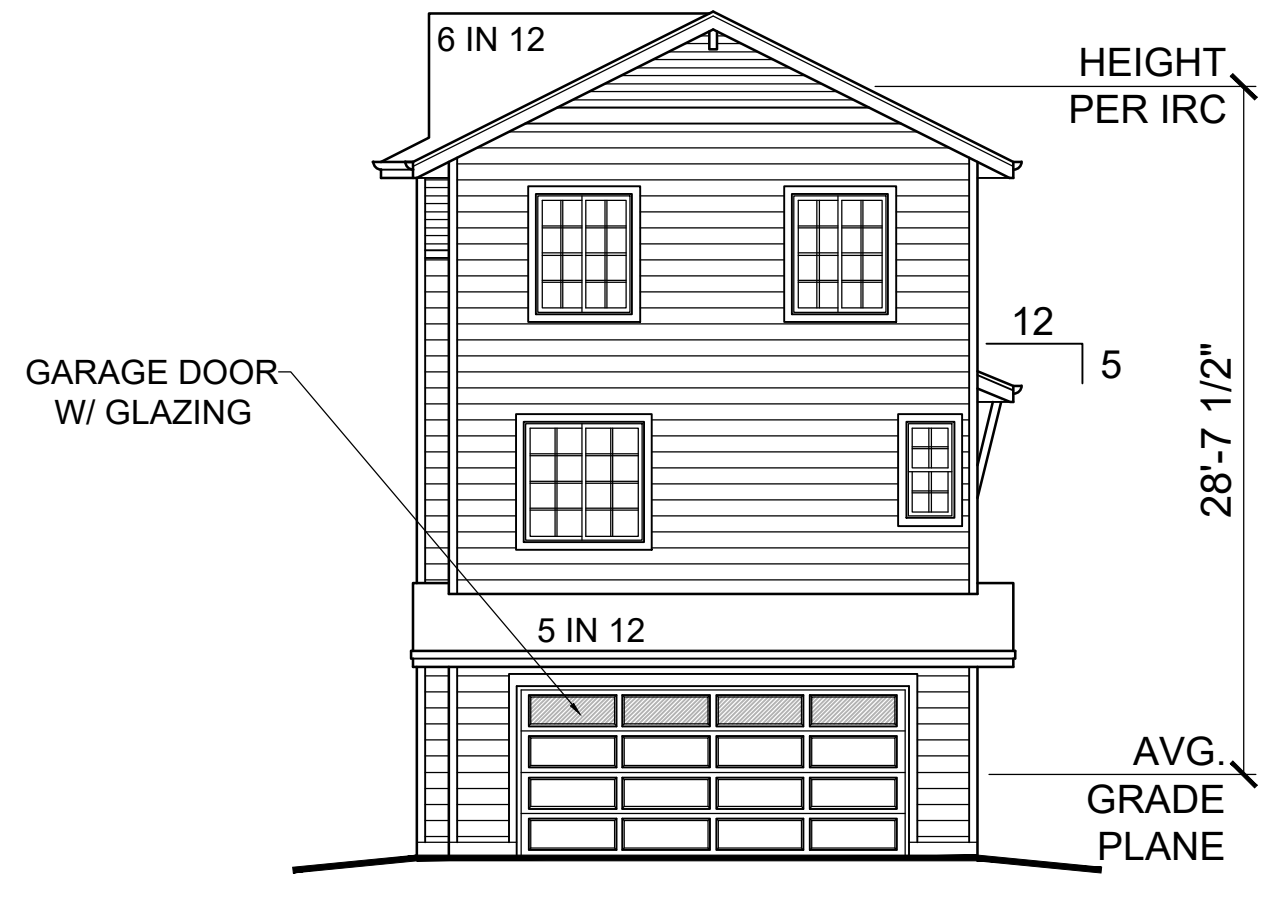
PLAN 3 ELEVATION 'F' - LEFT  
36% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



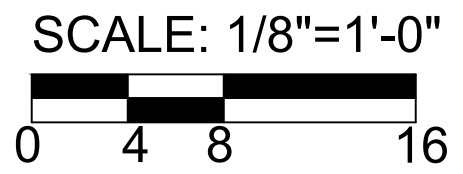
PLAN 3 ELEVATION 'F' - FRONT  
48% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - RIGHT  
33% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - REAR  
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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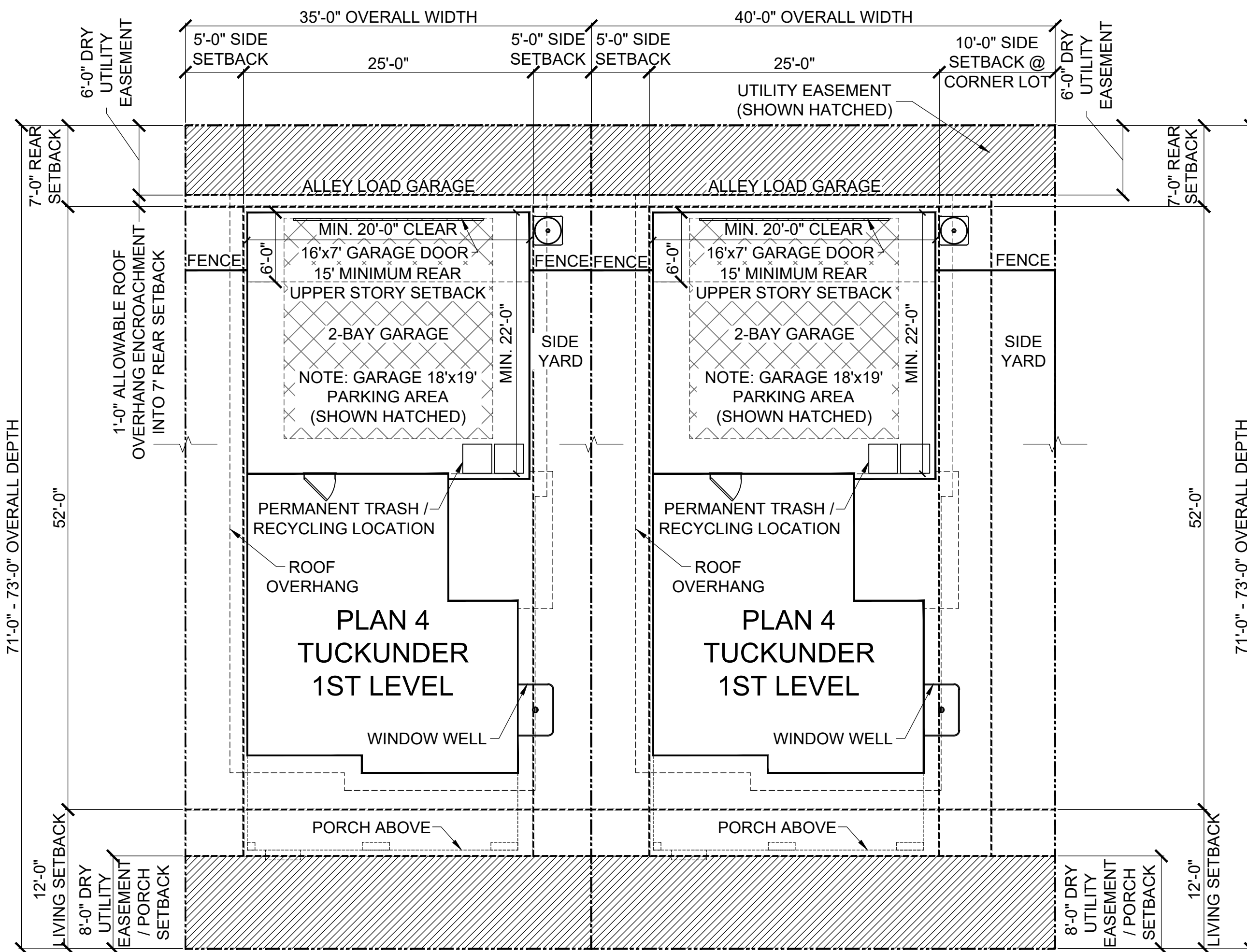
**UPLANDS**

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**UPLANDS FILING NO. 1  
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

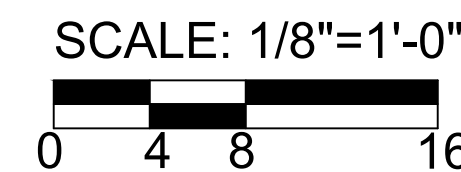
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4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY TUCKUNDER  
 LOT TYPICAL PLAN 4 - 1ST LEVEL**

ELEVATION STYLE 'D' SHOWN, 'E' & 'F' SIMILAR SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
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REVISIONS

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SHEET 129 OF 156

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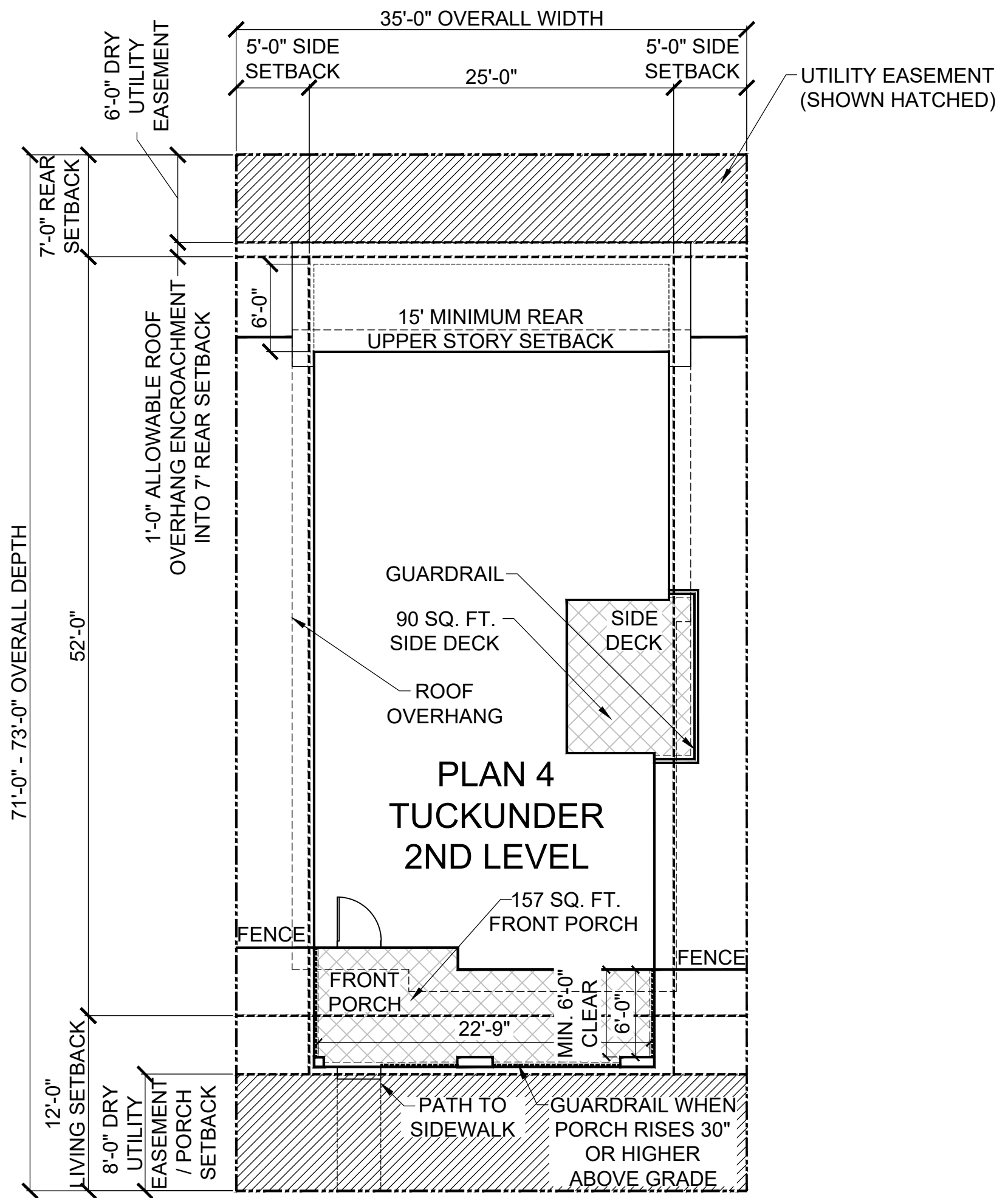
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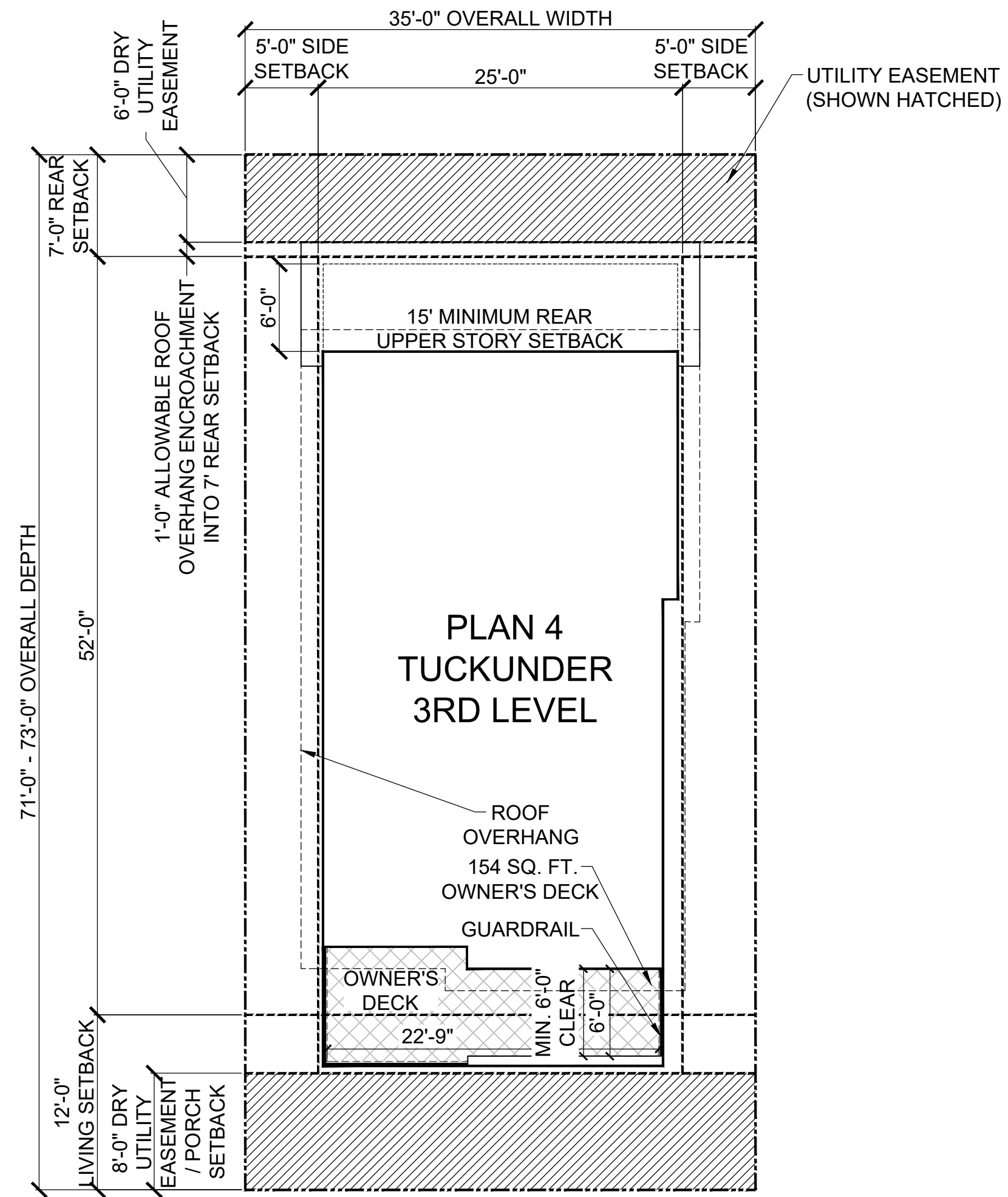
129 OF 156  
SFD TUCKUNDER  
PLAN 4 LOT TYPICALS



SINGLE FAMILY TUCKUNDER  
LOT TYPICAL PLAN 4 - 2ND LEVEL

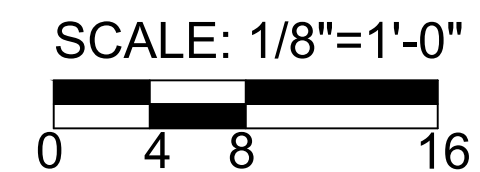
2,338 TOTAL SQ. FT. SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 401 TOTAL SQ. FT.  
FRONT PORCH: 157 SQ. FT.  
SIDE DECK: 90 SQ. FT.  
OWNER'S DECK: 154 SQ. FT.



SINGLE FAMILY TUCKUNDER  
LOT TYPICAL PLAN 4 - 3RD LEVEL

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
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SHEET 130 OF 156

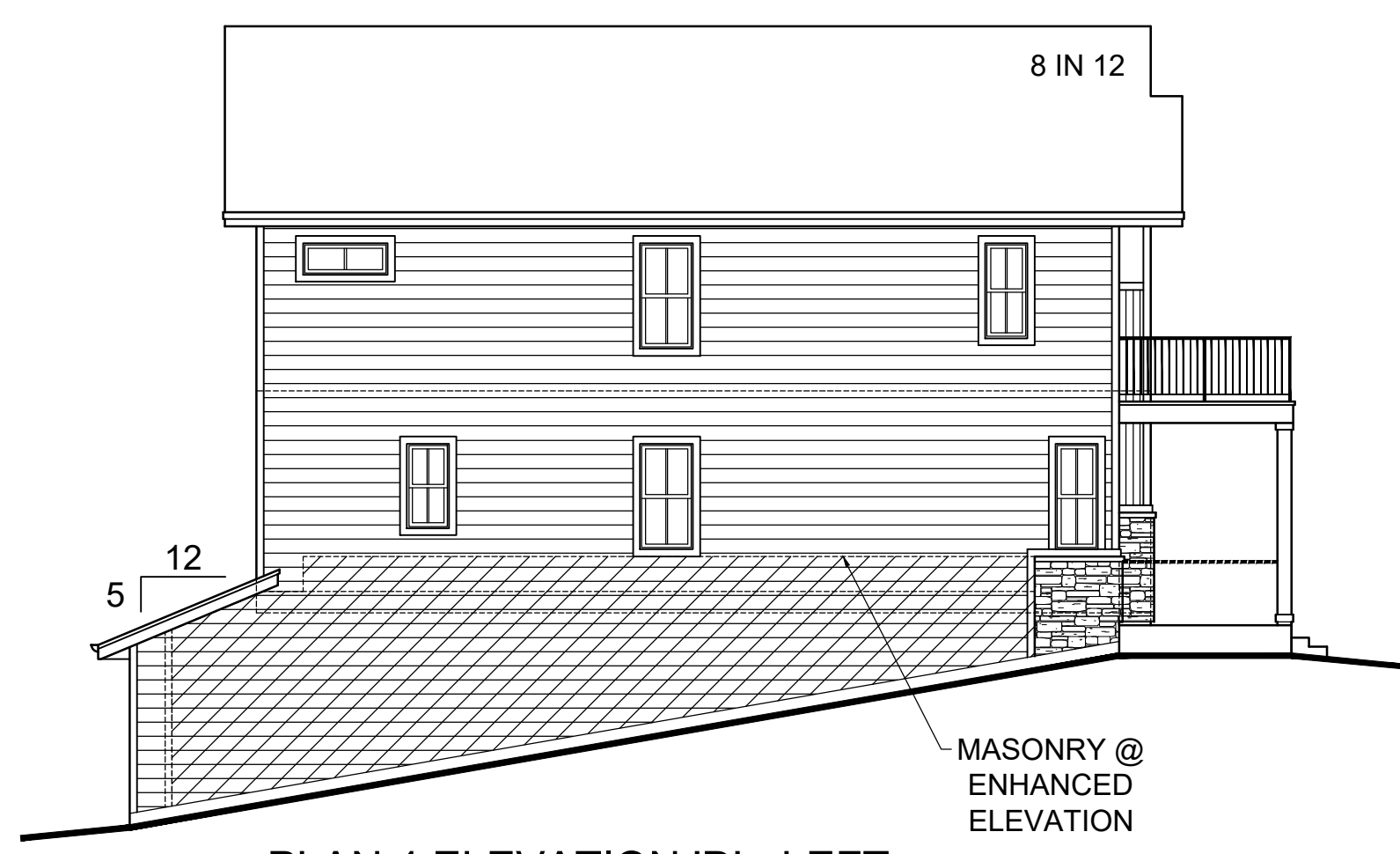
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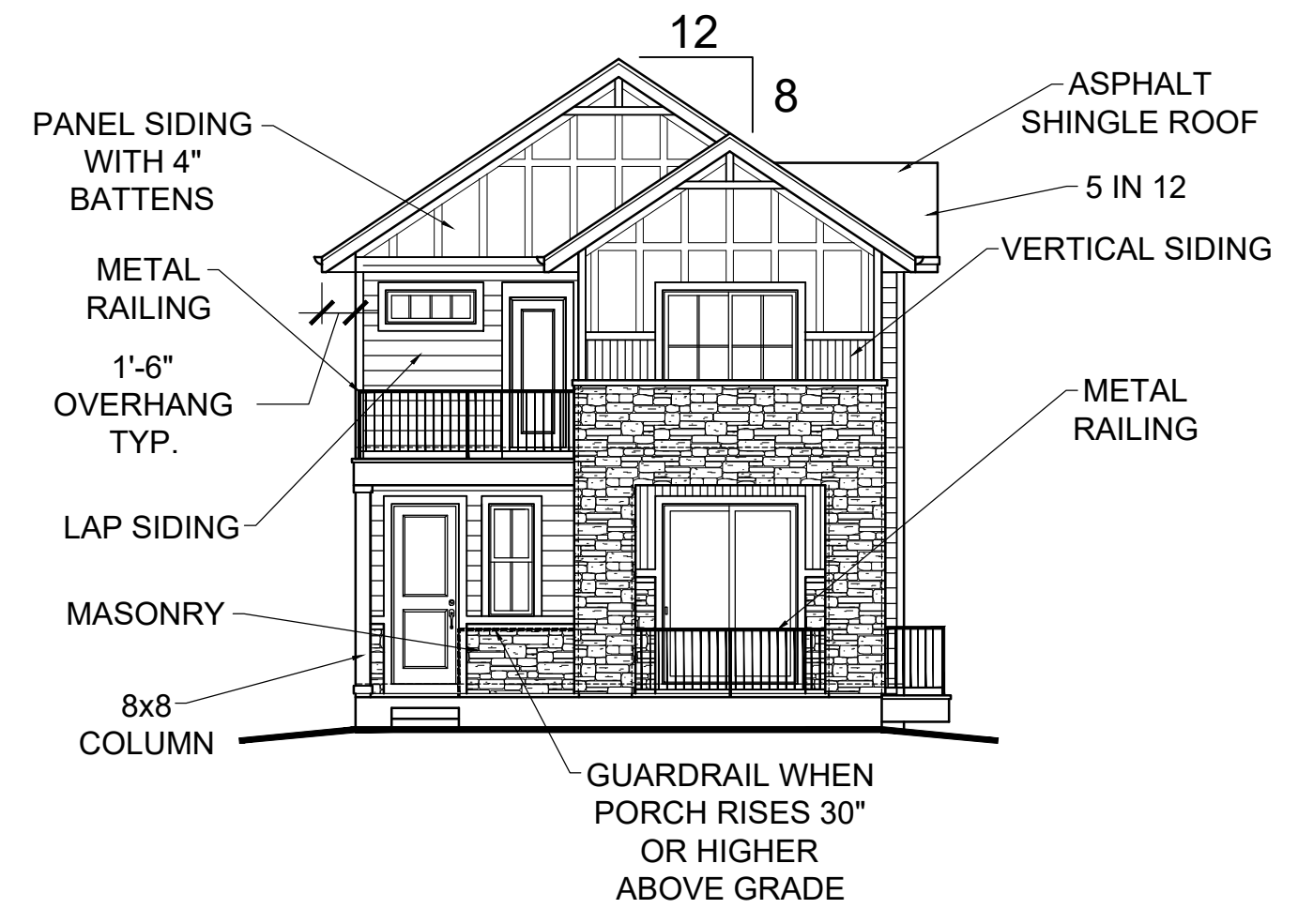
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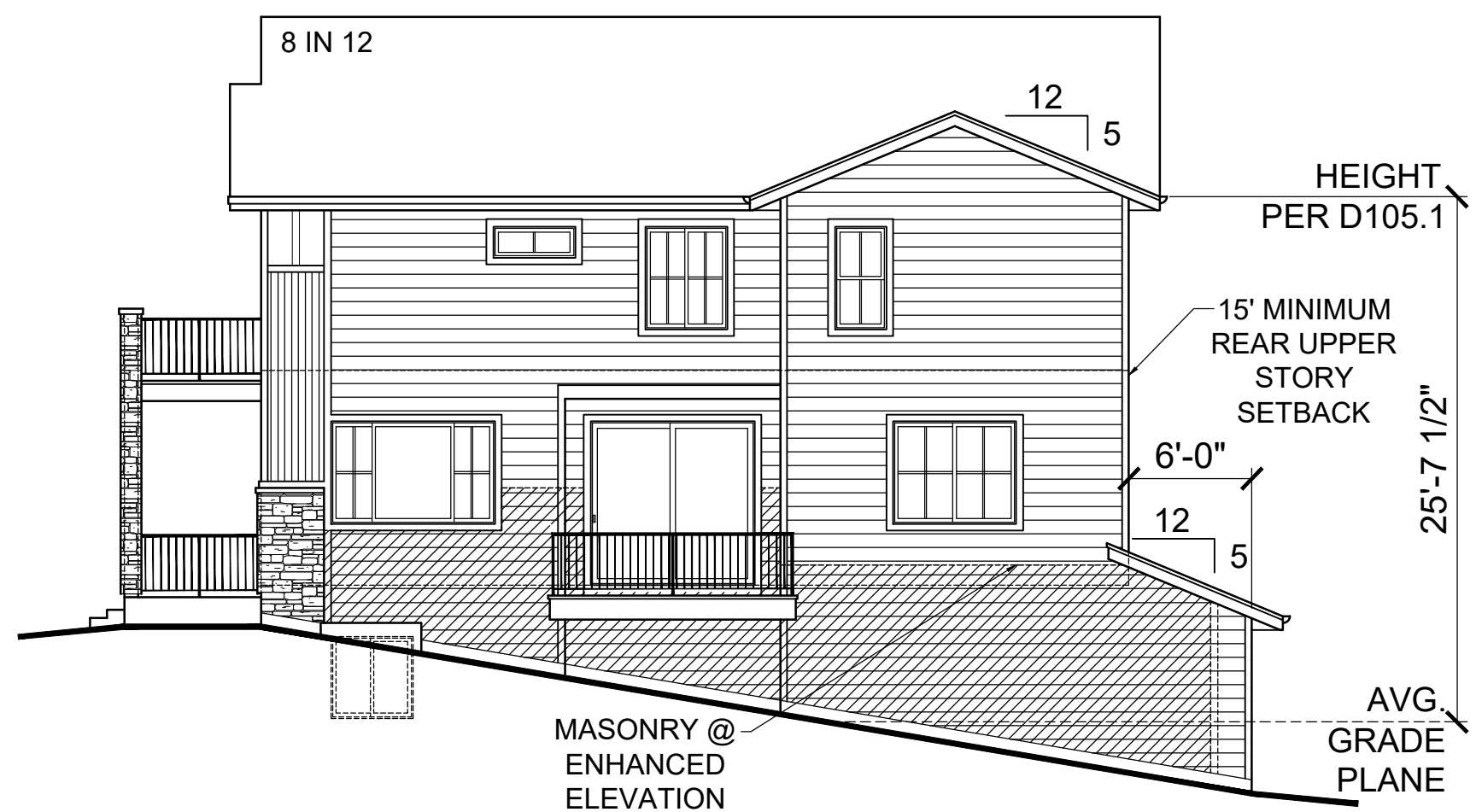
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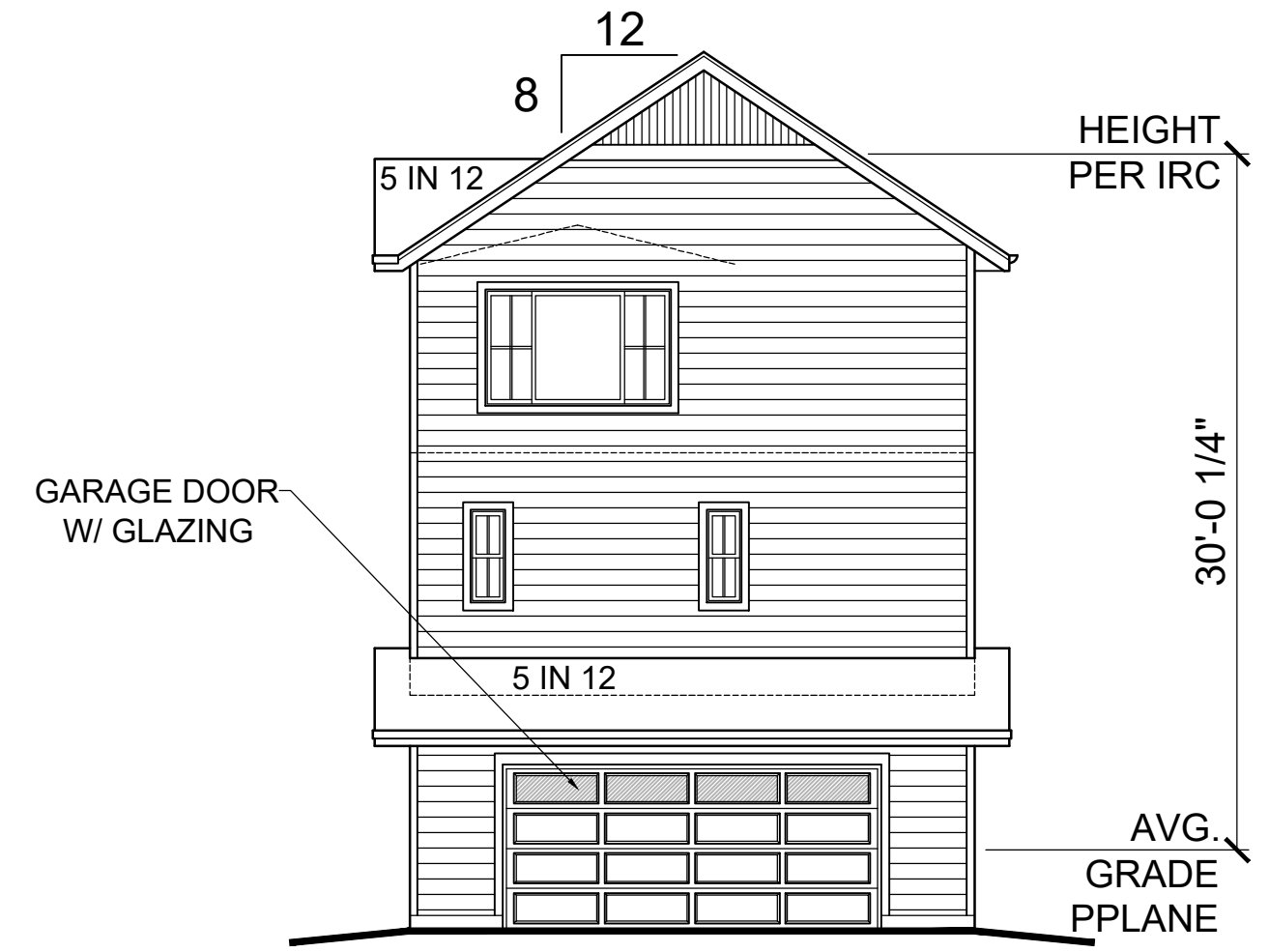
PLAN 4 ELEVATION 'D' - LEFT  
36% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



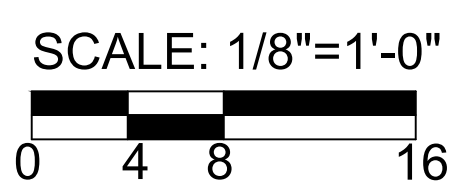
PLAN 4 ELEVATION 'D' - FRONT  
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'D' - RIGHT  
35% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'D' - REAR  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 131 OF 156

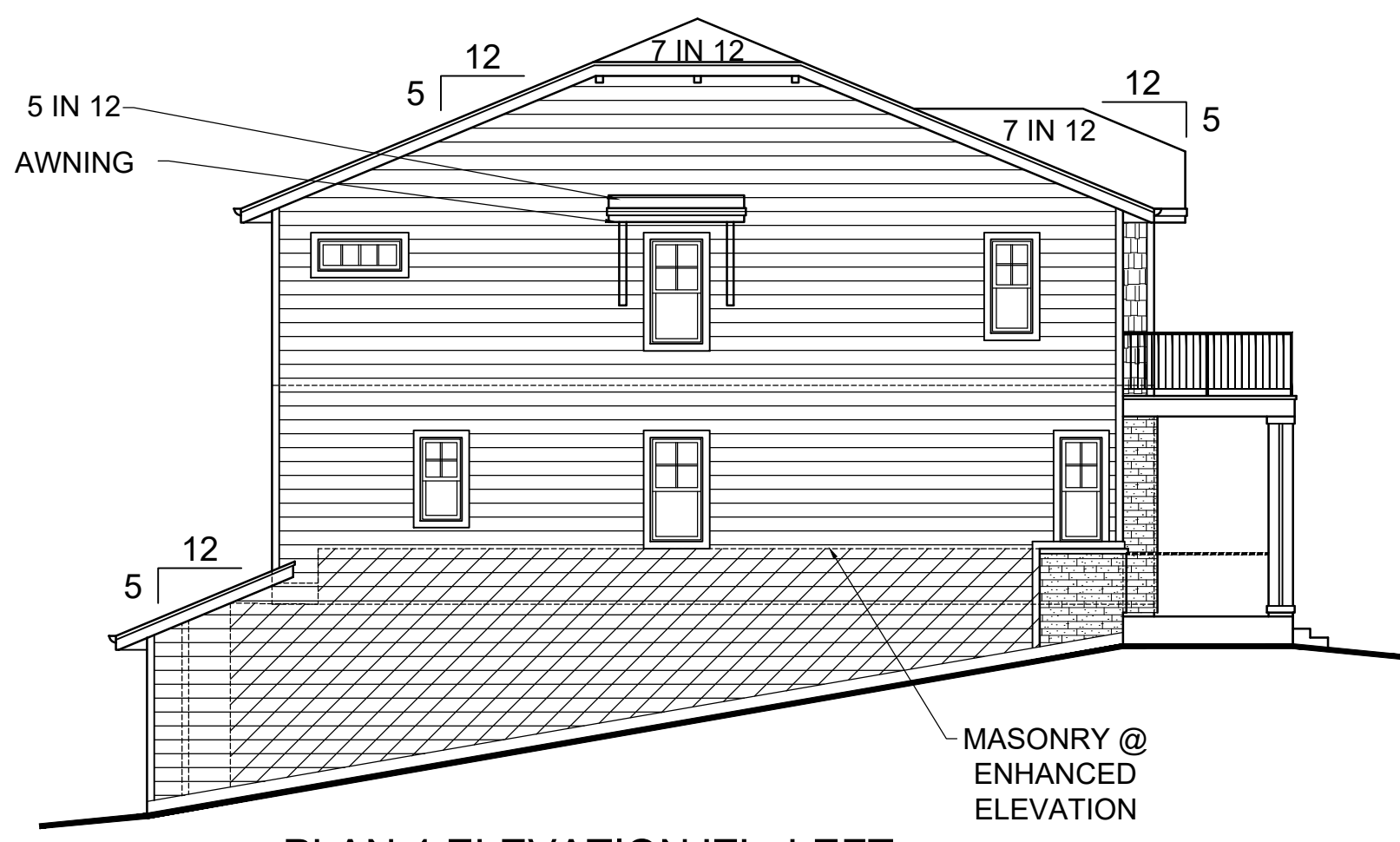
REFER TO COLOR  
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Centennial, CO 80111

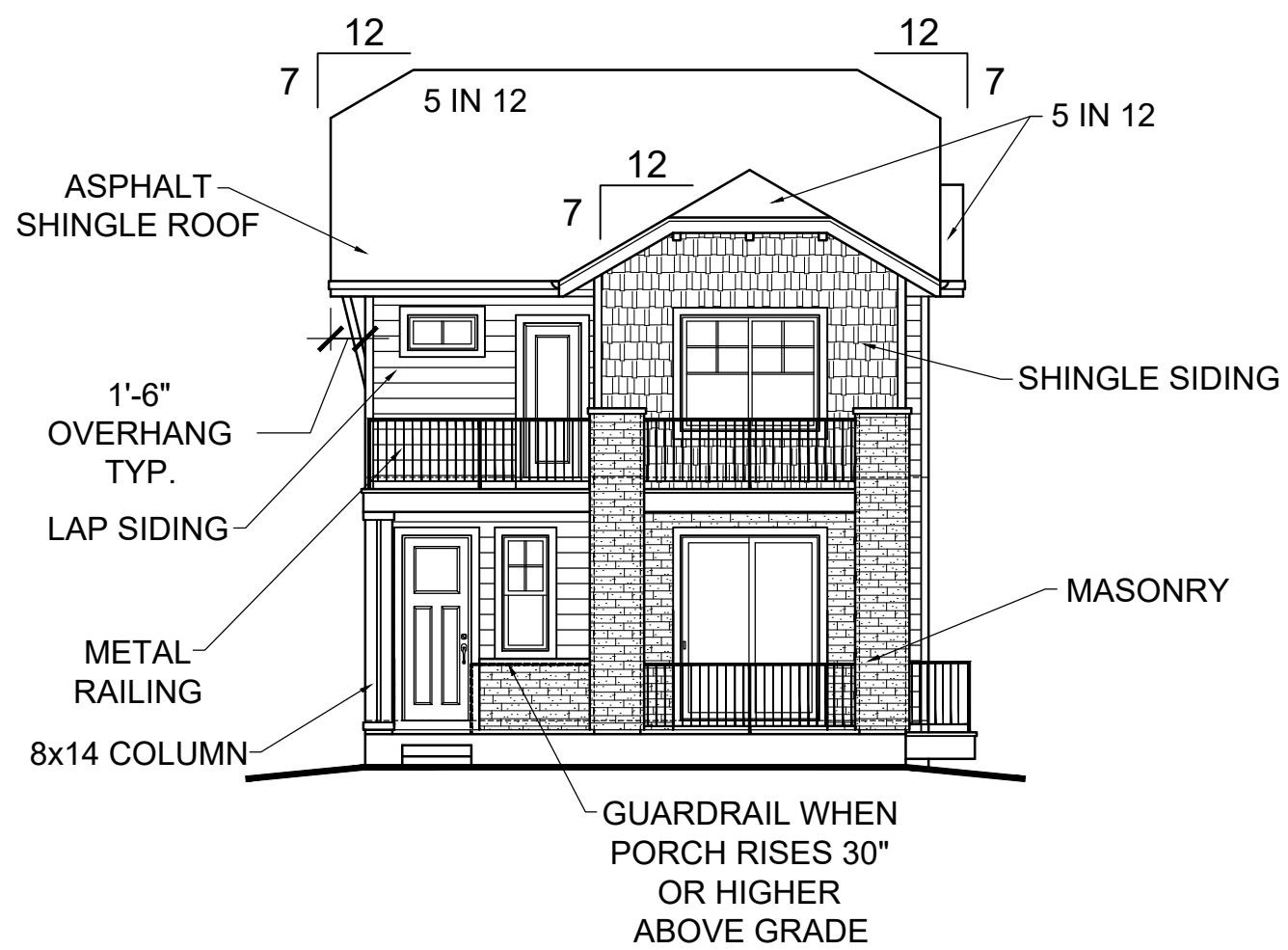
**UPLANDS**

DATE: 10.10.2024

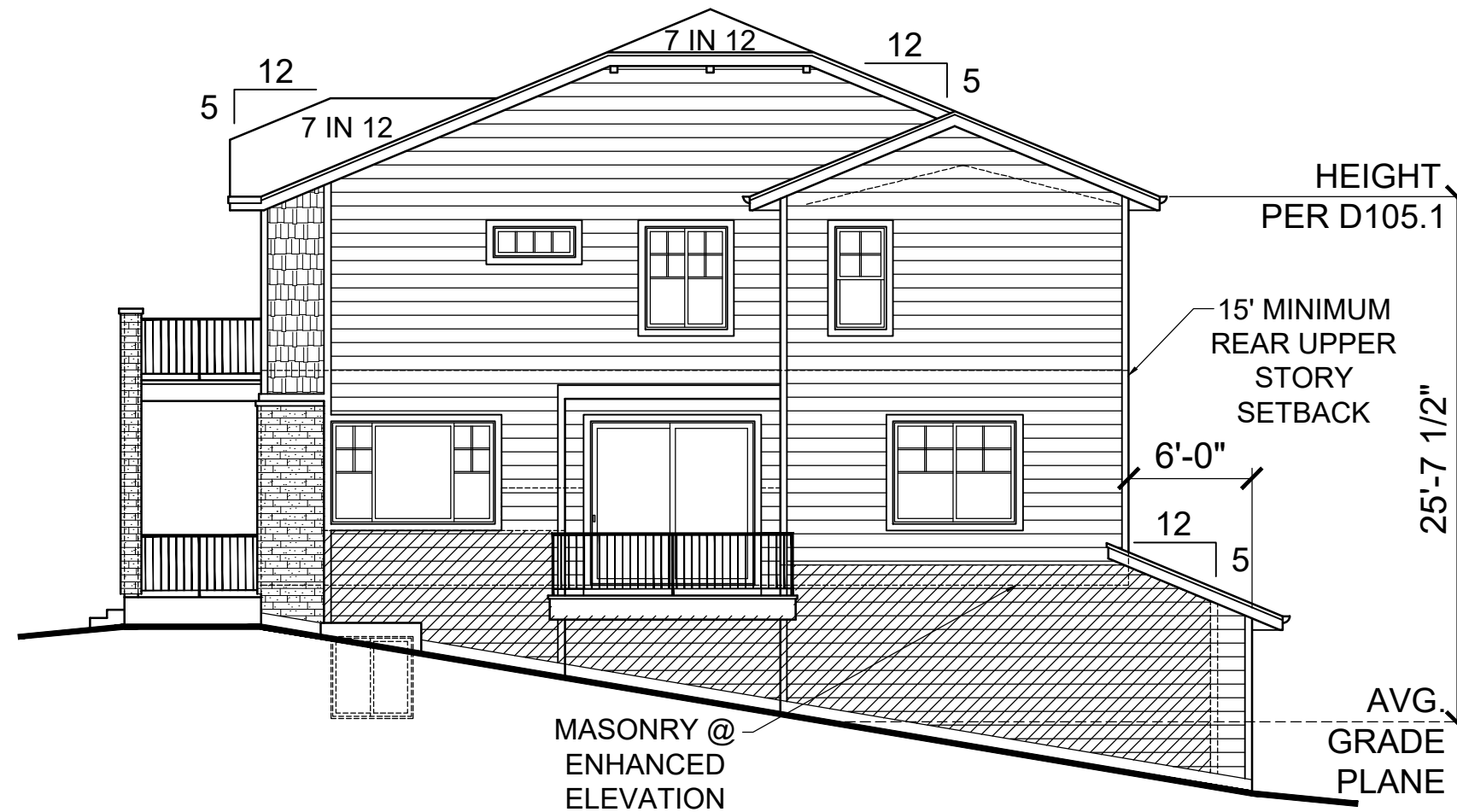
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



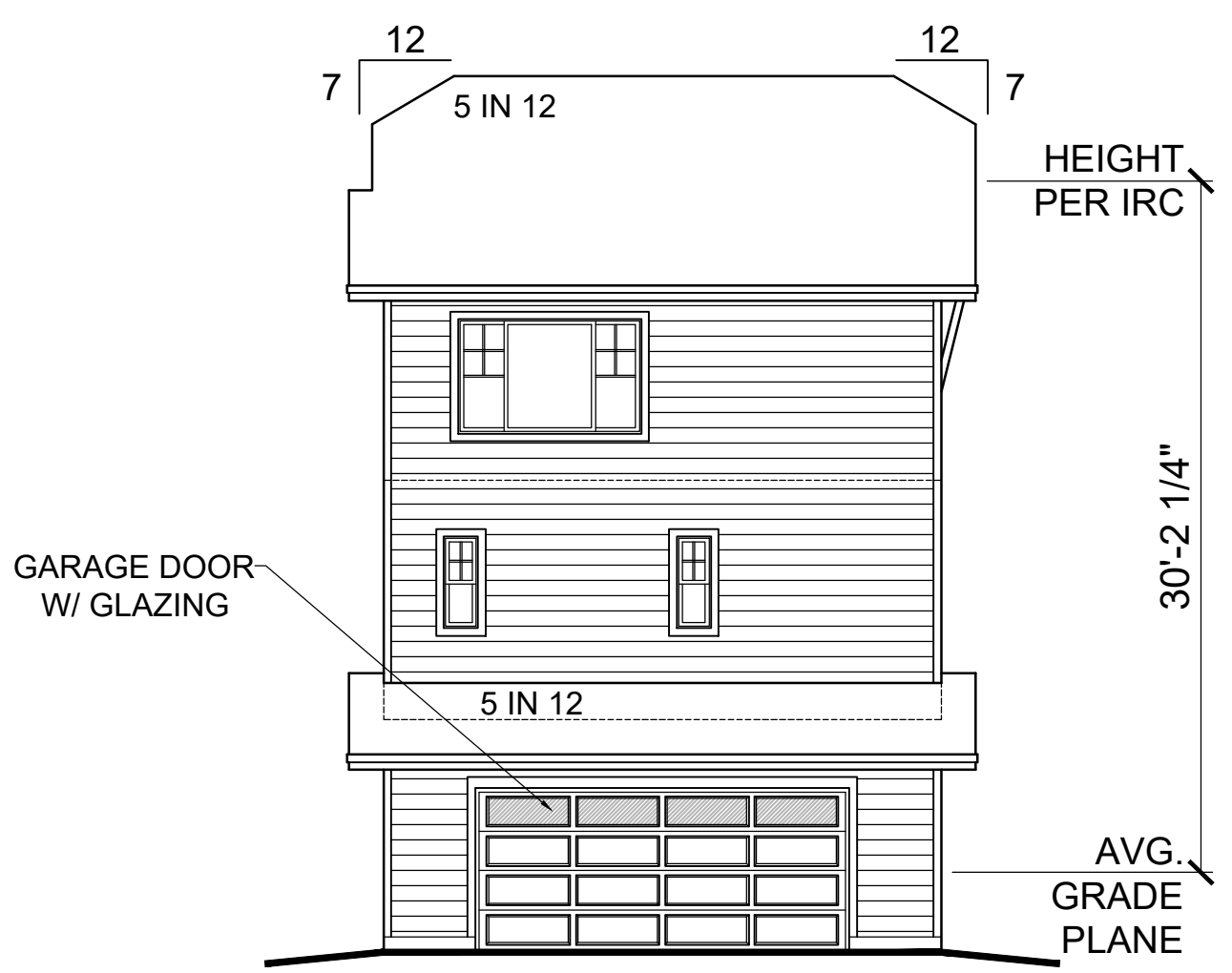
PLAN 4 ELEVATION 'E' - LEFT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



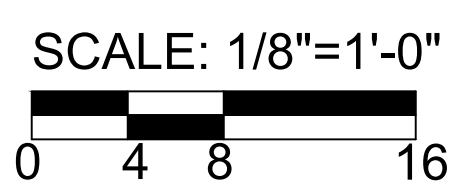
PLAN 4 ELEVATION 'E' - FRONT  
42% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'E' - RIGHT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'E' - REAR  
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 132 OF 156

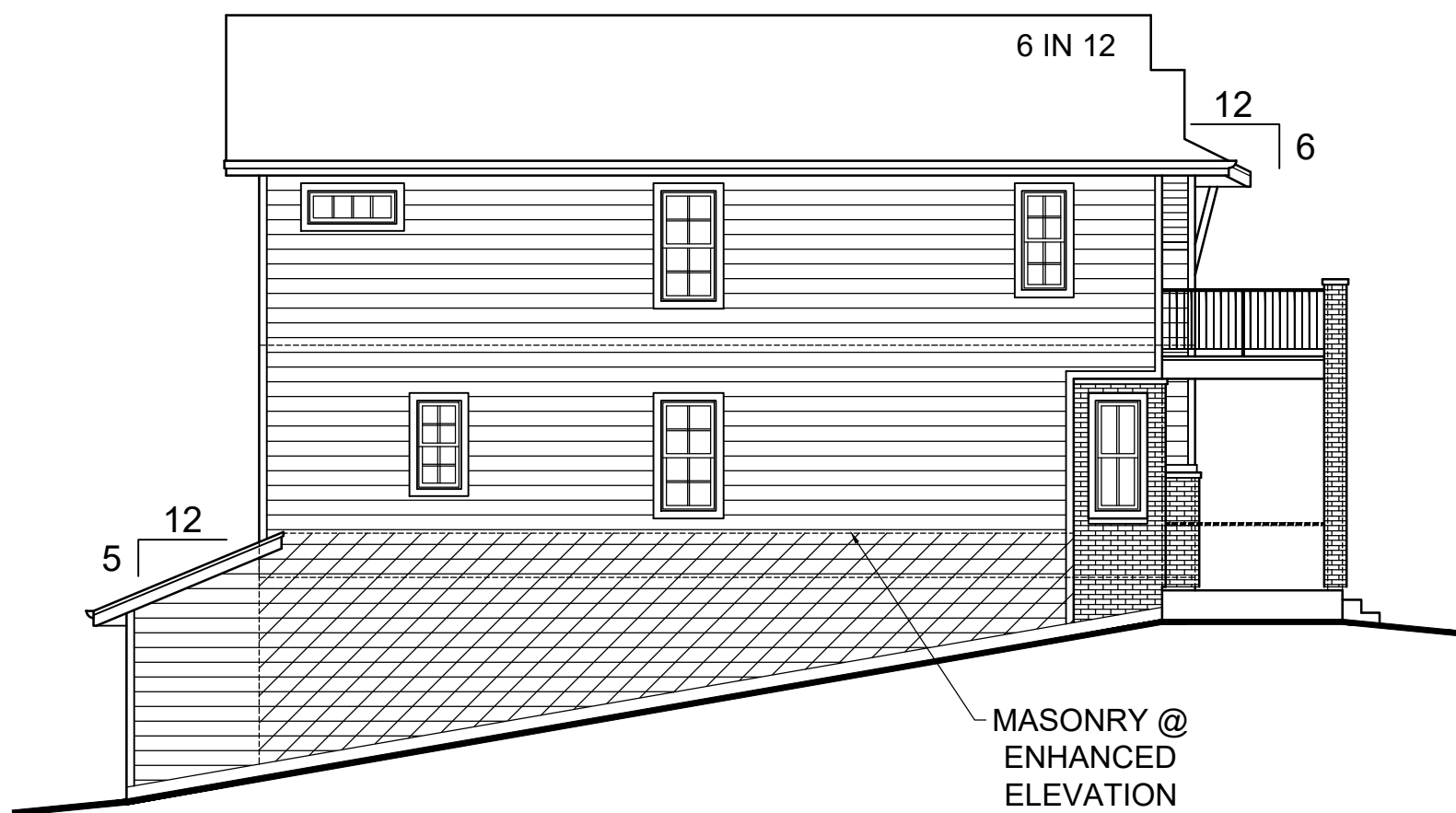
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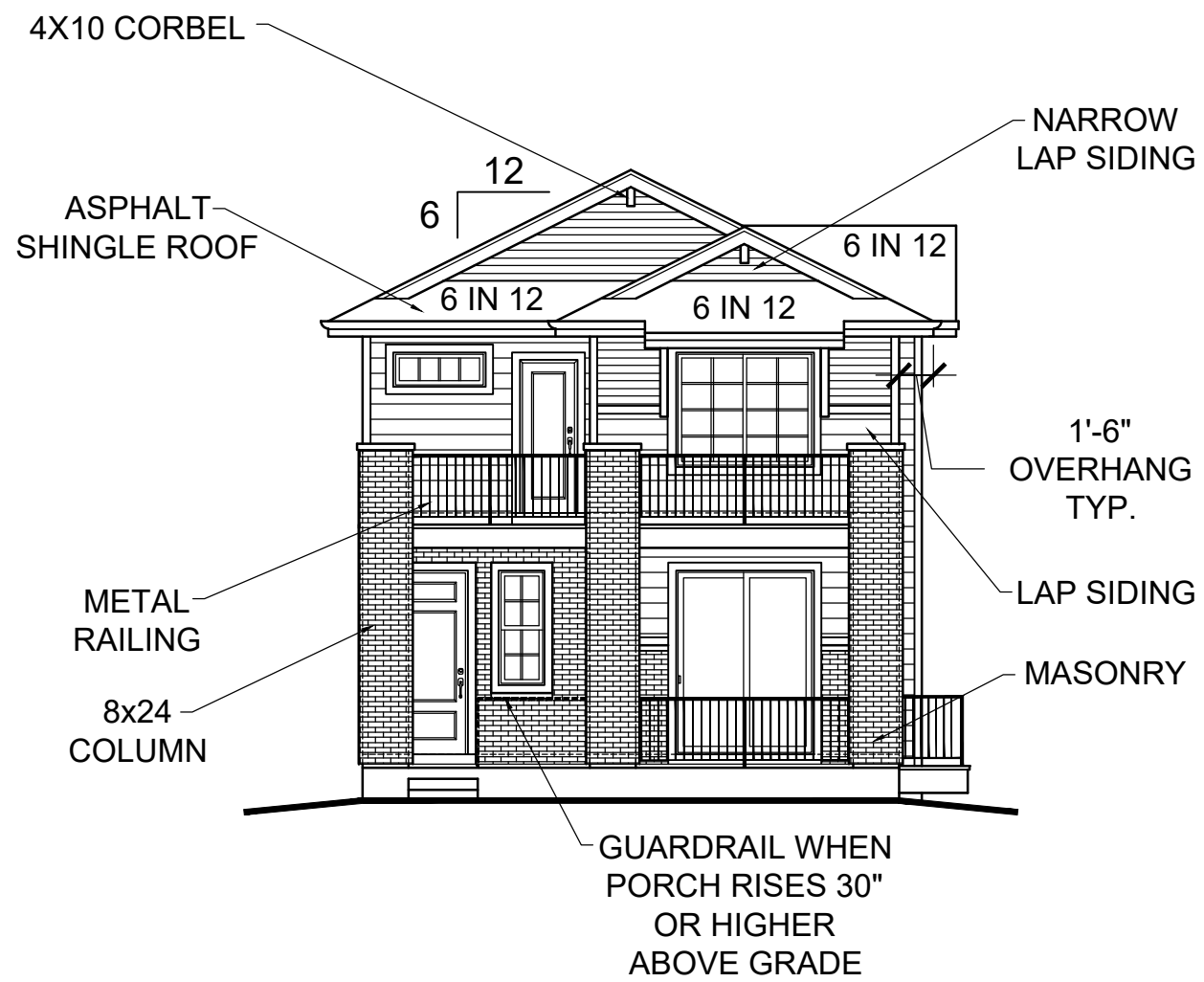
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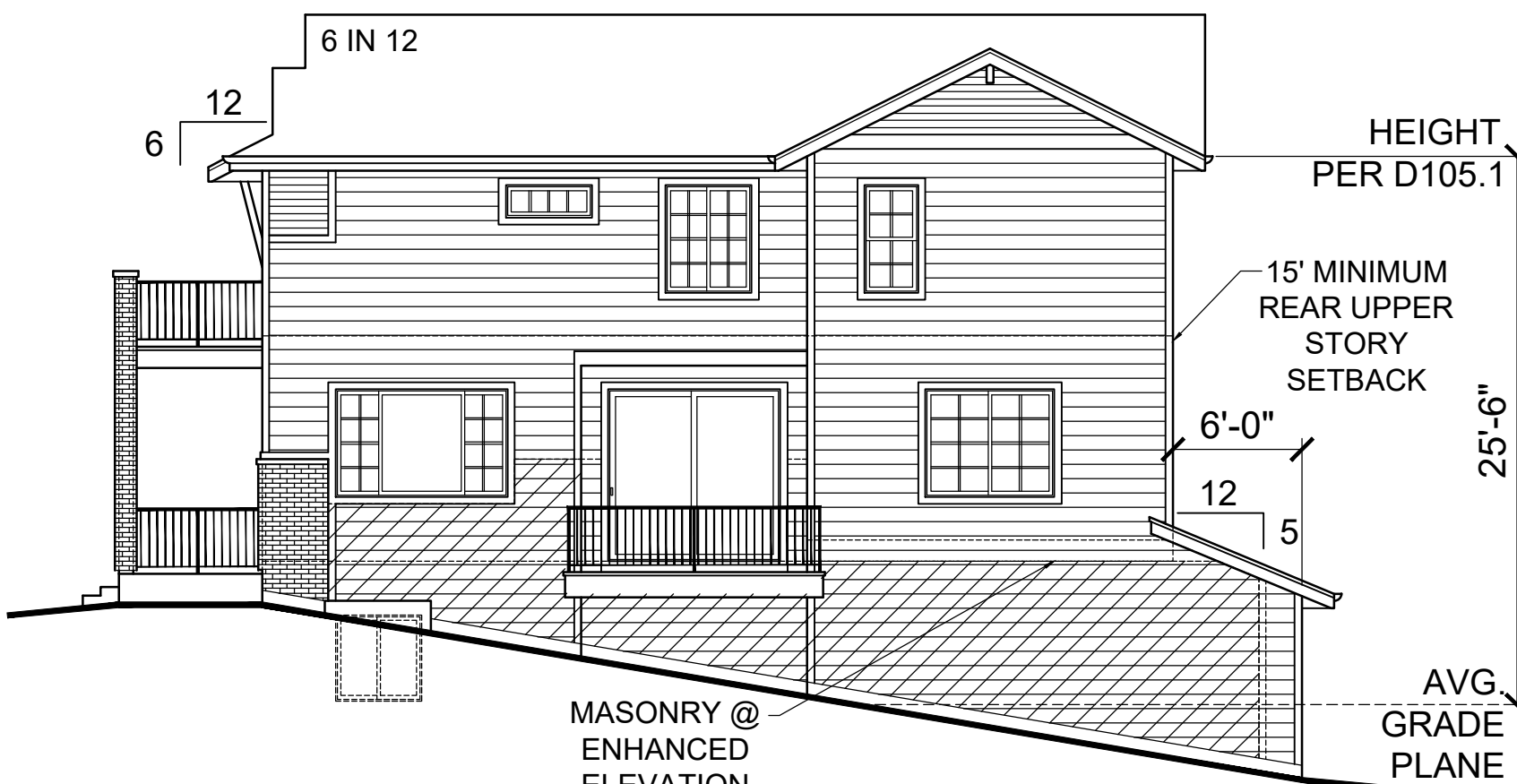
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WESTMINSTER, COLORADO



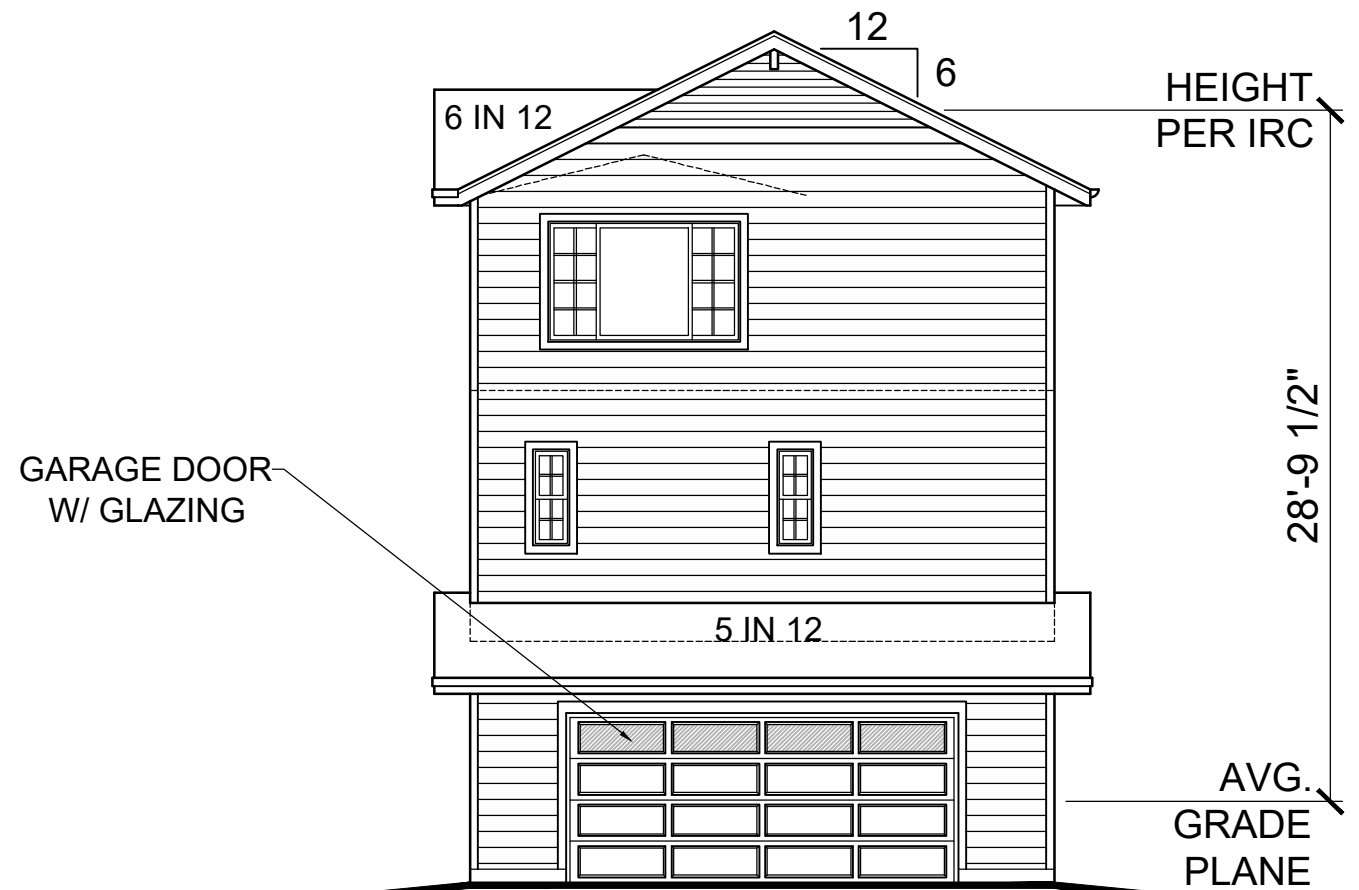
PLAN 4 ELEVATION 'F' - LEFT  
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



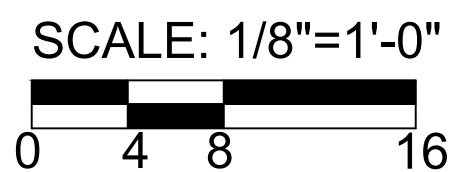
PLAN 4 ELEVATION 'F' - FRONT  
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'F' - RIGHT  
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'F' - REAR  
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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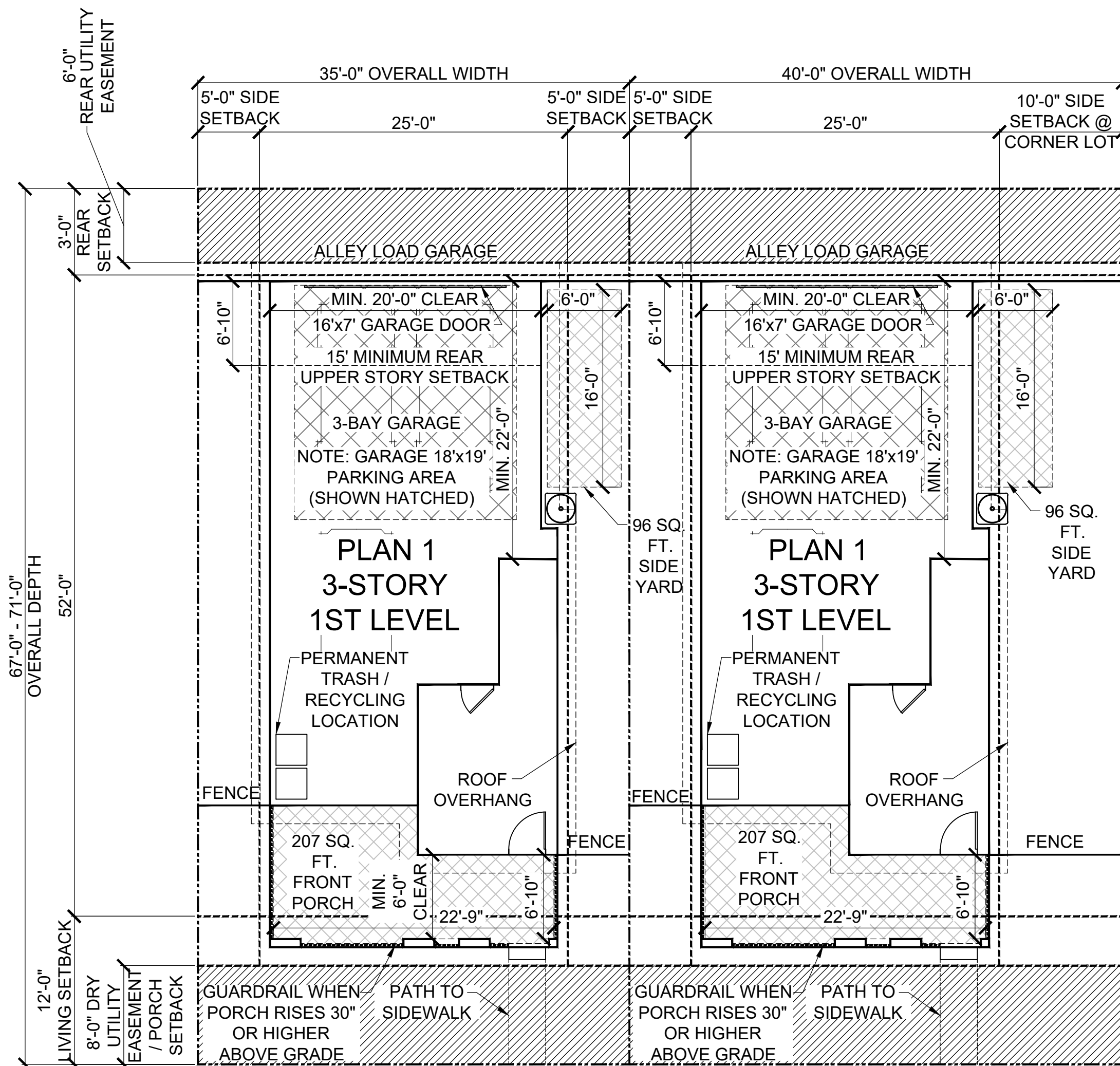
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

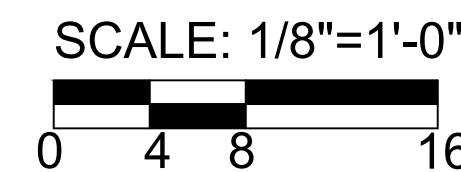
NOTE:

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2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 1 - 1ST LEVEL**

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"



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	08.08.2024
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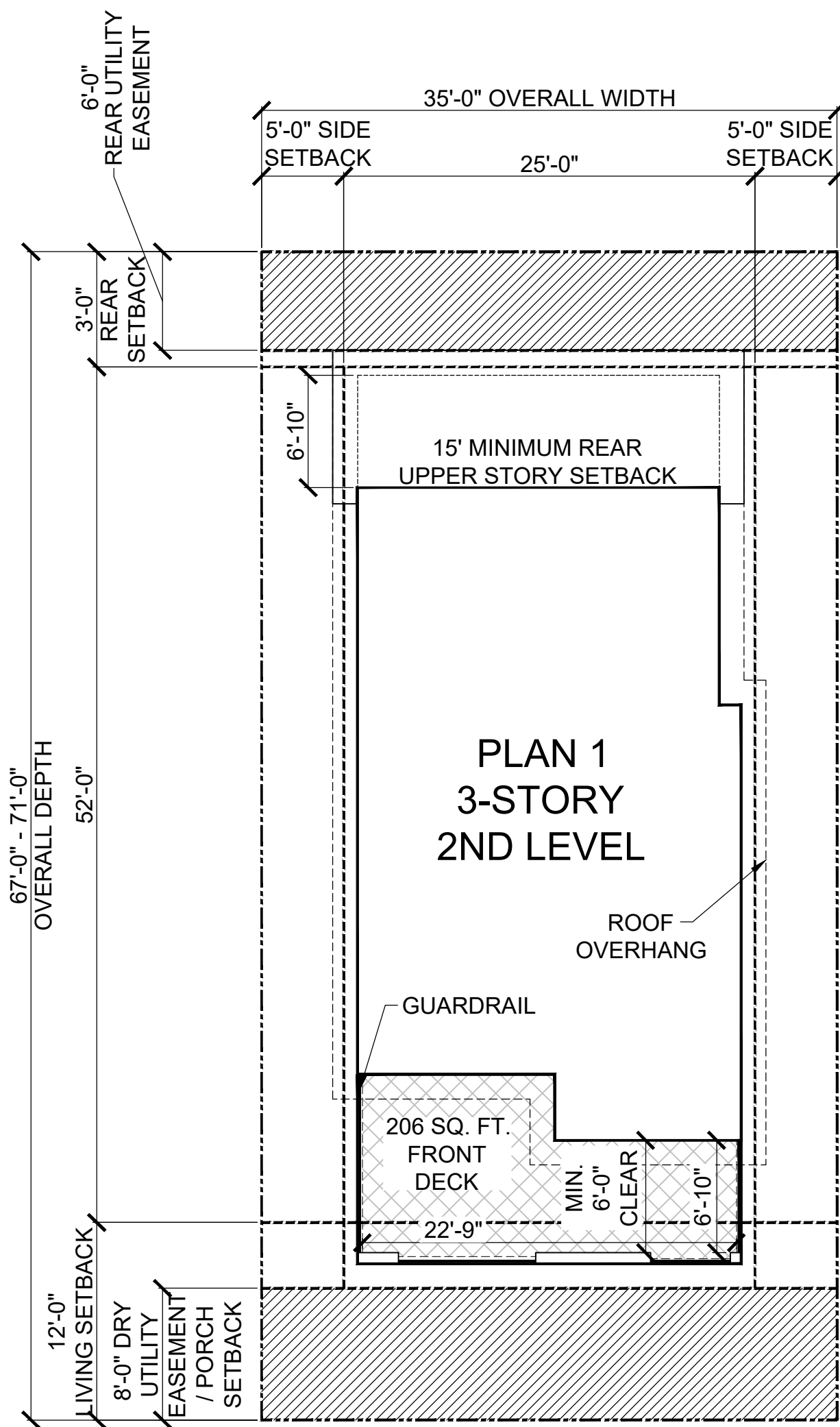
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 134 OF 156

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DATE: 10.10.2024

**UPLANDS FILING NO. 1  
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

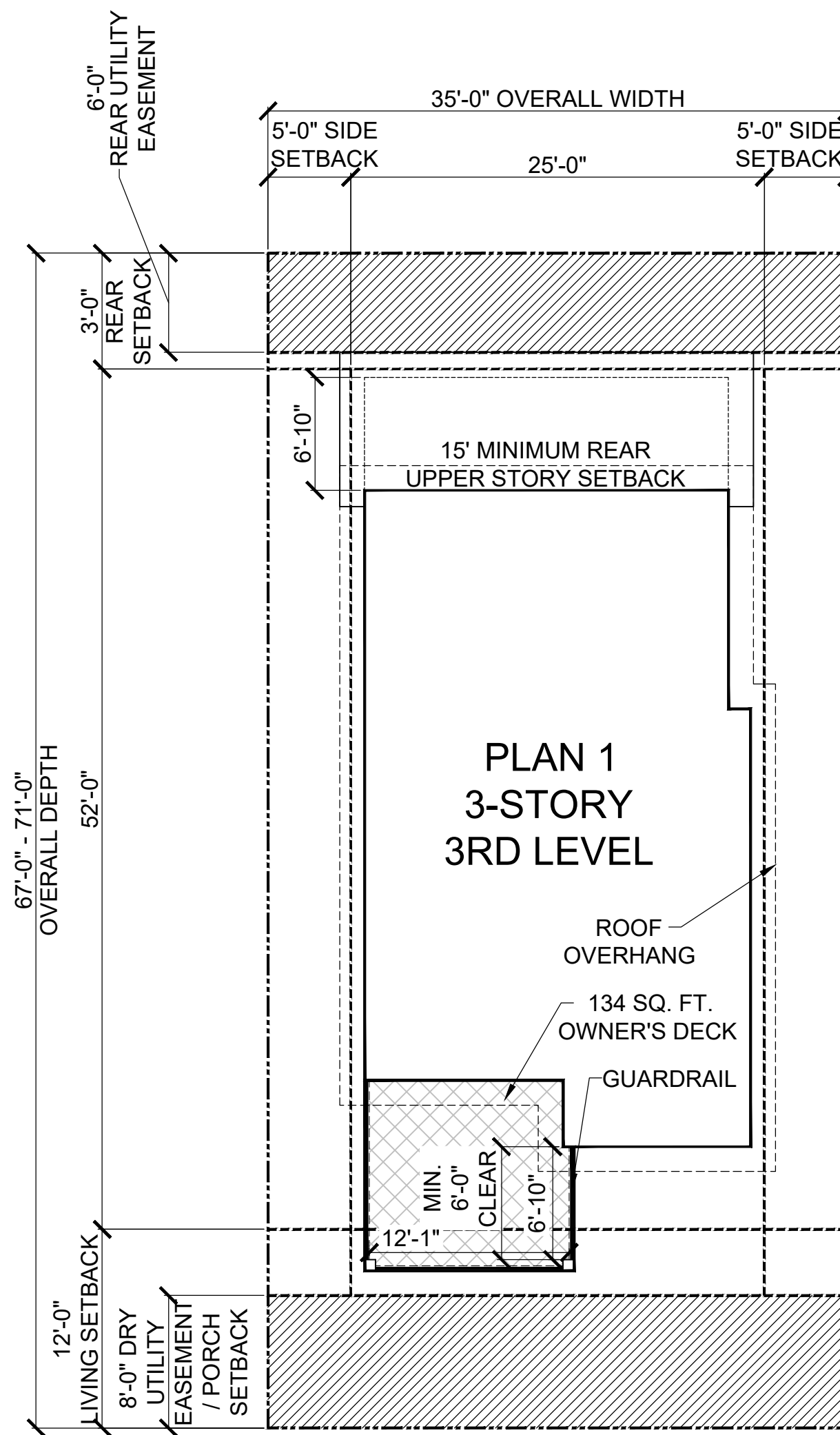


**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 1 - 2ND LEVEL**

1,874 TOTAL SQ. FT.

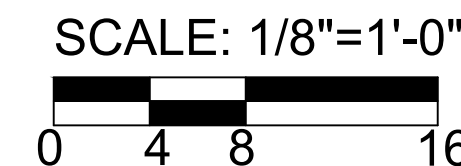
SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 643 TOTAL SQ. FT.  
 FRONT PORCH: 207 SQ. FT.  
 SIDE YARD: 96 SQ. FT.  
 FRONT DECK: 206 SQ. FT.  
 OWNER'S DECK: 134 SQ. FT.



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 1 - 3RD LEVEL**

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
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10.10.2024

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 135 OF 156

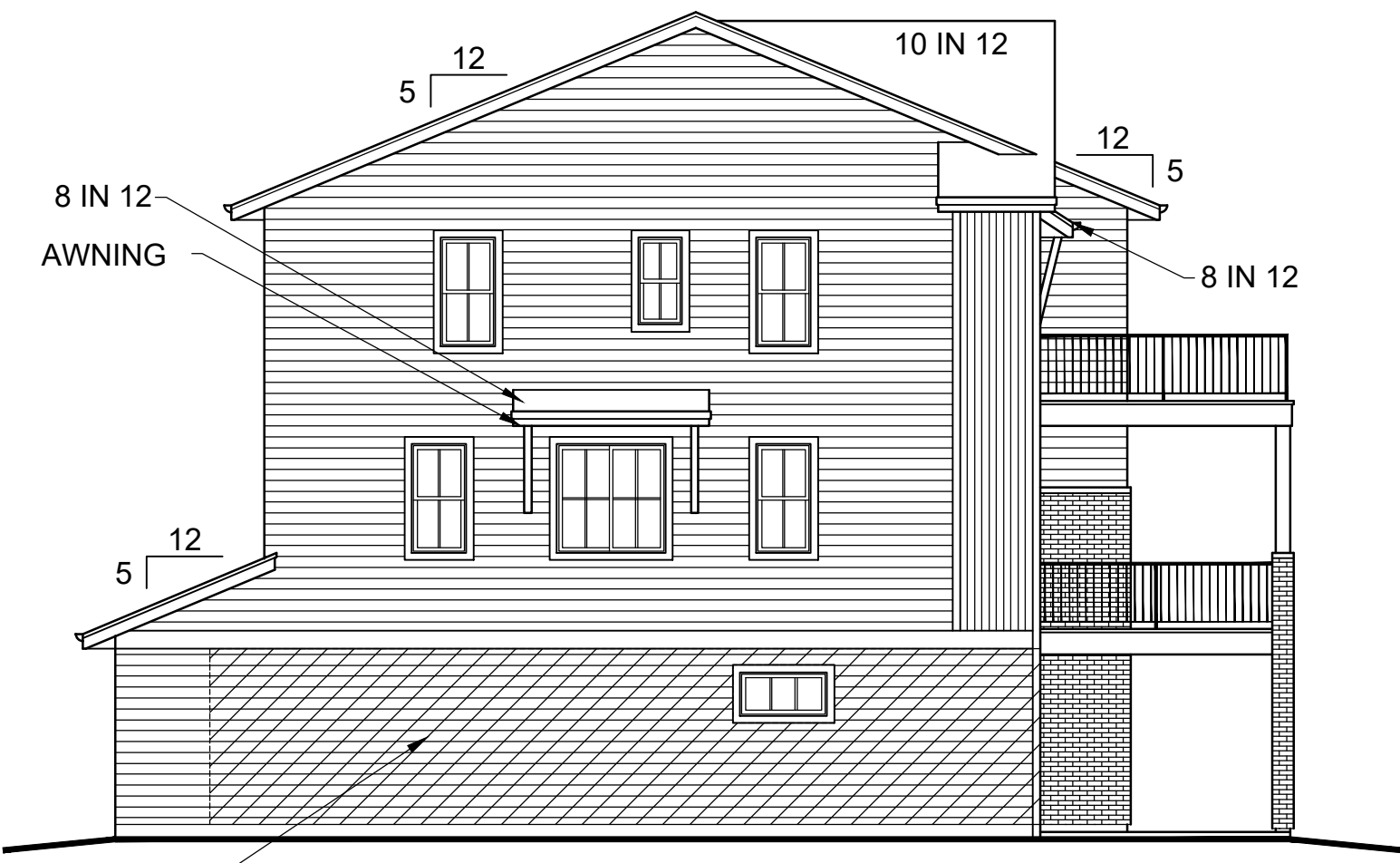
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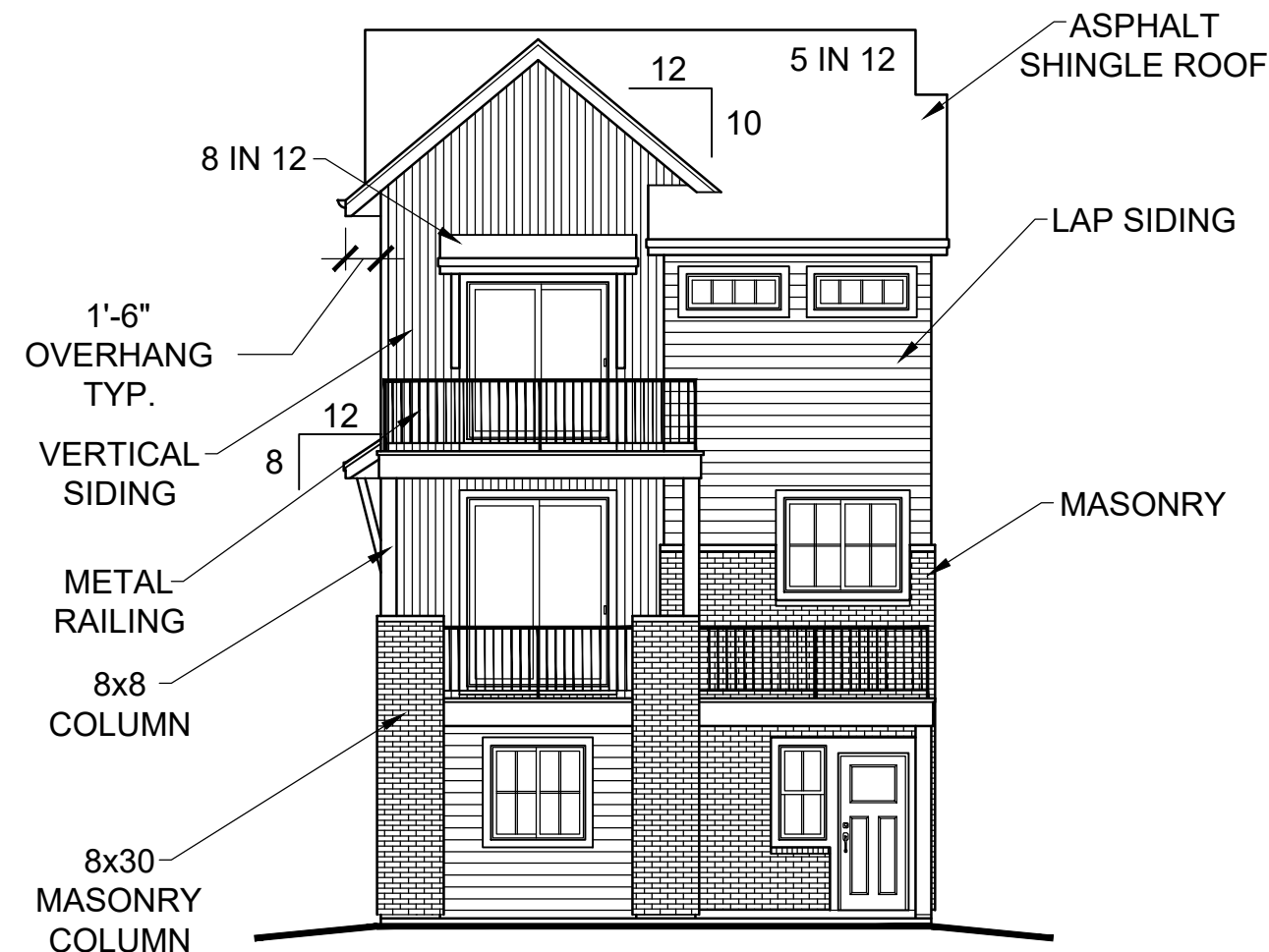
**UPLANDS**

DATE: 10.10.2024

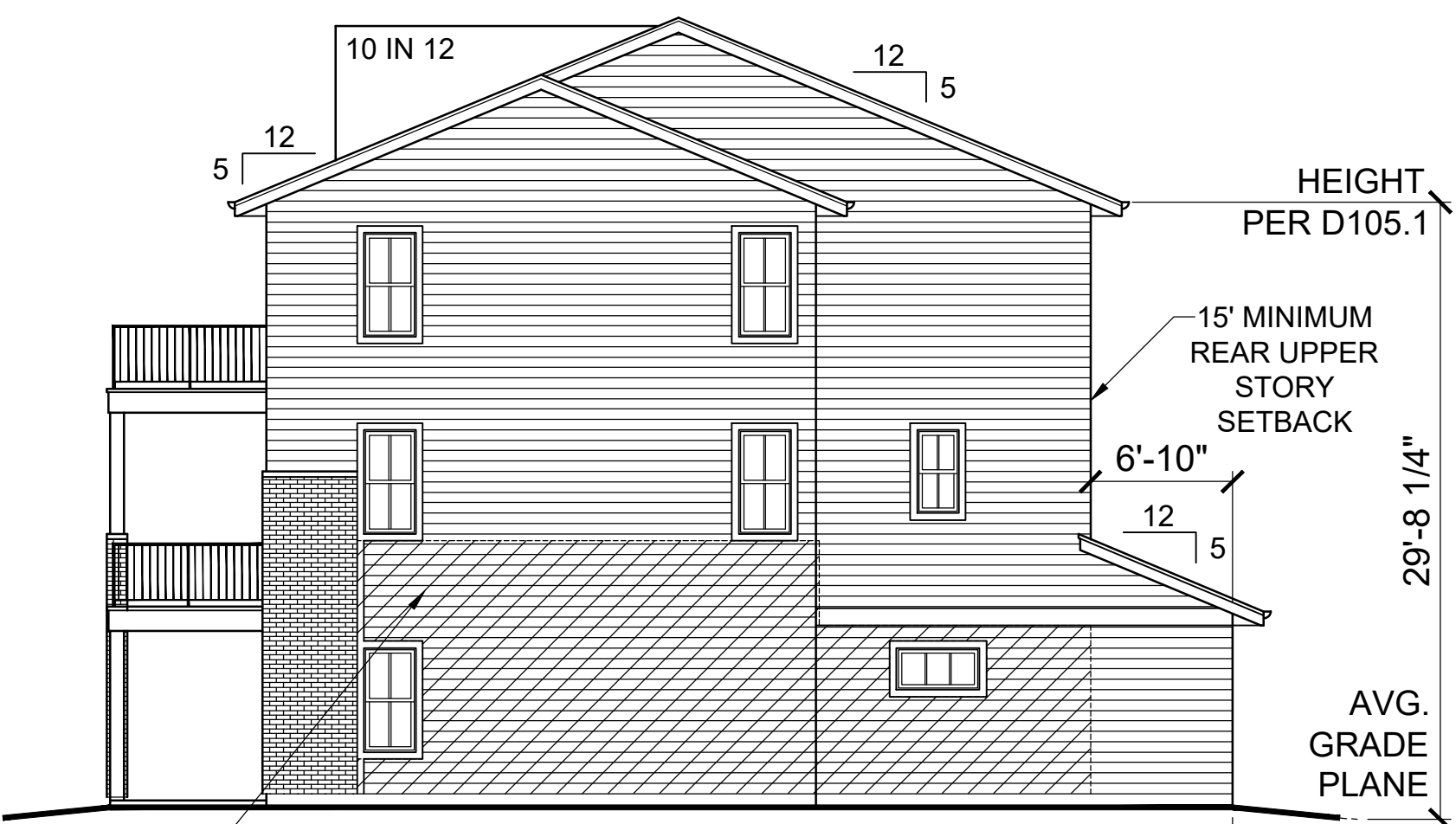
**UPLANDS FILING NO. 1  
 BLOCK 3**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO



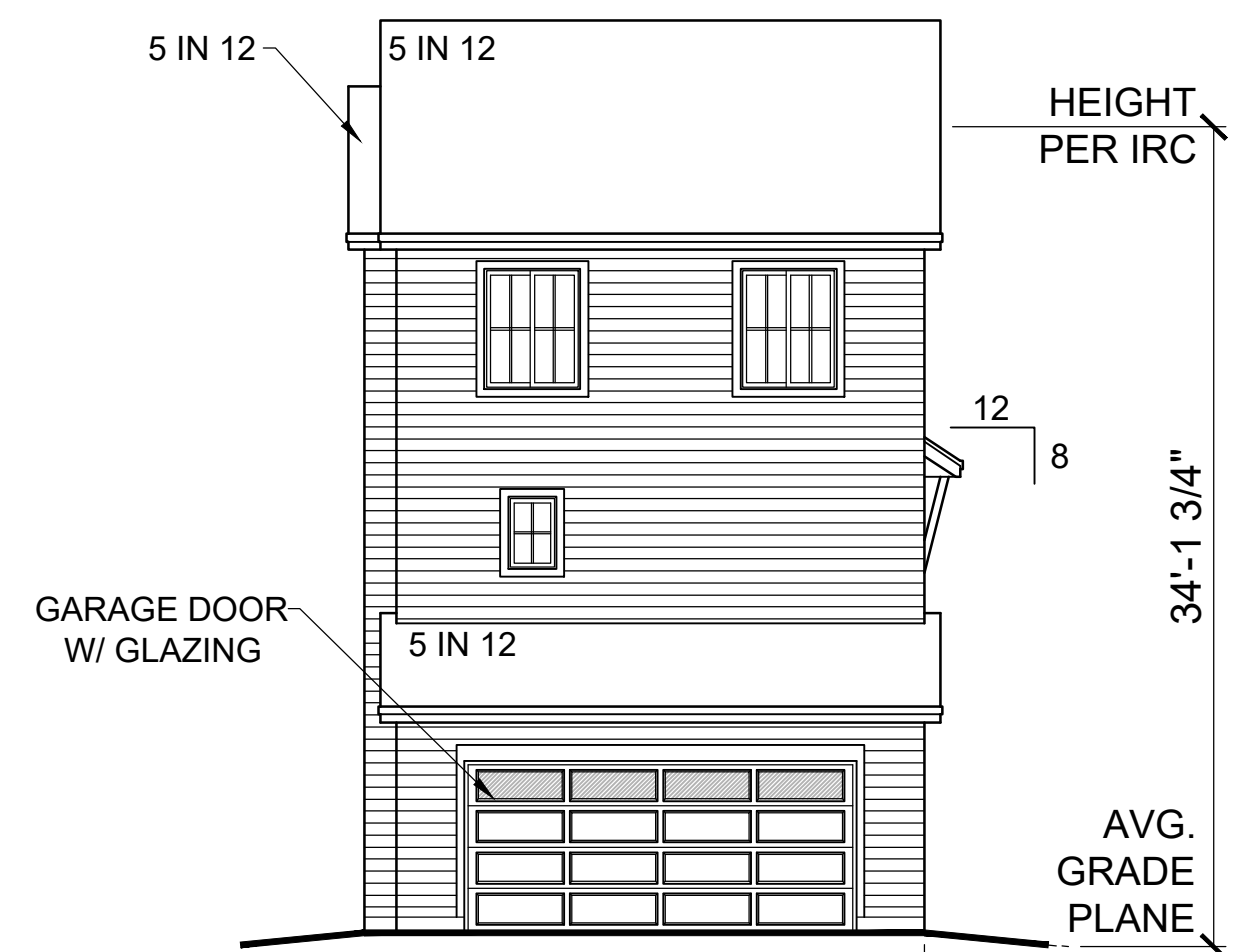
MASONRY @ ENHANCED ELEVATION  
**PLAN 1 ELEVATION 'D' - LEFT**  
 30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



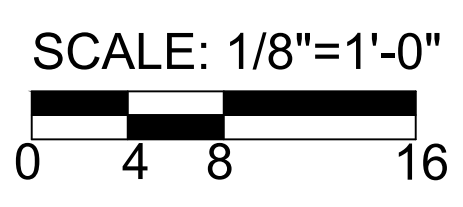
**PLAN 1 ELEVATION 'D' - FRONT**  
 30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 1 ELEVATION 'D' - RIGHT**  
 33% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 1 ELEVATION 'D' - REAR**  
 SCALE: 1/8" = 1'-0"



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		08.08.2024	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 136 OF 156

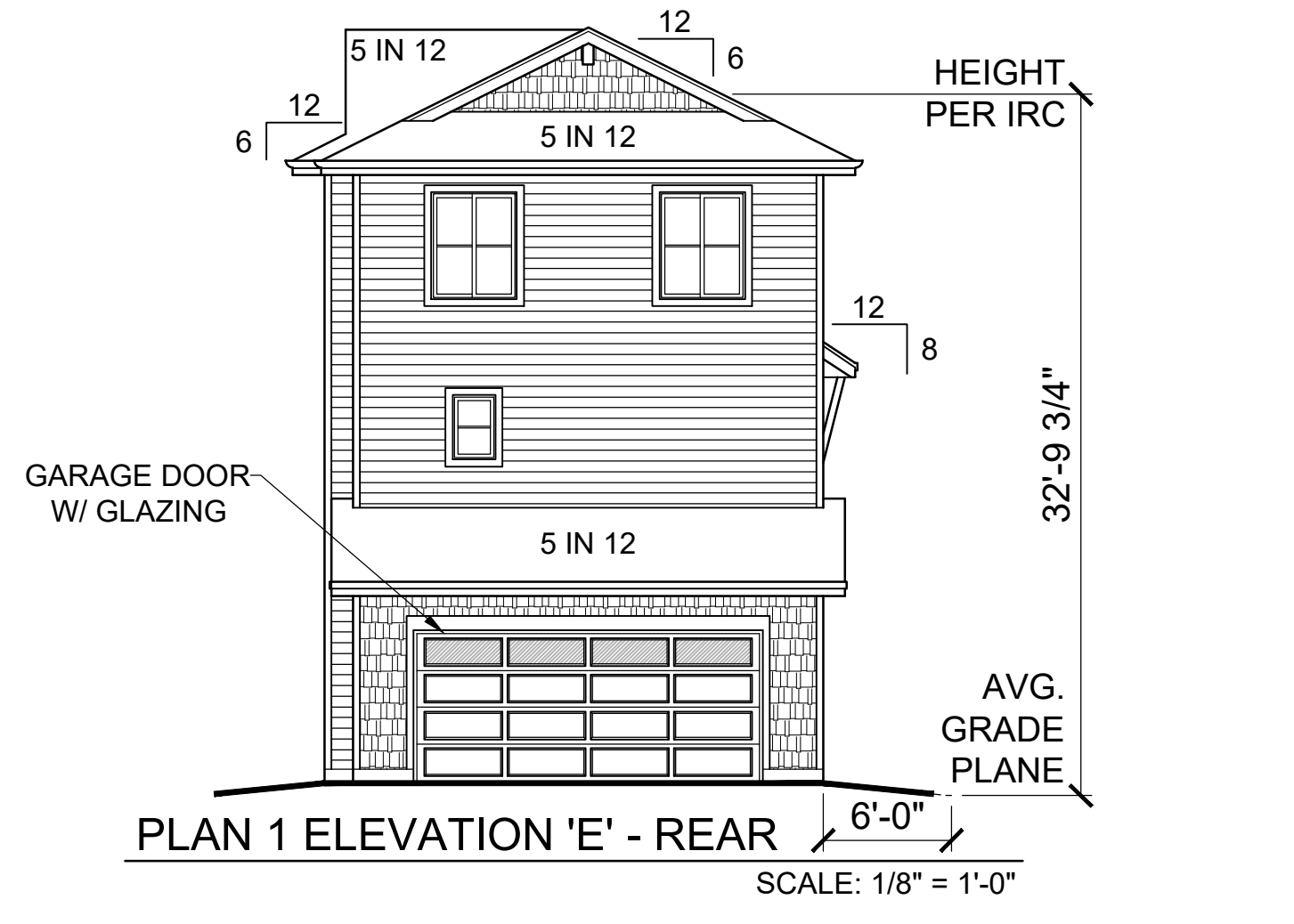
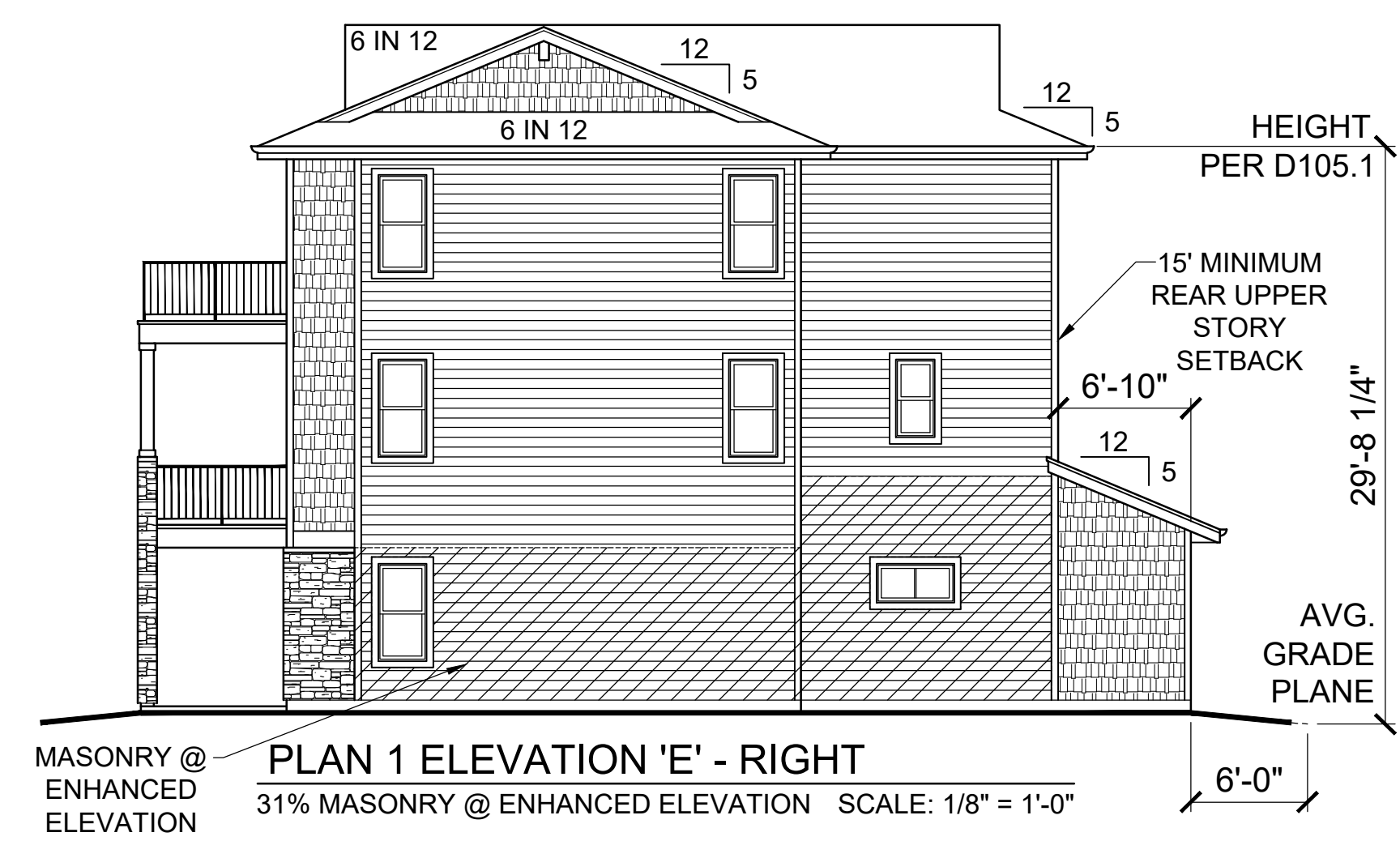
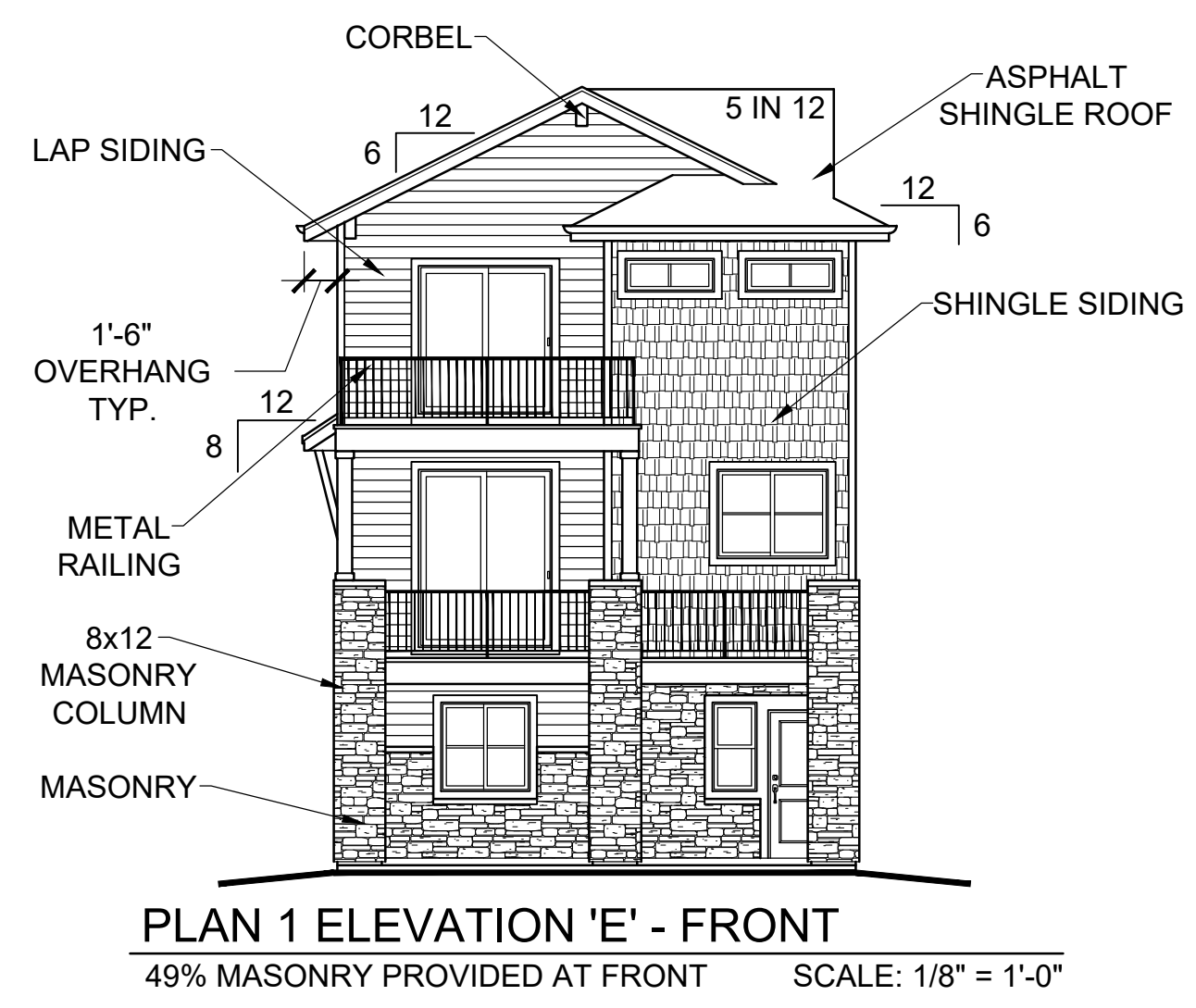
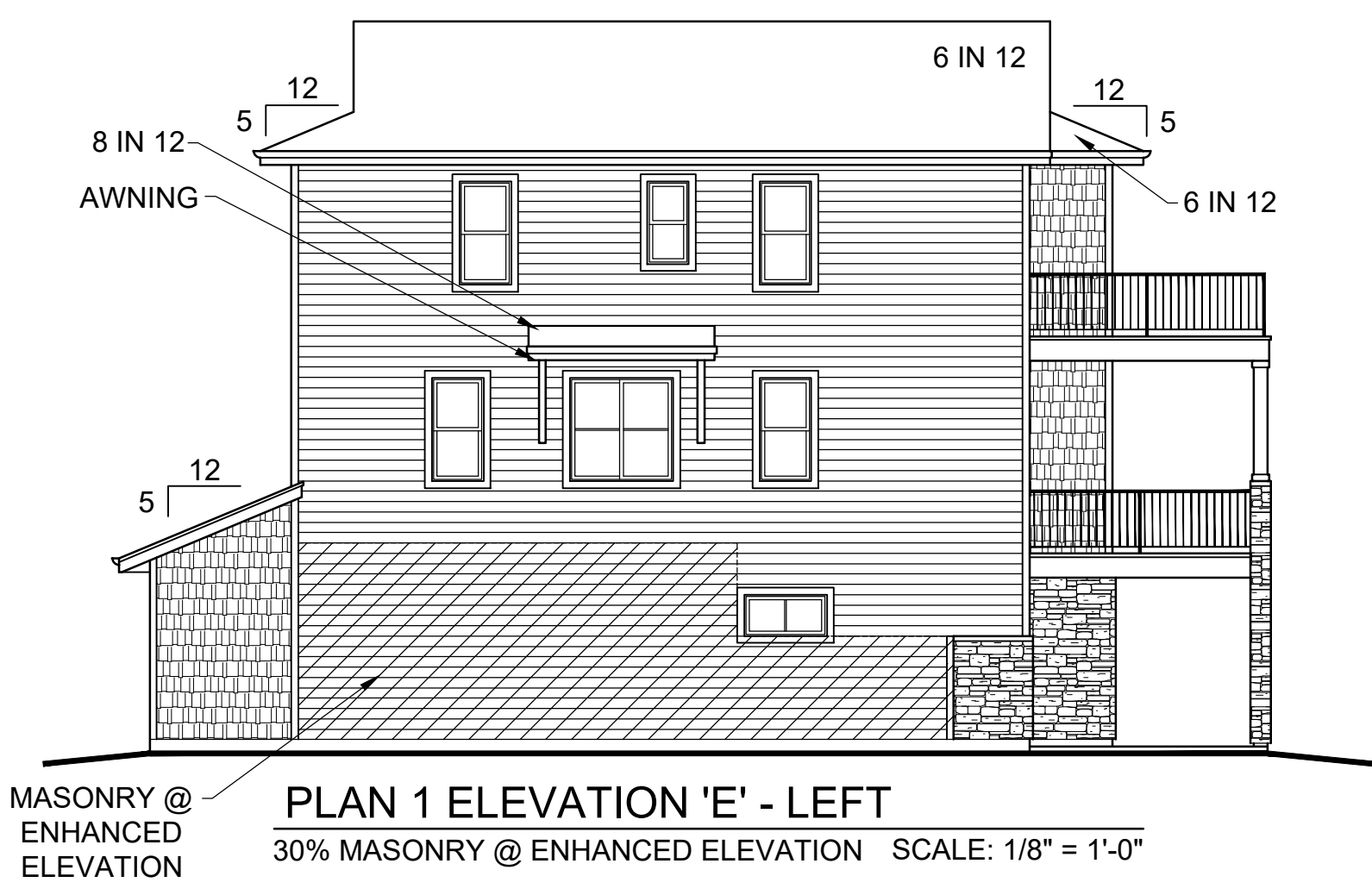
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WESTMINSTER, COLORADO



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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136 OF 156 SFD 3-STORY PLAN 1 ELEVATION 'E'			



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UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 137 OF 156

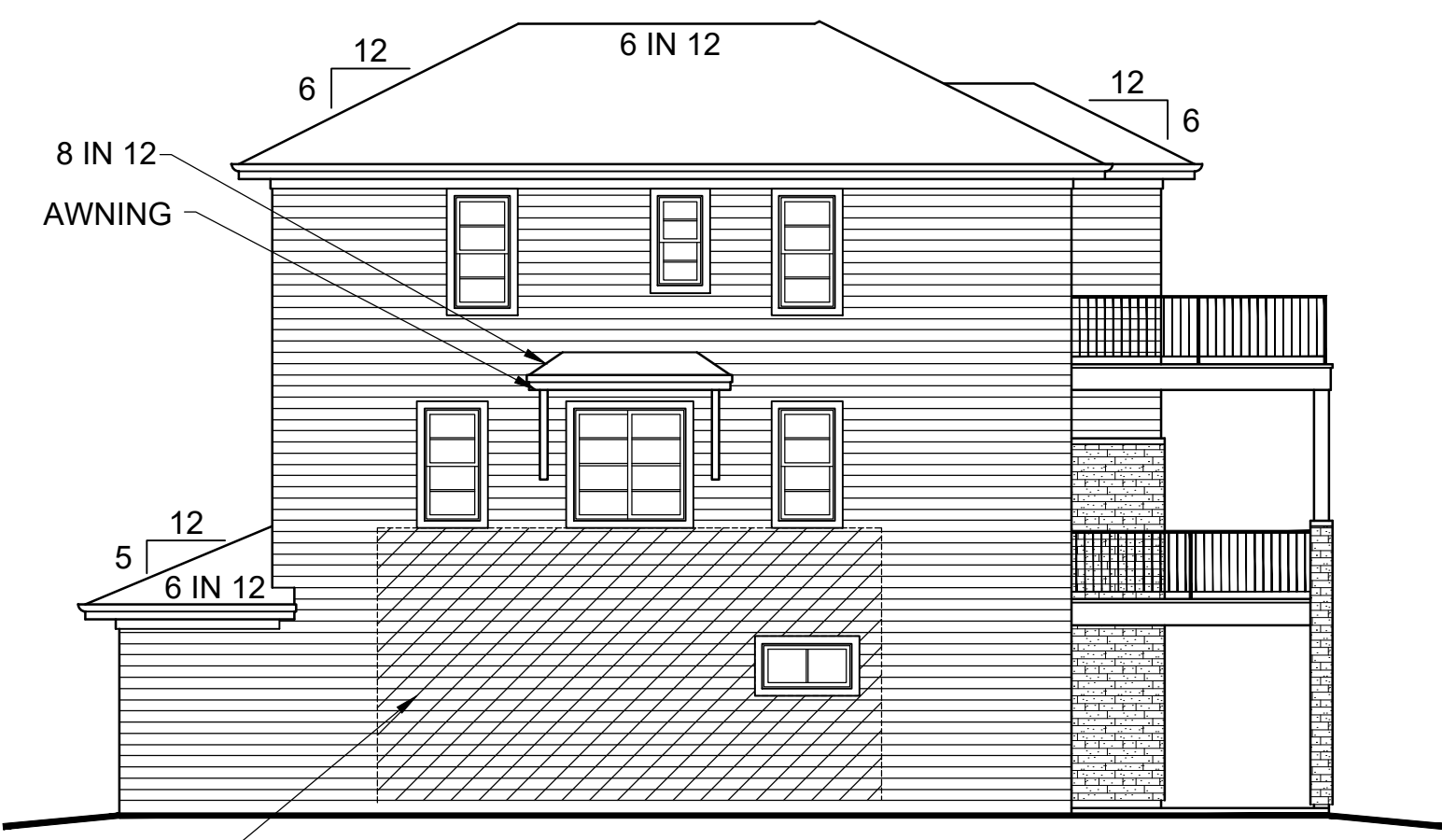
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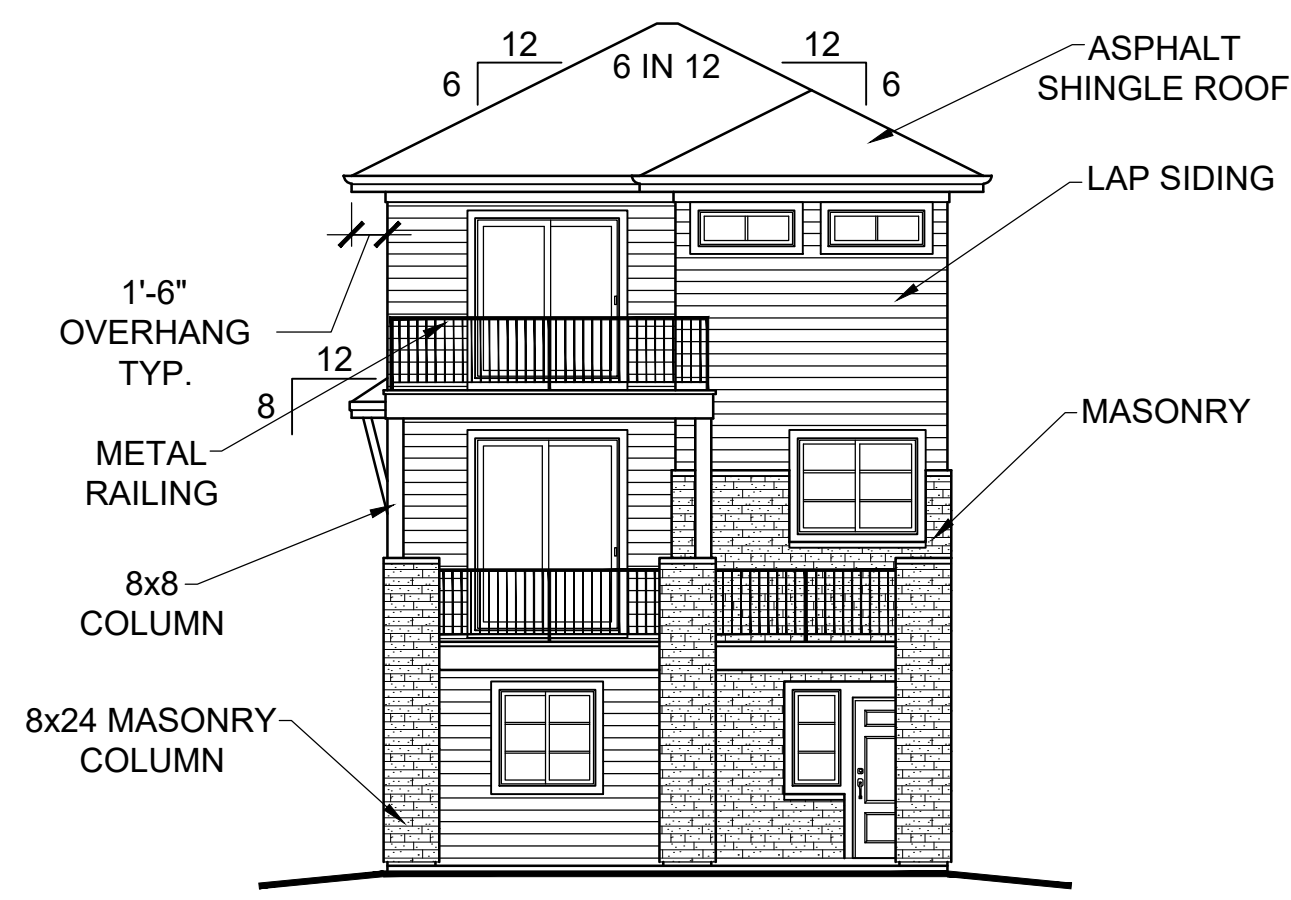
**UPLANDS**

DATE: 10.10.2024

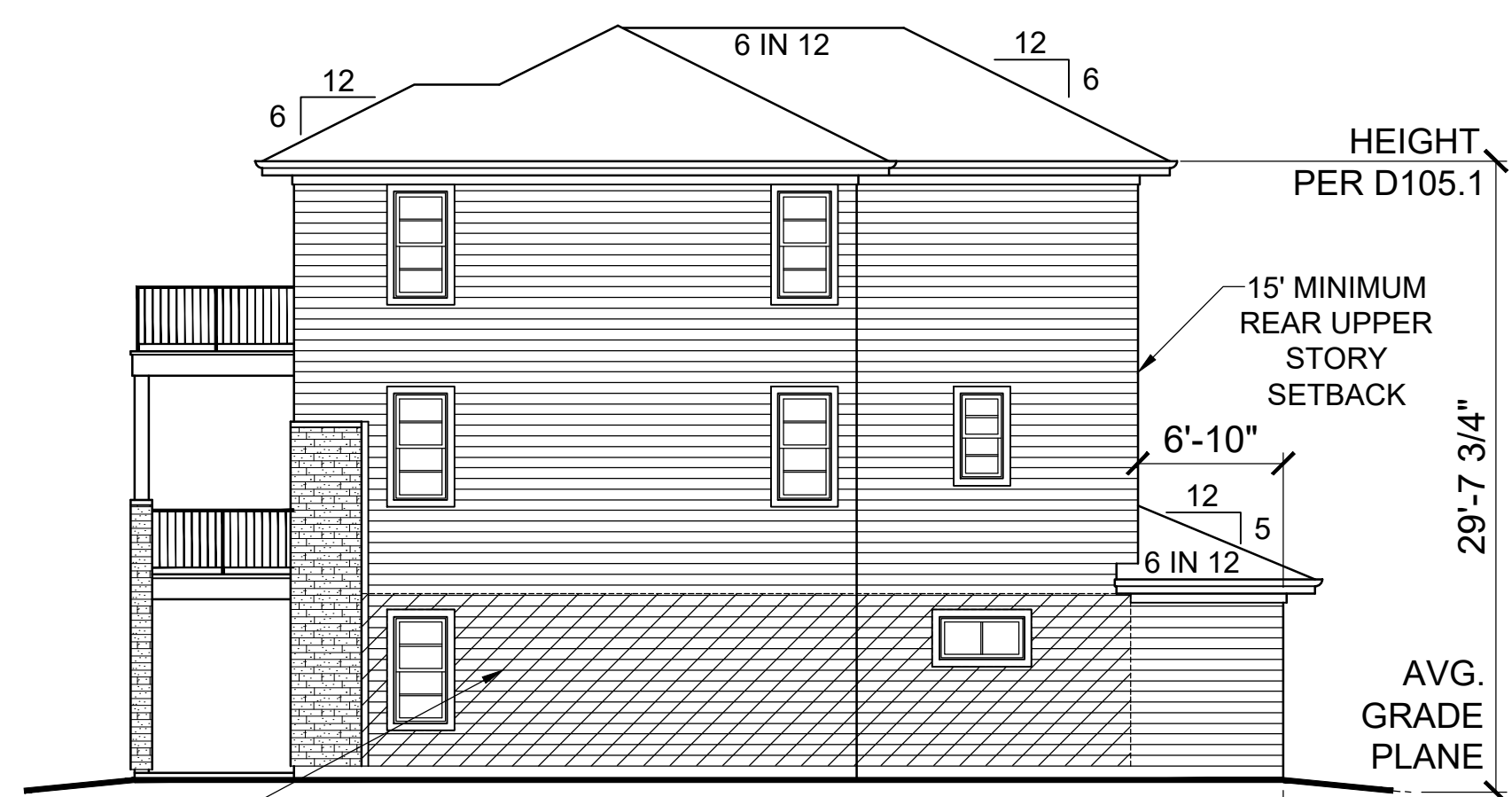
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WESTMINSTER, COLORADO



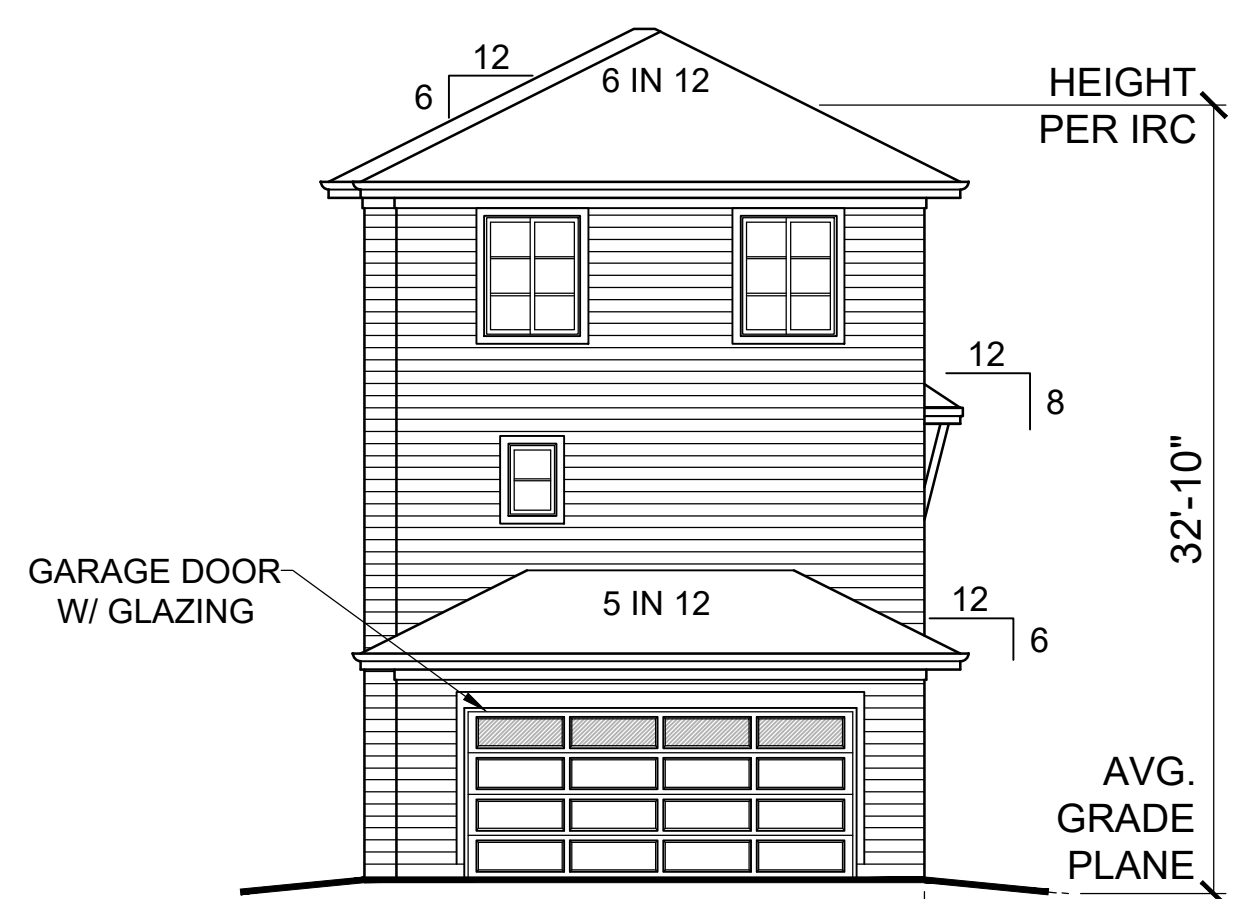
MASONRY @ ENHANCED ELEVATION  
**PLAN 1 ELEVATION 'F' - LEFT**  
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



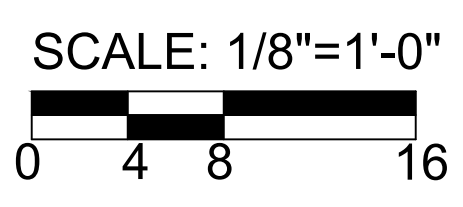
**PLAN 1 ELEVATION 'F' - FRONT**  
32% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 1 ELEVATION 'F' - RIGHT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 1 ELEVATION 'F' - REAR**  
SCALE: 1/8" = 1'-0"



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**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 138 OF 156

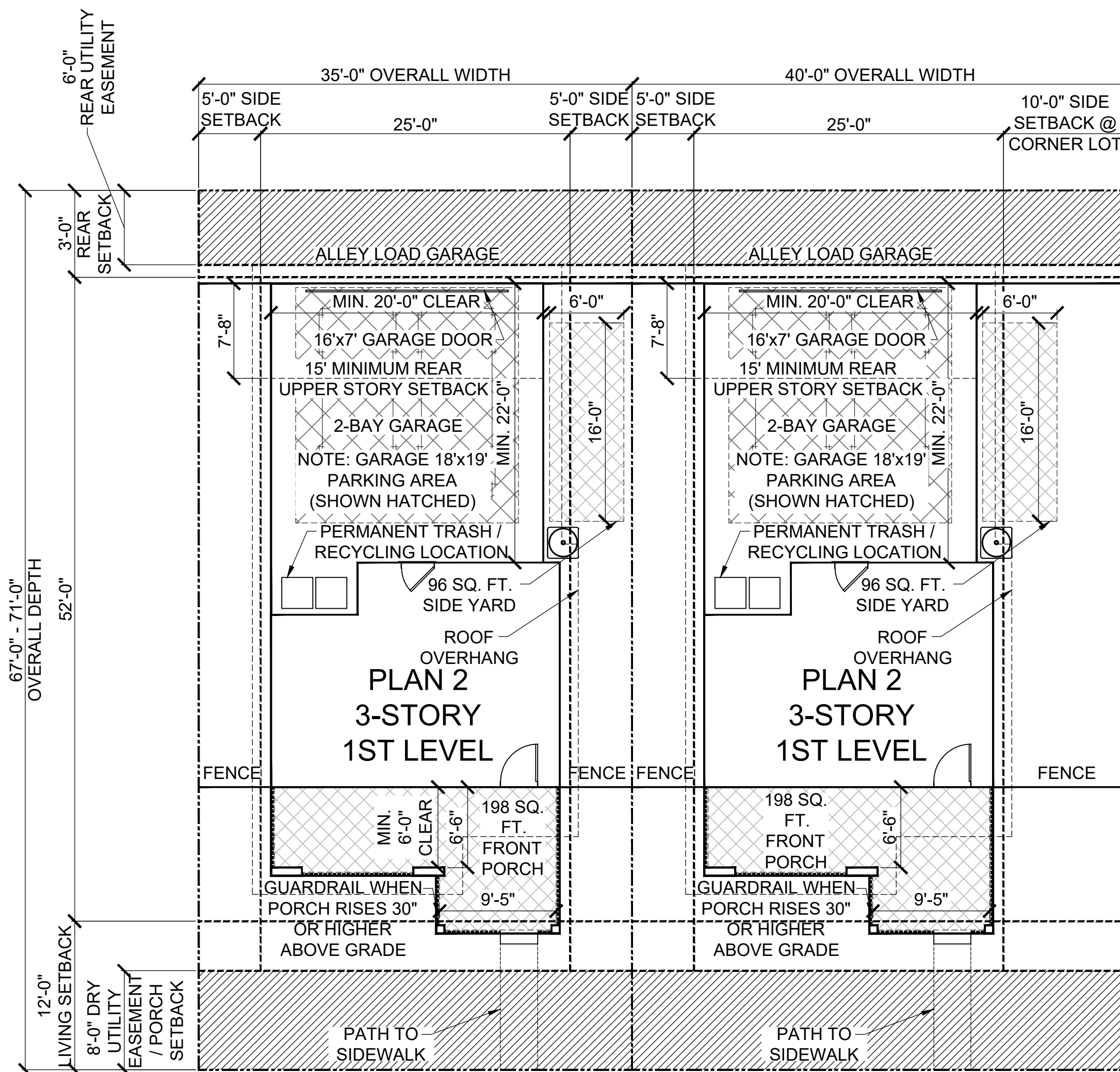
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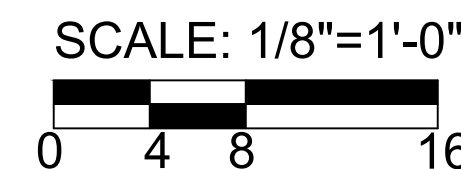
NOTE:

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4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 2 - 1ST LEVEL**

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"



UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

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138 OF 156  
 SFD 3-STORY PLAN 2  
 LOT TYPICALS

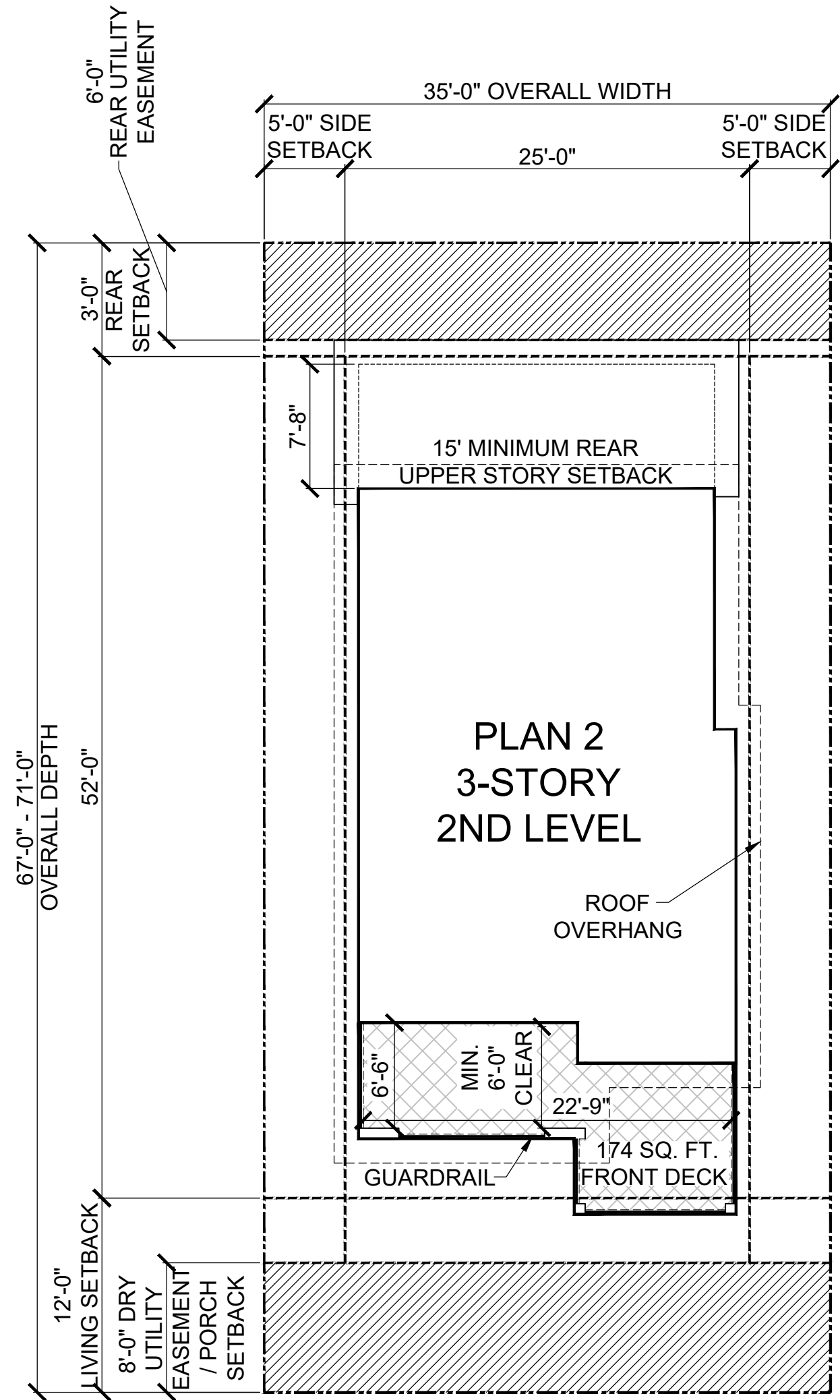
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
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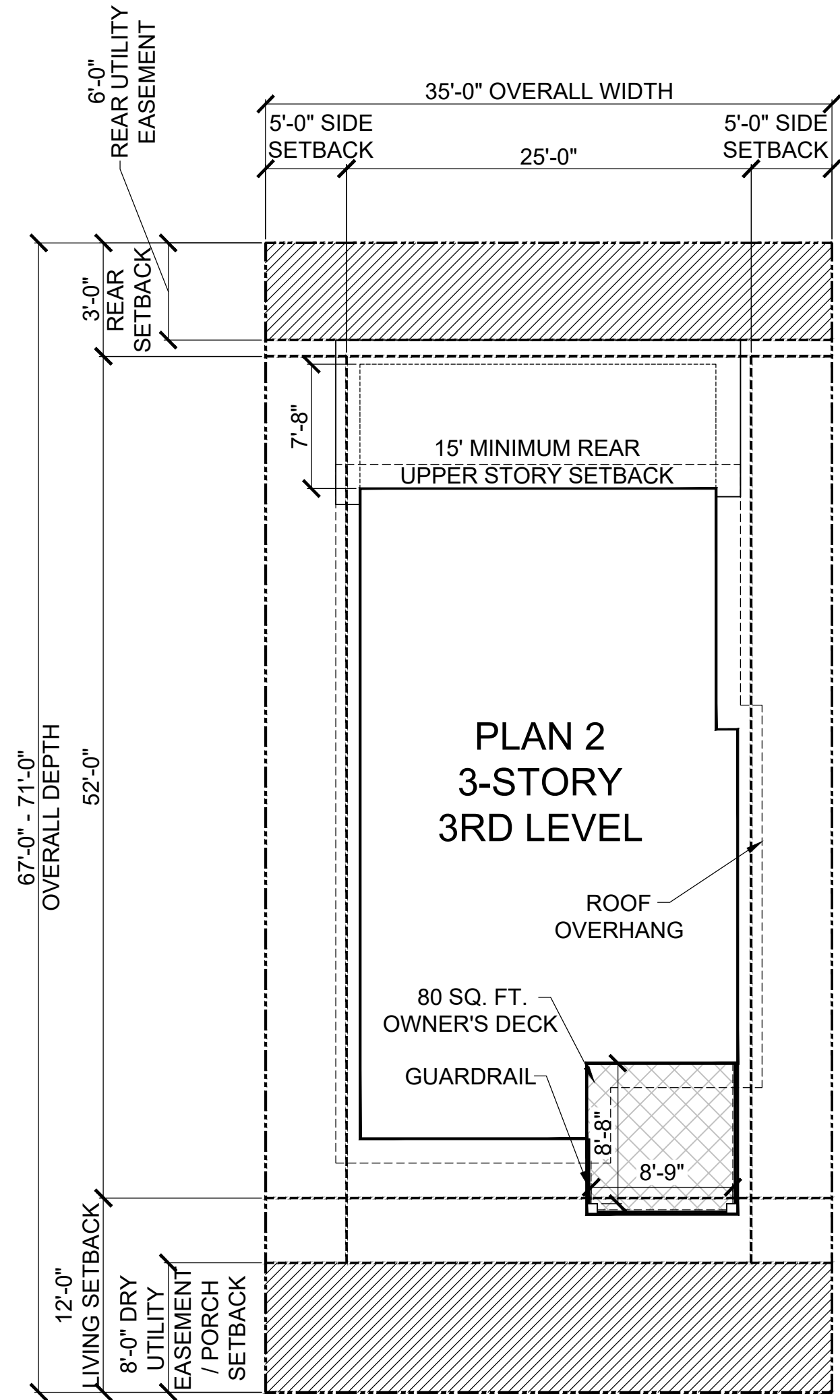
**UPLANDS FILING NO. 1  
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 2 - 2ND LEVEL**

1,971 TOTAL SQ. FT. SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 548 TOTAL SQ. FT.  
 FRONT PORCH: 198 SQ. FT.  
 SIDE YARD: 96 SQ. FT.  
 FRONT DECK: 174 SQ. FT.  
 OWNER'S DECK: 80 SQ. FT.



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 2 - 3RD LEVEL**

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 140 OF 156

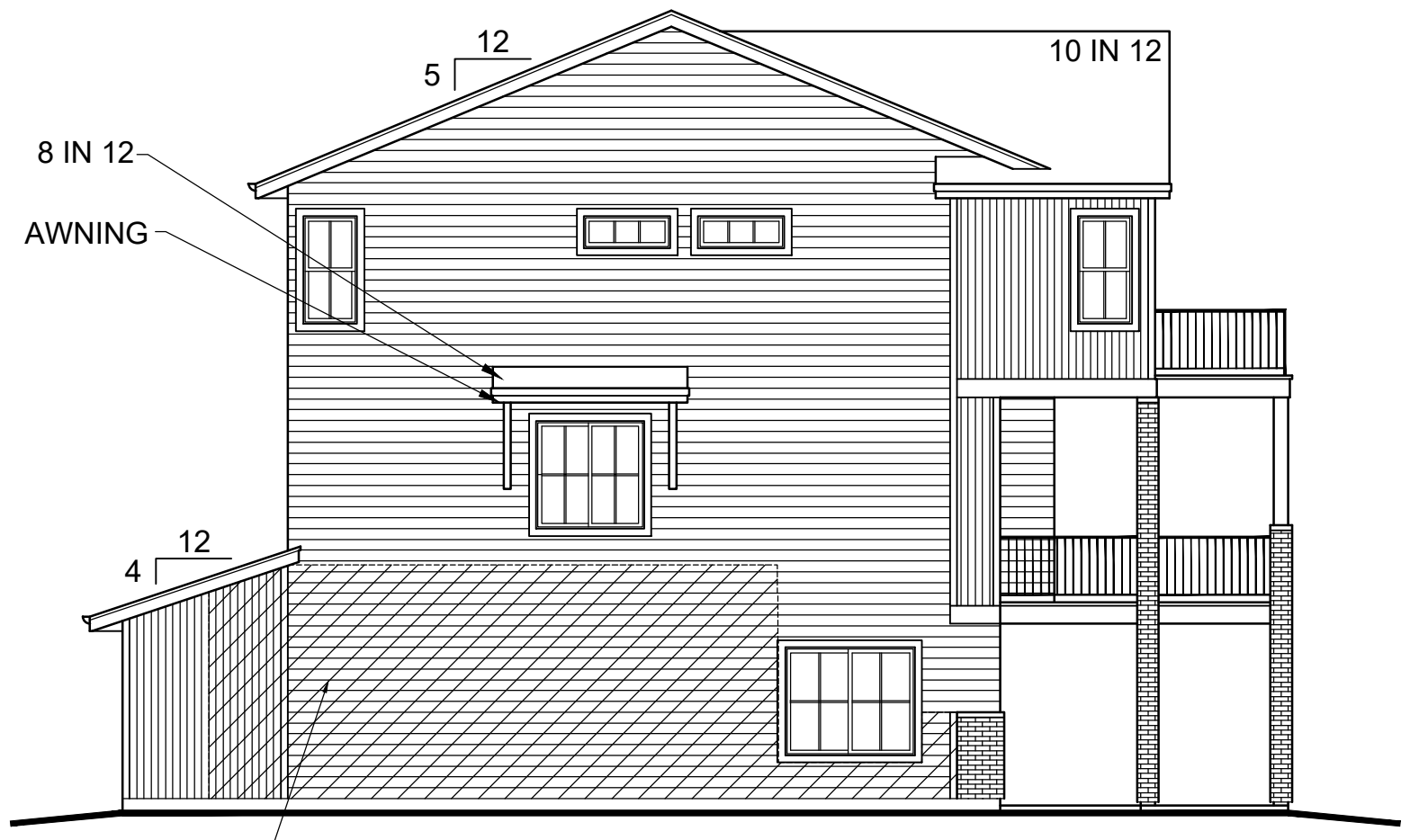
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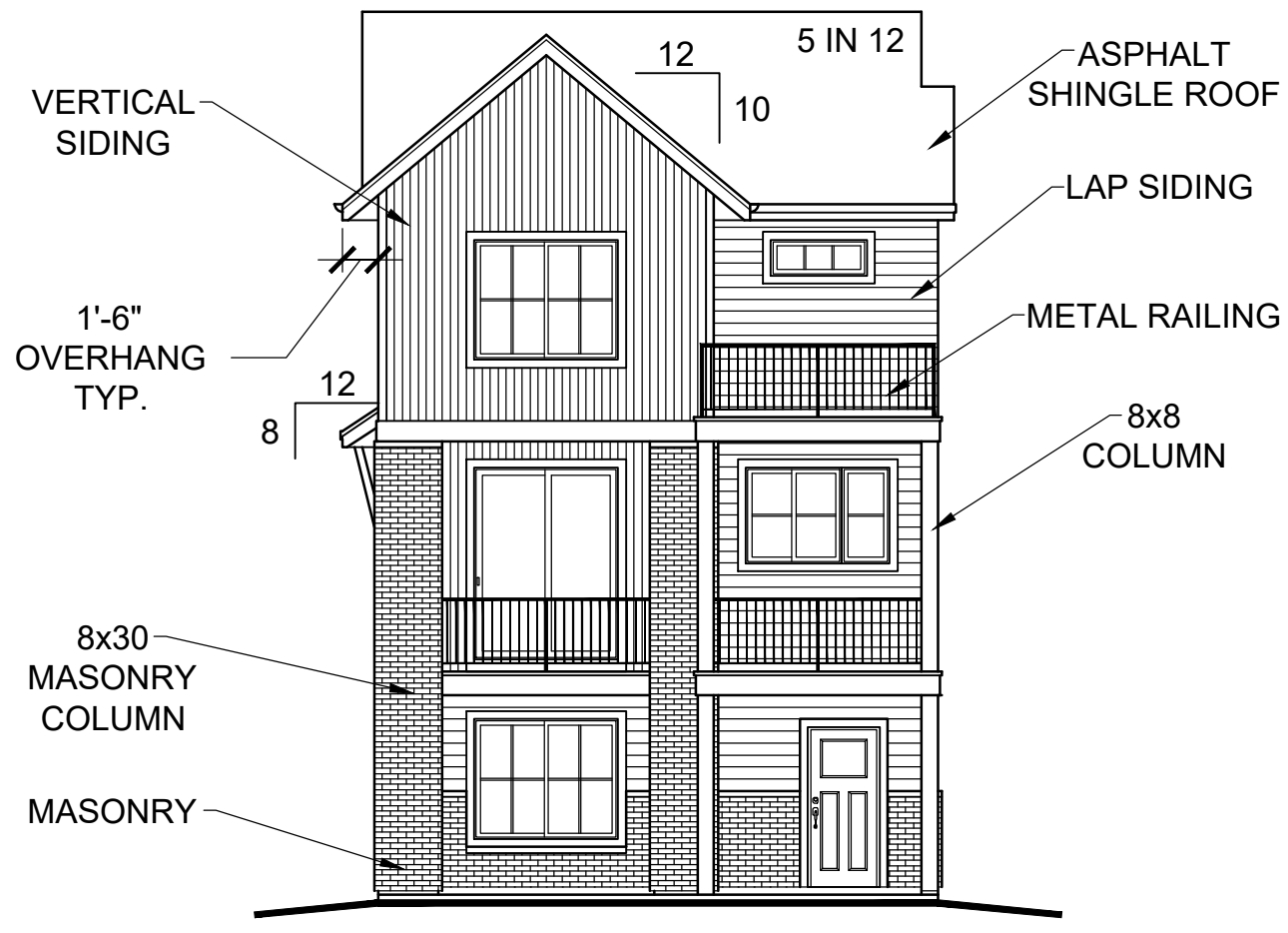
**UPLANDS**

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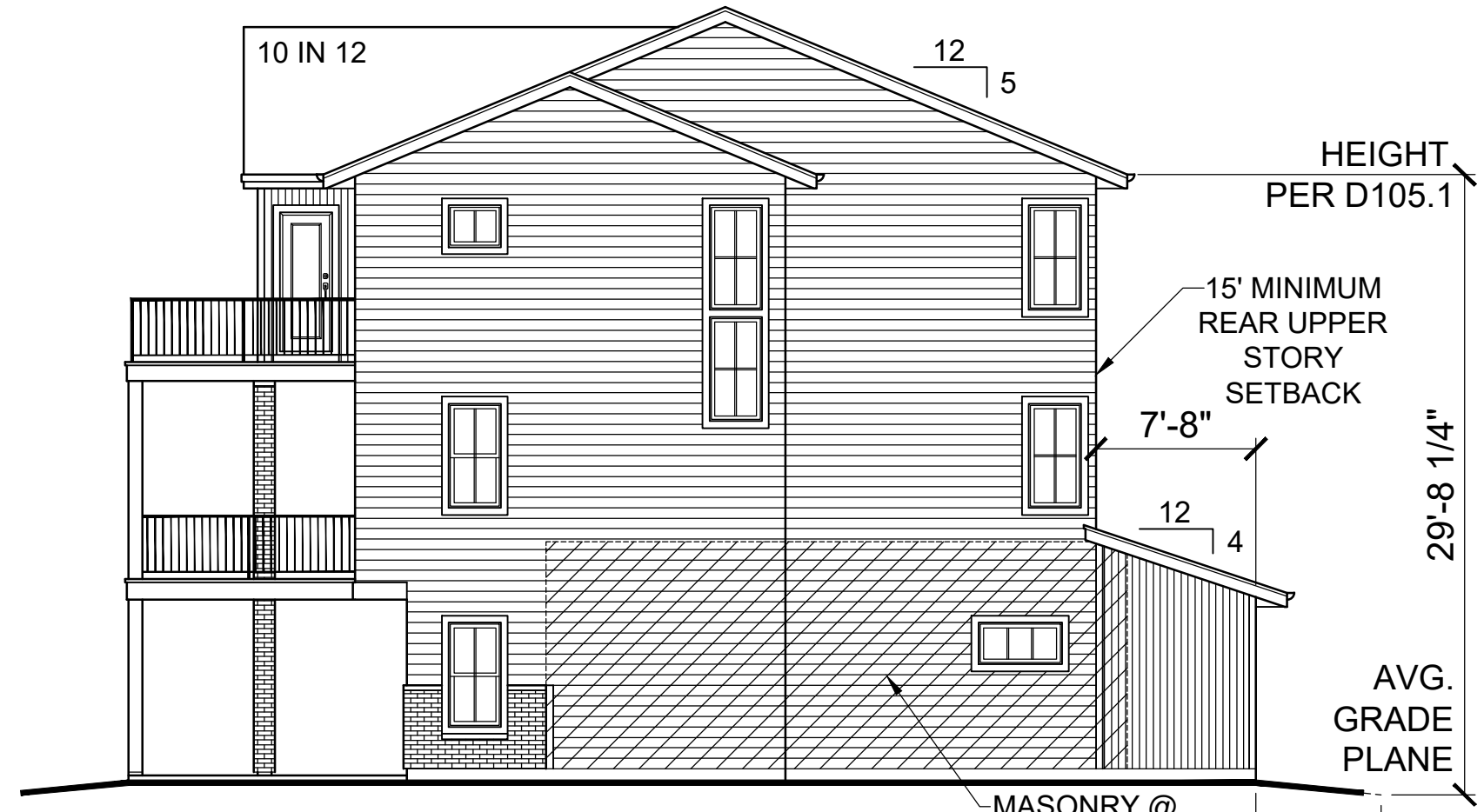
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



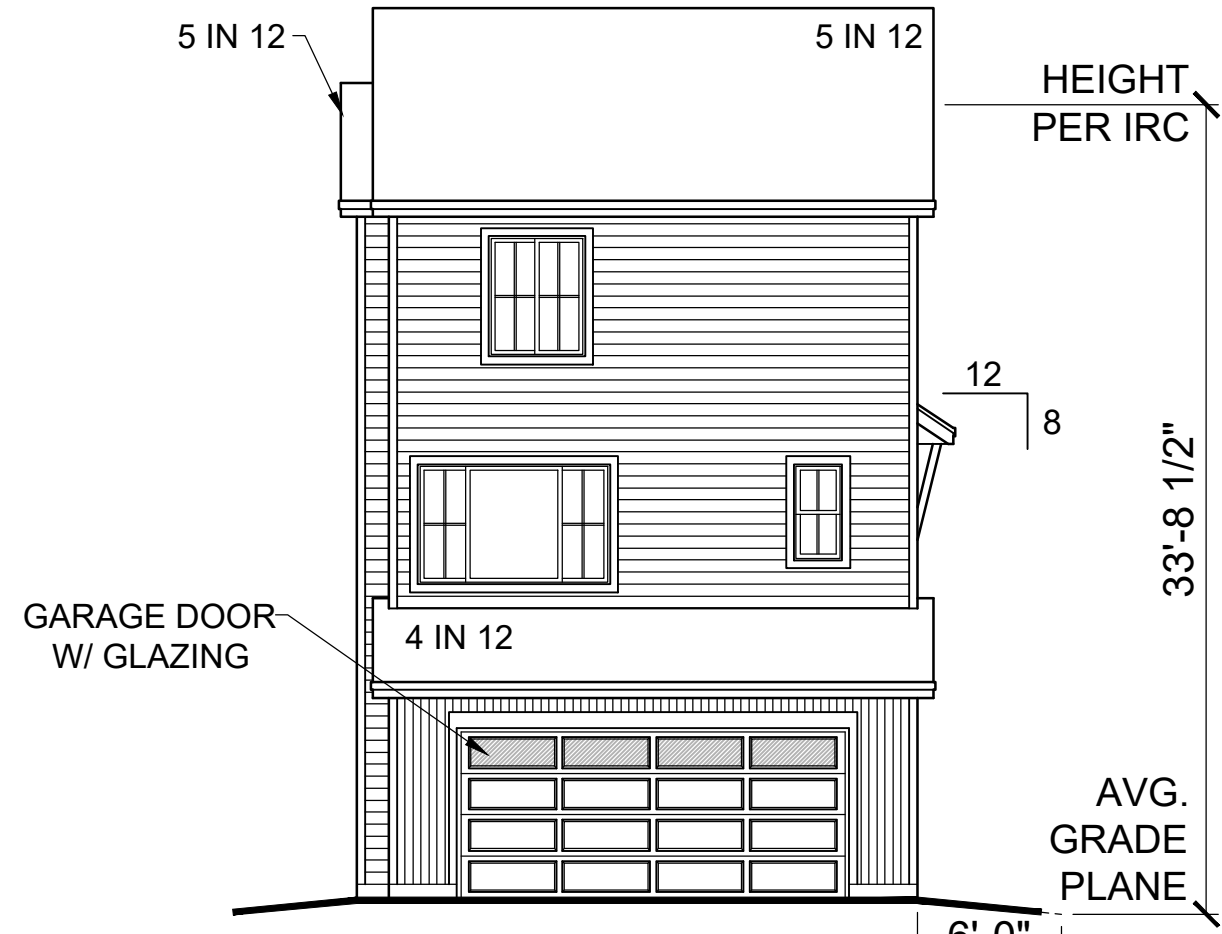
MASONRY @ ENHANCED ELEVATION  
**PLAN 2 ELEVATION 'D' - LEFT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



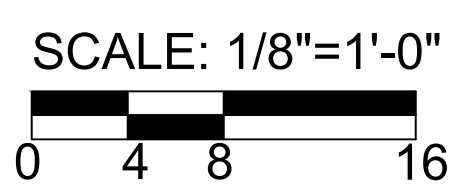
**PLAN 2 ELEVATION 'D' - FRONT**  
30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 2 ELEVATION 'D' - RIGHT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'D' - REAR**  
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 141 OF 156

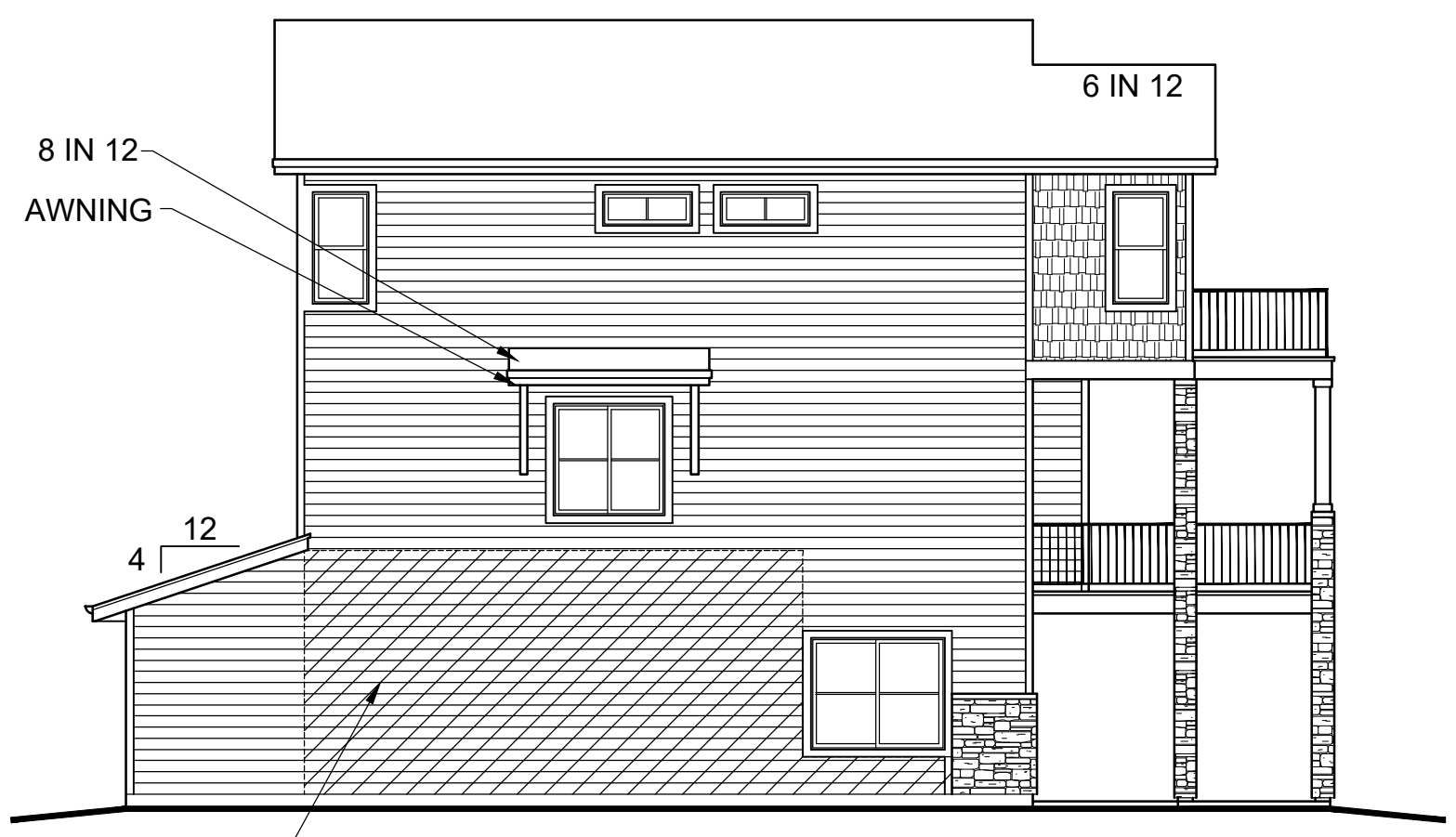
REFER TO COLOR  
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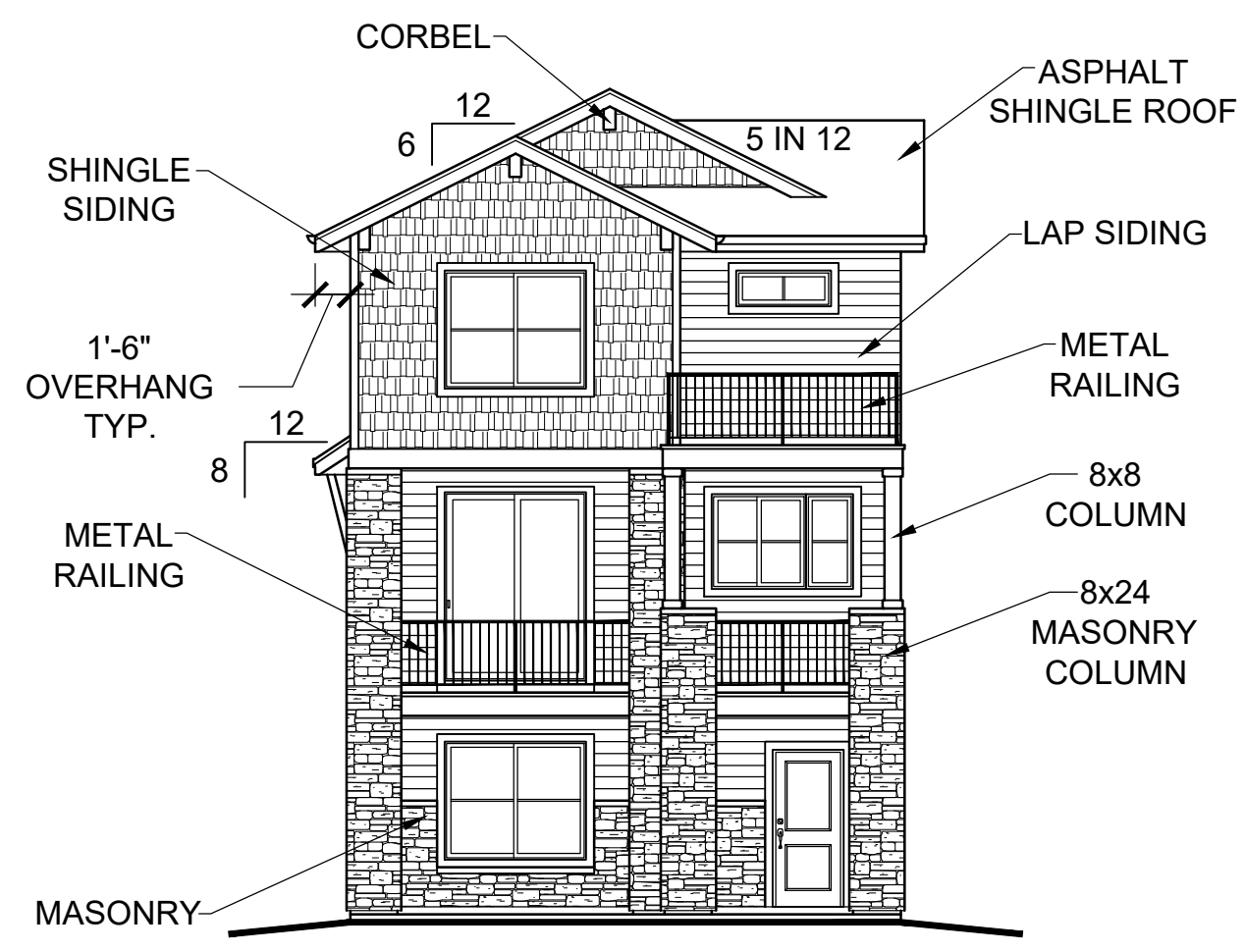
**UPLANDS**

DATE: 10.10.2024

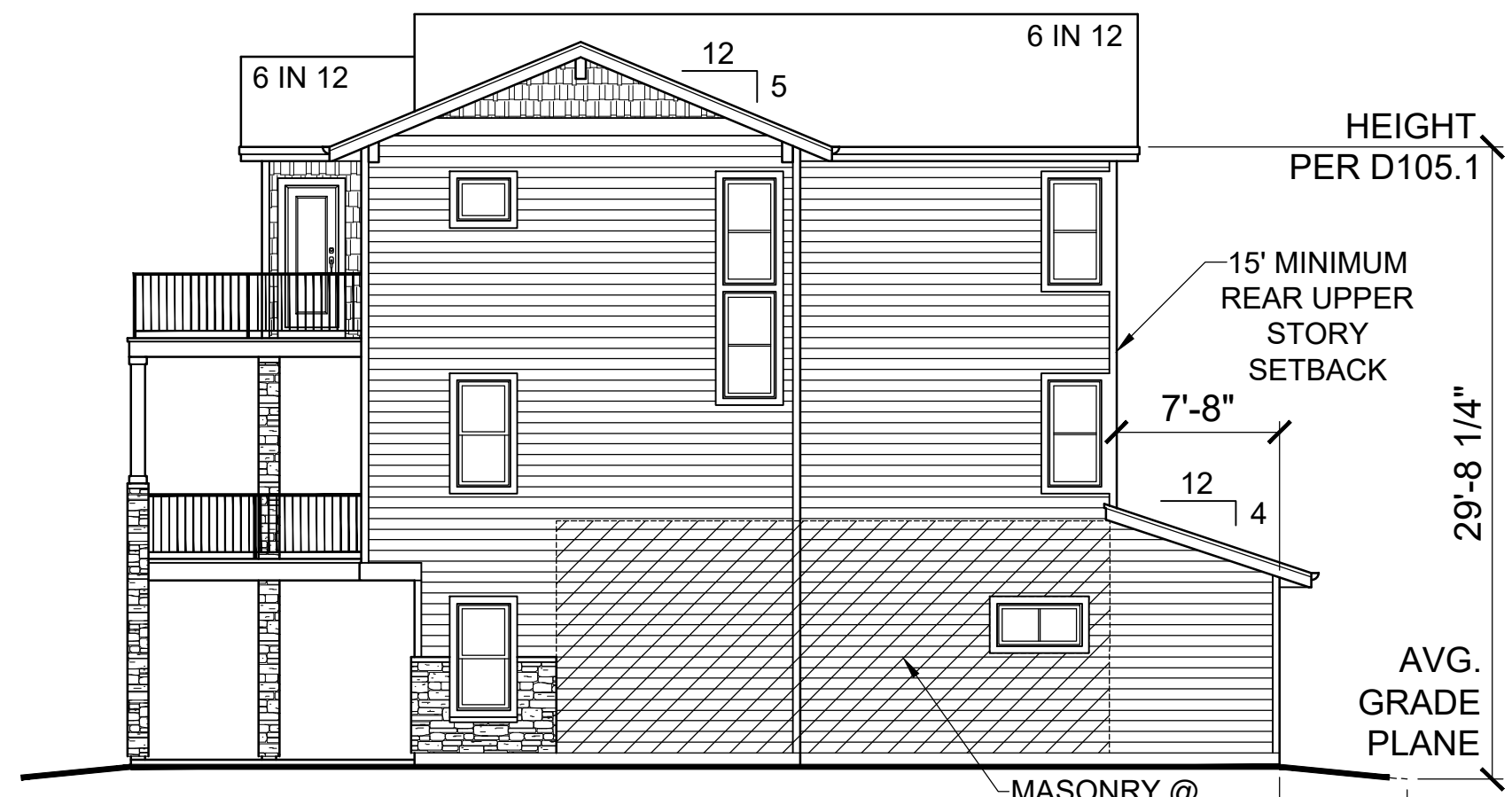
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



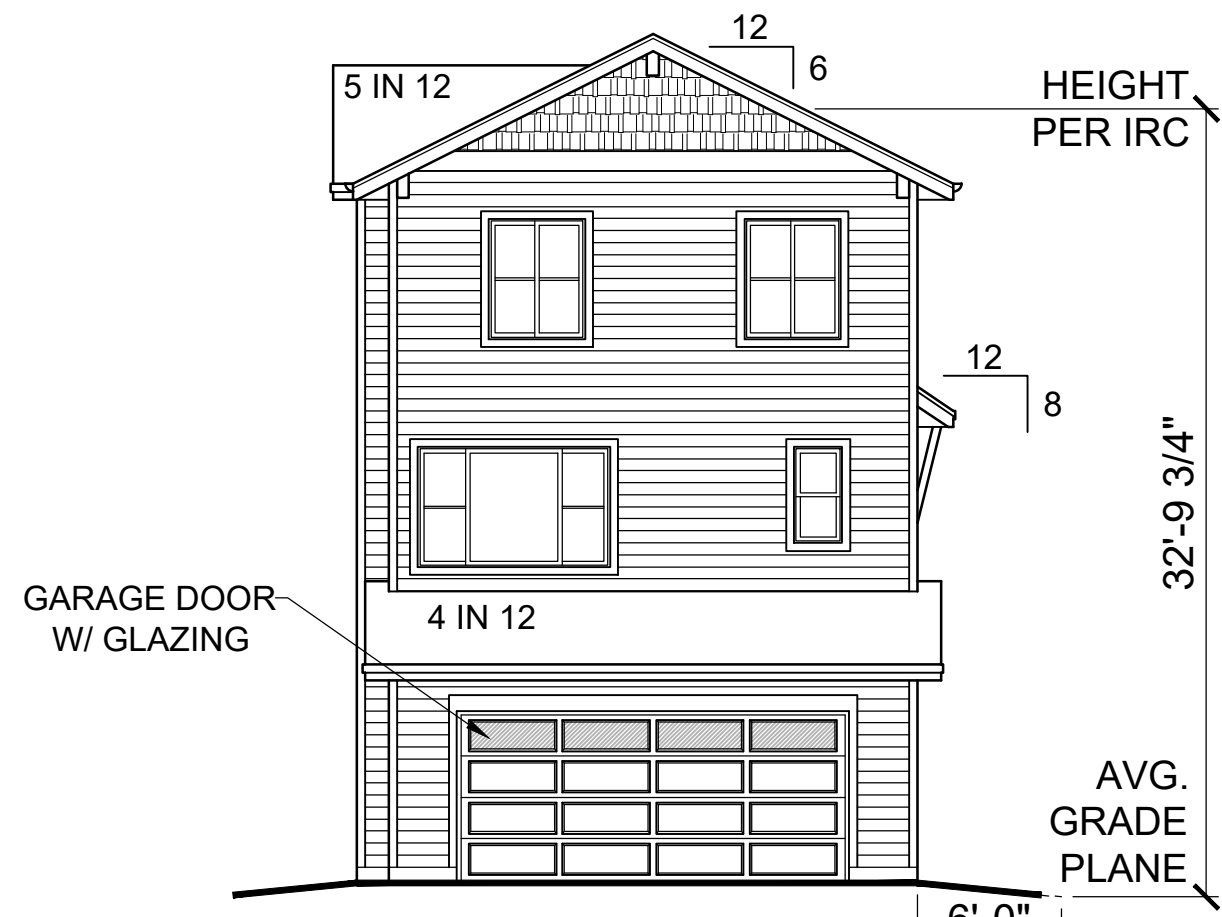
MASONRY @ ENHANCED ELEVATION  
**PLAN 2 ELEVATION 'E' - LEFT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



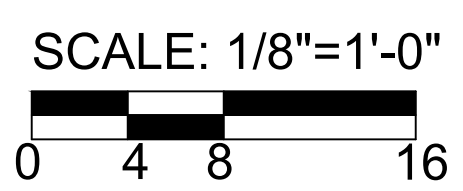
**PLAN 2 ELEVATION 'E' - FRONT**  
31% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 2 ELEVATION 'E' - RIGHT**  
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'E' - REAR**  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 142 OF 156

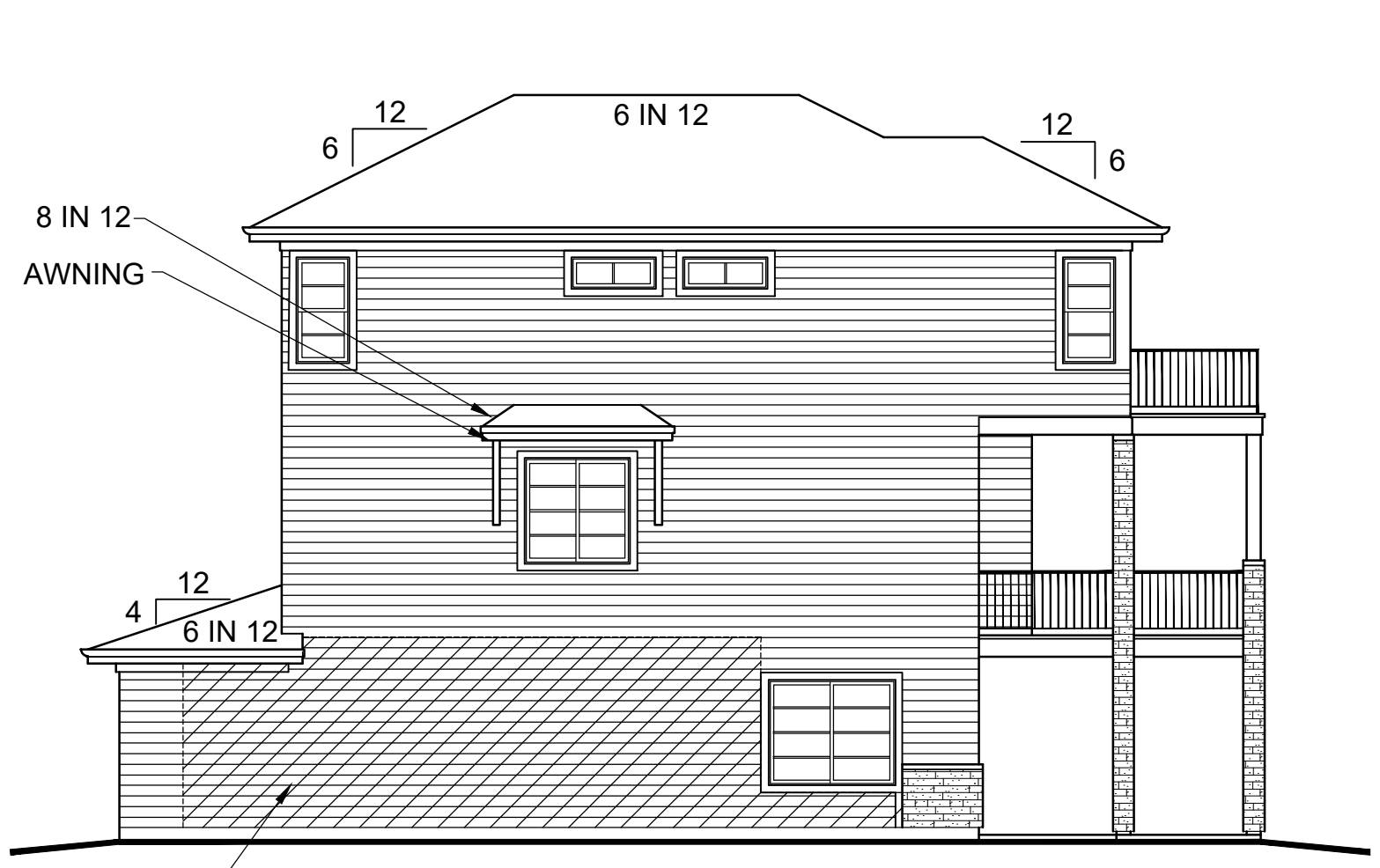
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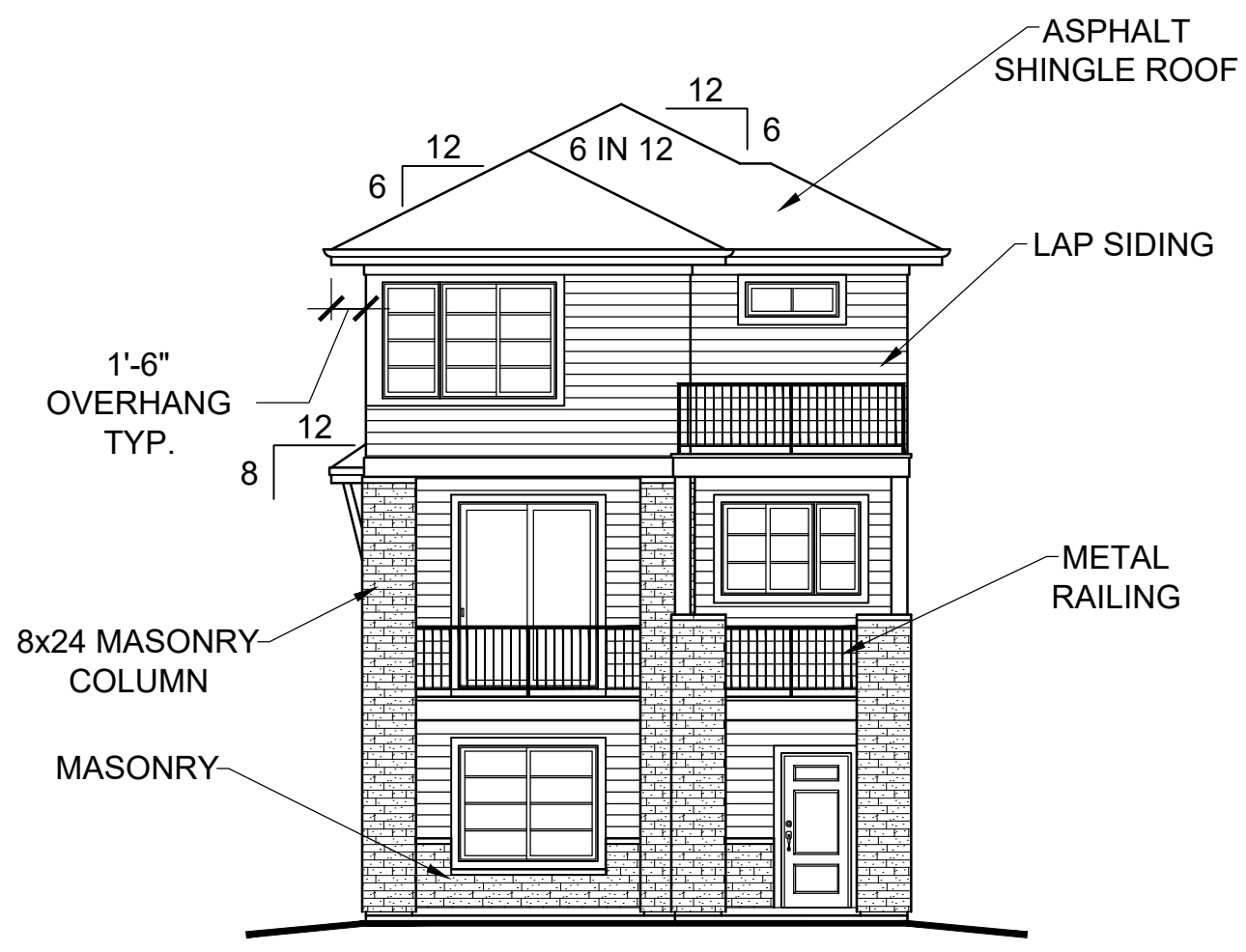
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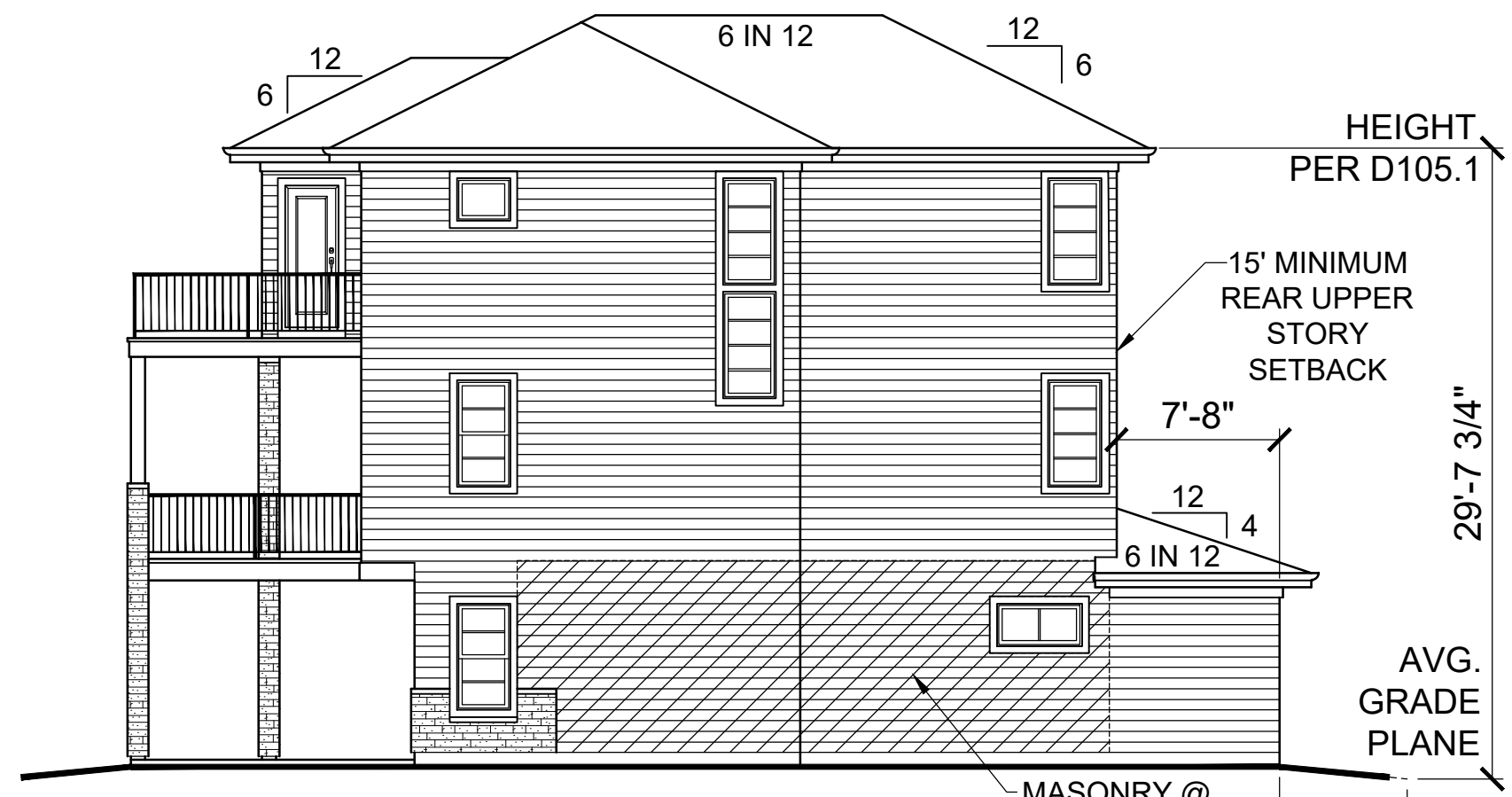
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO



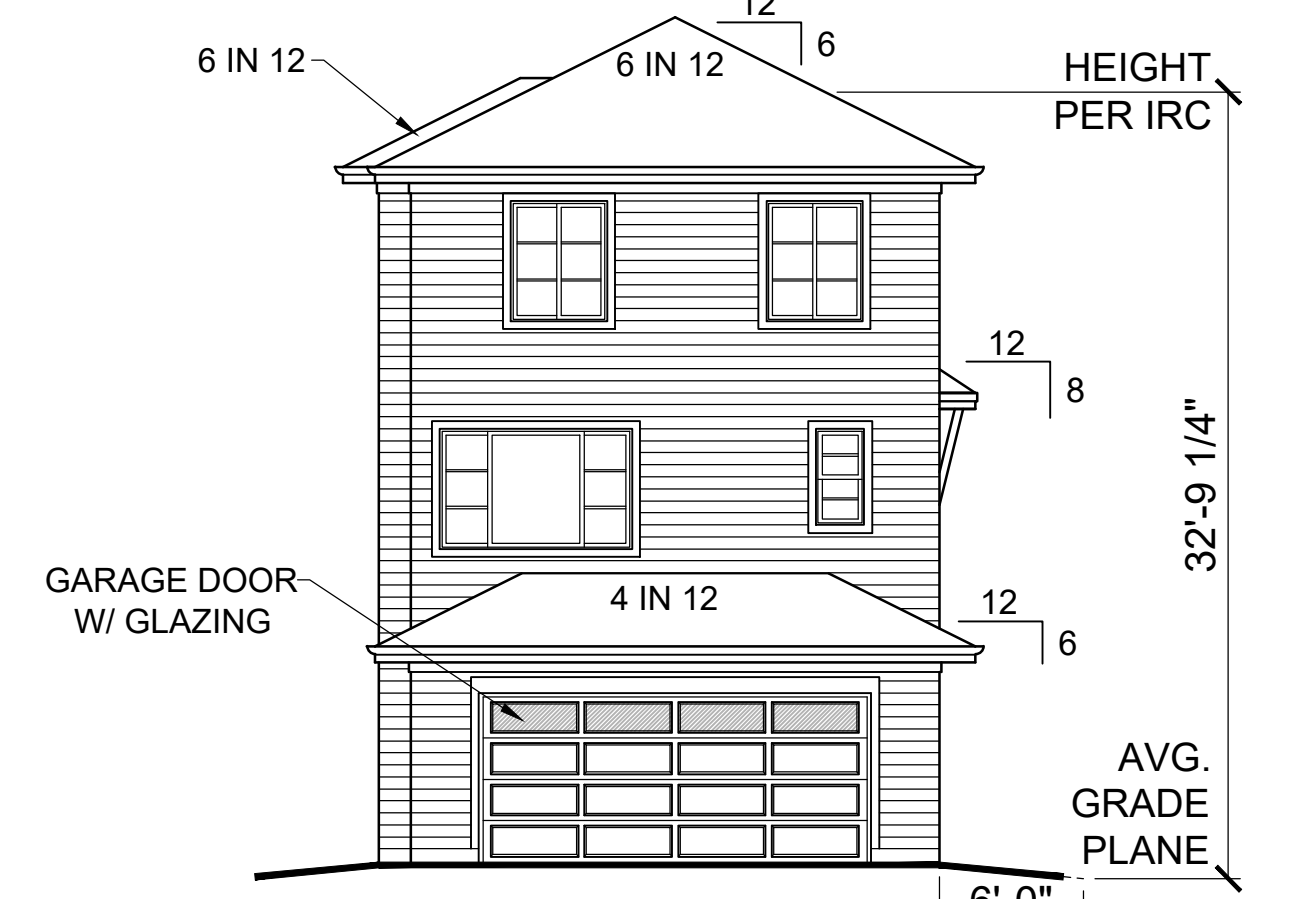
**PLAN 2 ELEVATION 'F' - LEFT**  
 30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'F' - FRONT**  
 35% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'F' - RIGHT**  
 30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'F' - REAR**  
 SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS	
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 143 OF 156

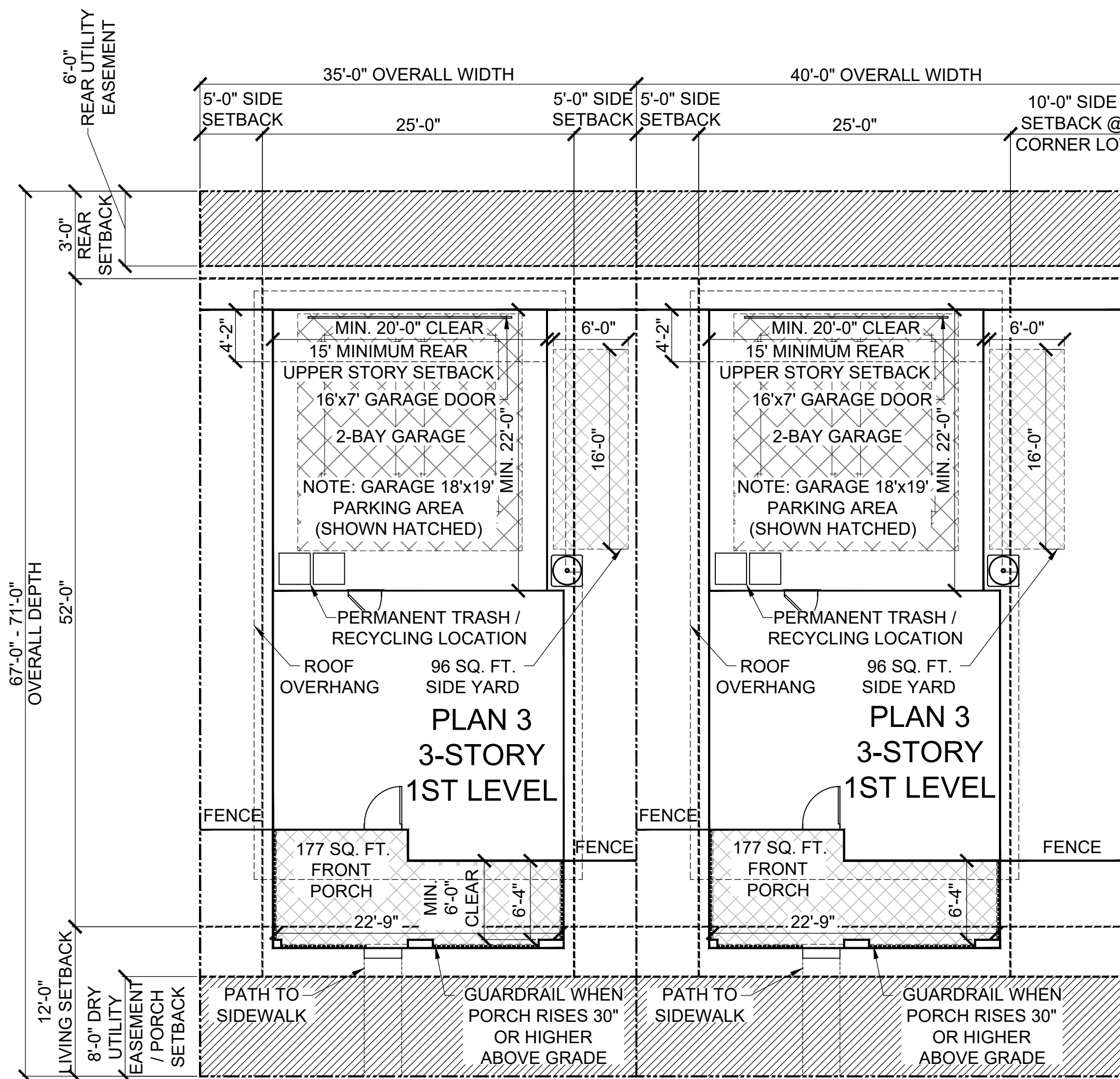
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DATE: 10.10.2024

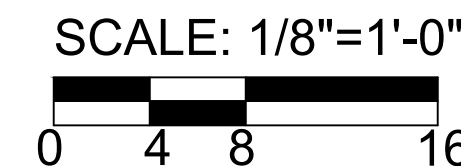
NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 3 - 1ST LEVEL**

ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"



**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

08.08.2024

10.10.2024

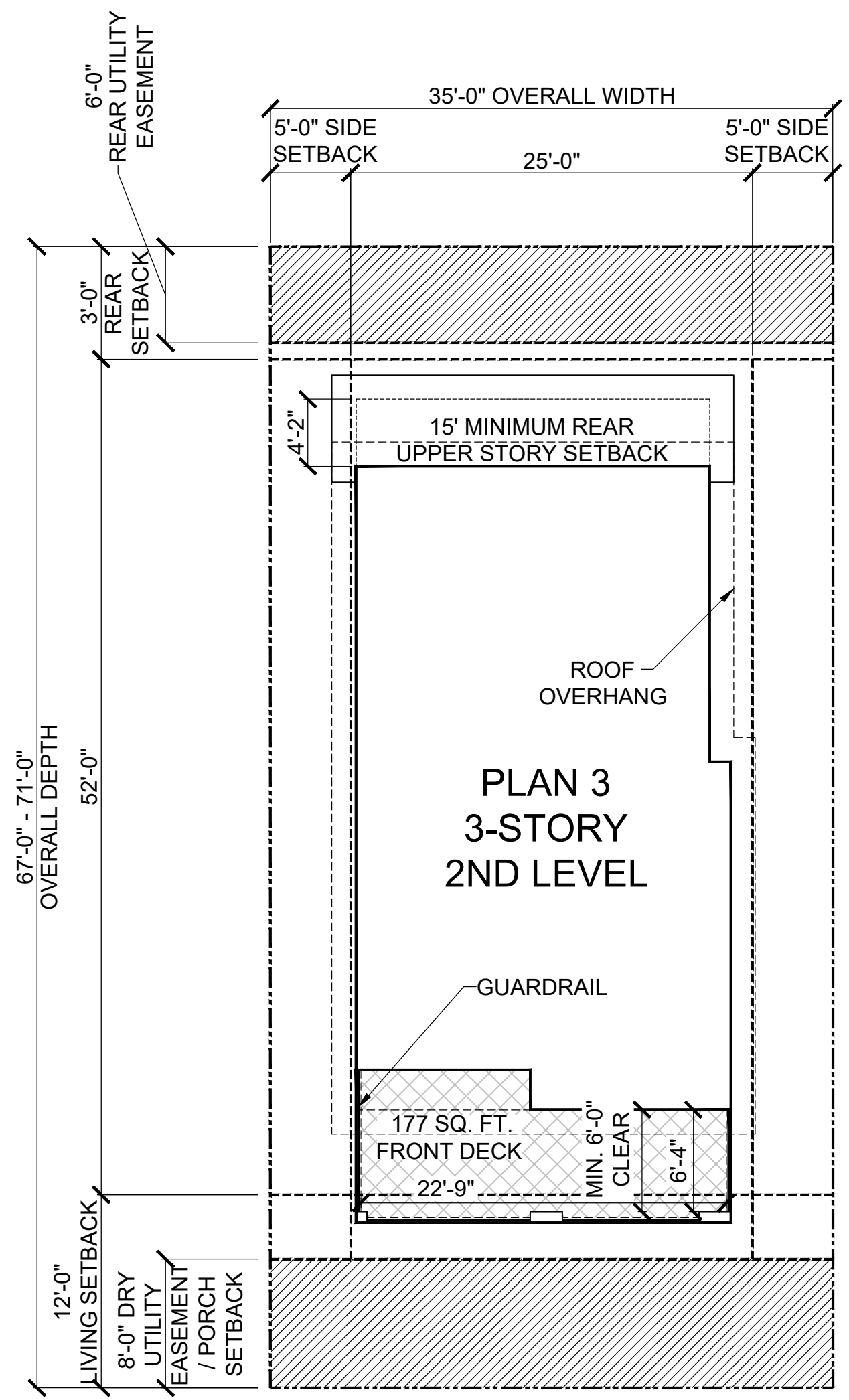
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
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**UPLANDS**

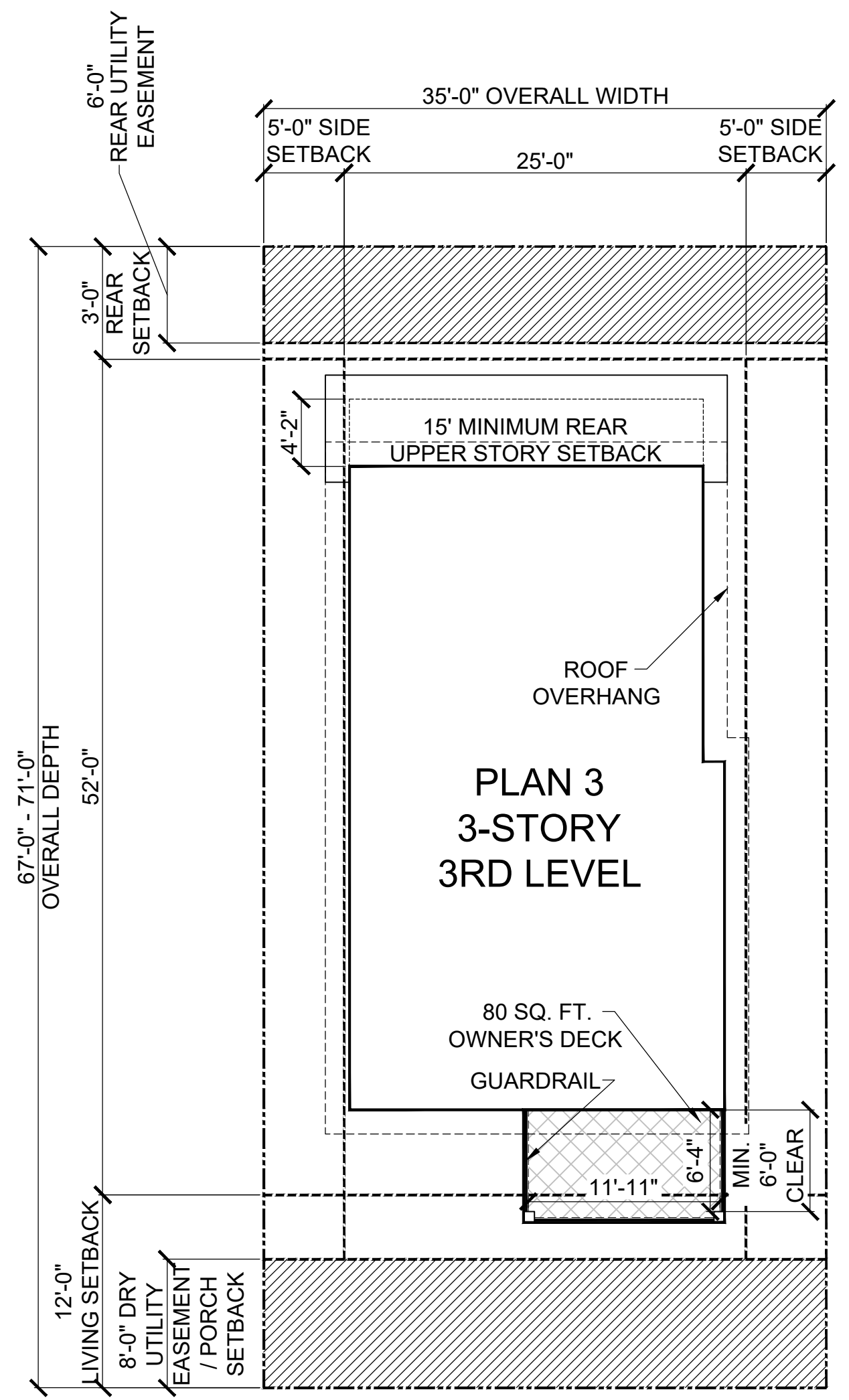
DATE: 10.10.2024

**UPLANDS FILING NO. 1  
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 3 - 2ND LEVEL**  
 2,217 TOTAL SQ. FT. SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 530 TOTAL SQ. FT.  
 FRONT PORCH: 177 SQ. FT.  
 SIDE YARD: 96 SQ. FT.  
 FRONT DECK: 177 SQ. FT.  
 OWNER'S DECK: 80 SQ. FT.



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 3 - 3RD LEVEL**  
 SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024
	10.10.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 145 OF 156

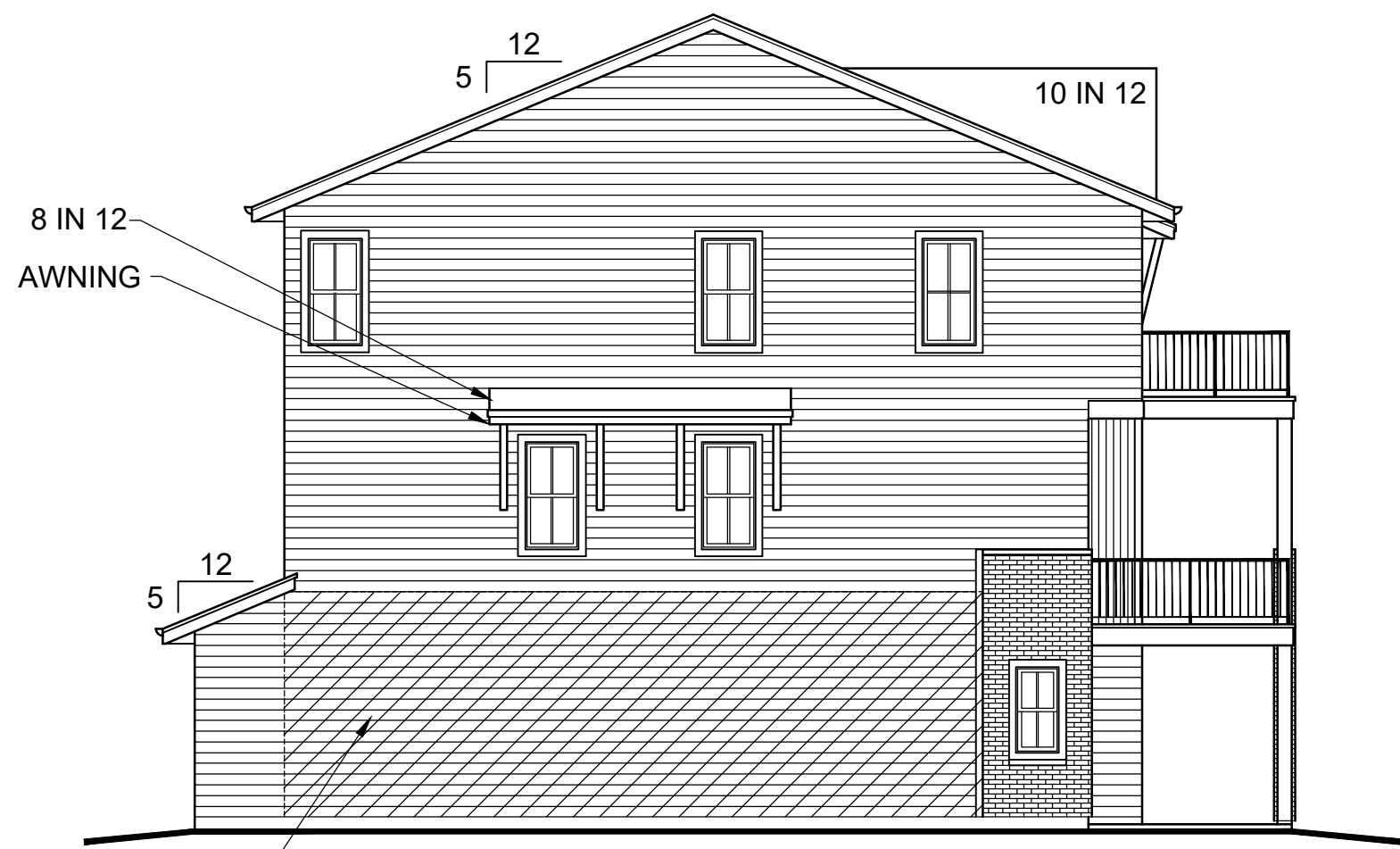
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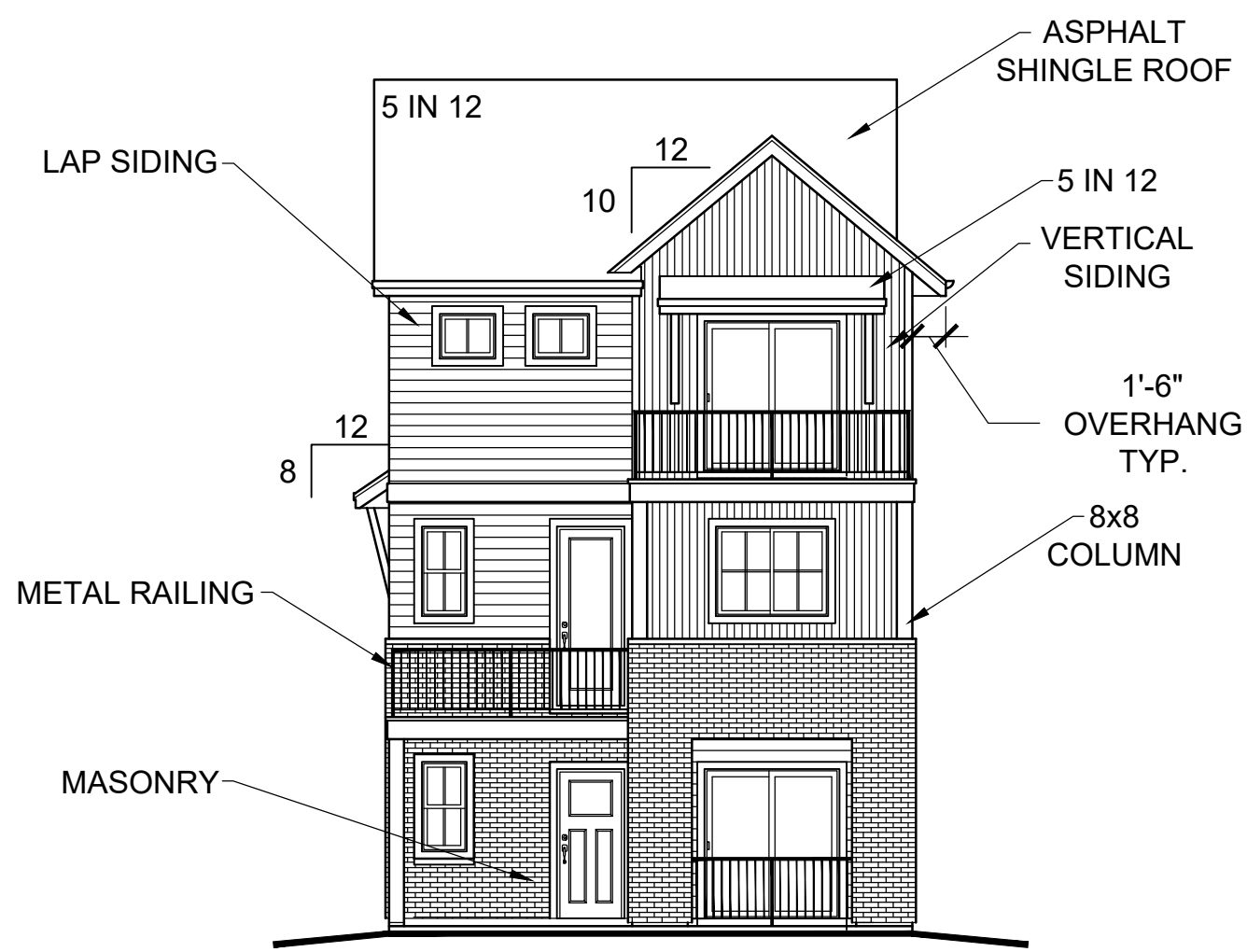
**UPLANDS**

DATE: 10.10.2024

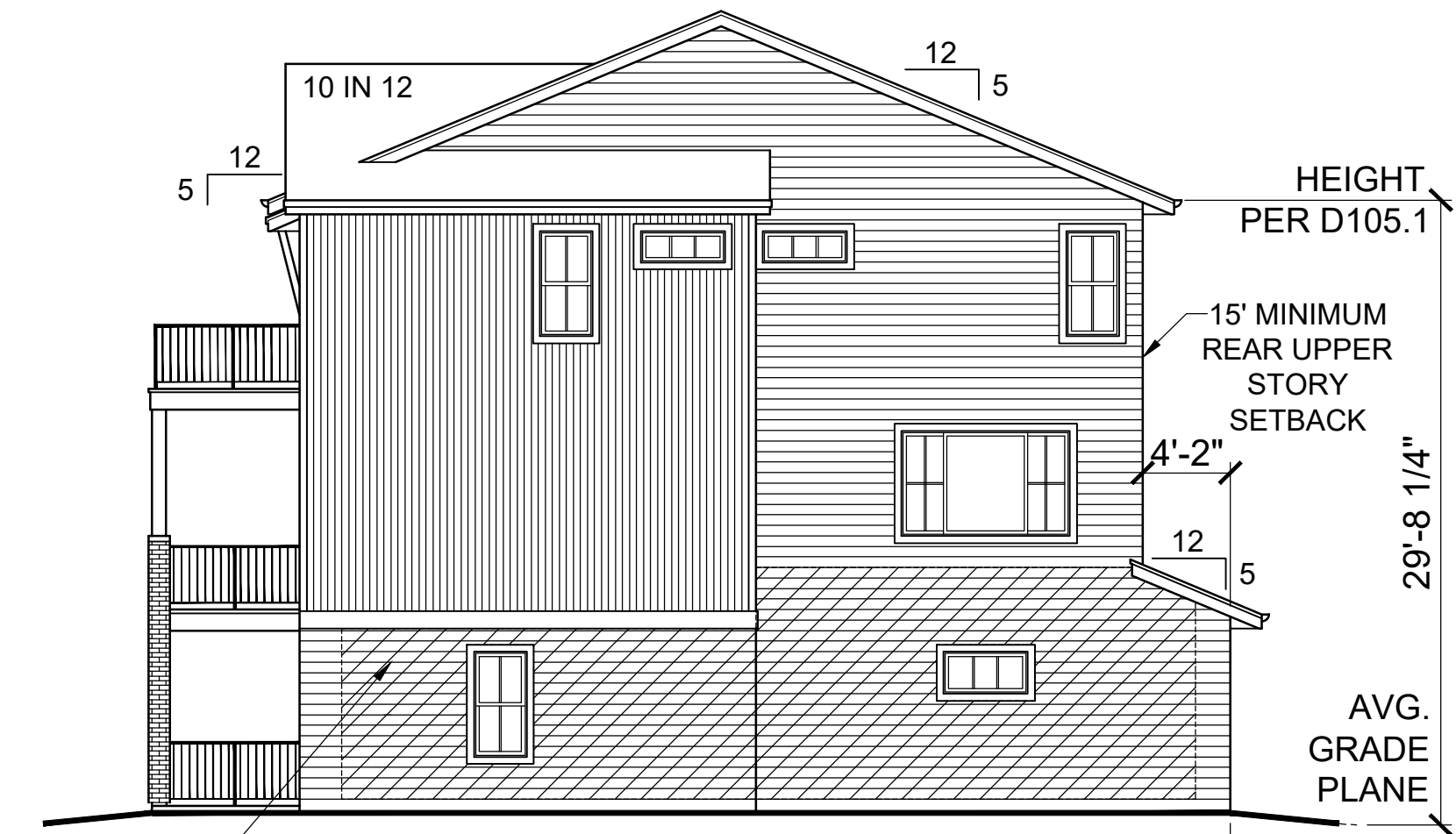
UPLANDS FILING NO. 1  
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WESTMINSTER, COLORADO



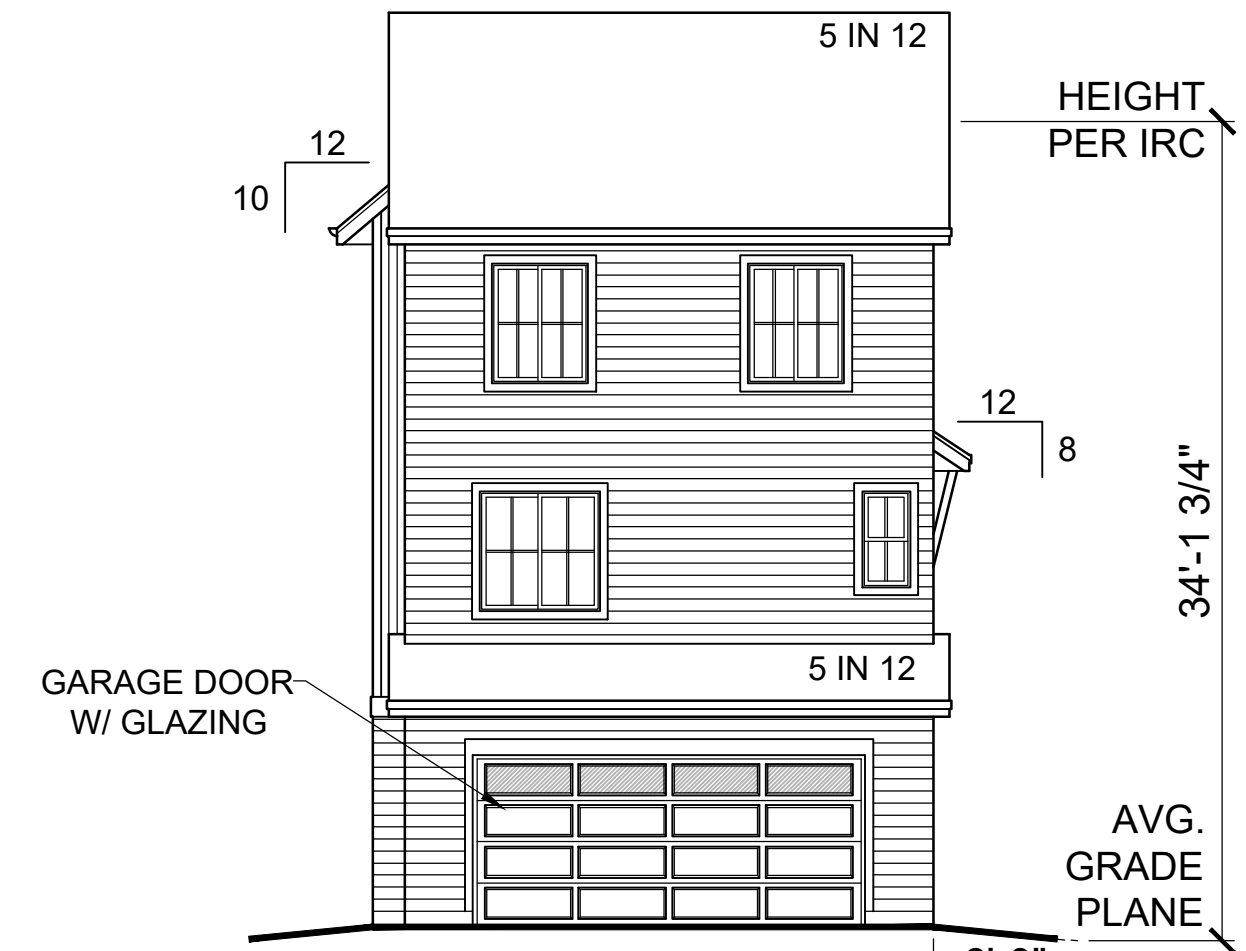
MASONRY @ ENHANCED ELEVATION  
**PLAN 3 ELEVATION 'D' - LEFT**  
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



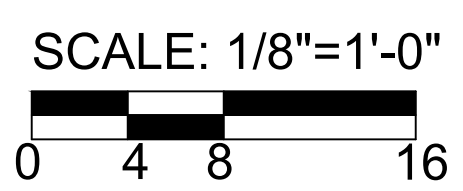
**PLAN 3 ELEVATION 'D' - FRONT**  
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 3 ELEVATION 'D' - RIGHT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 3 ELEVATION 'D' - REAR**  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 146 OF 156

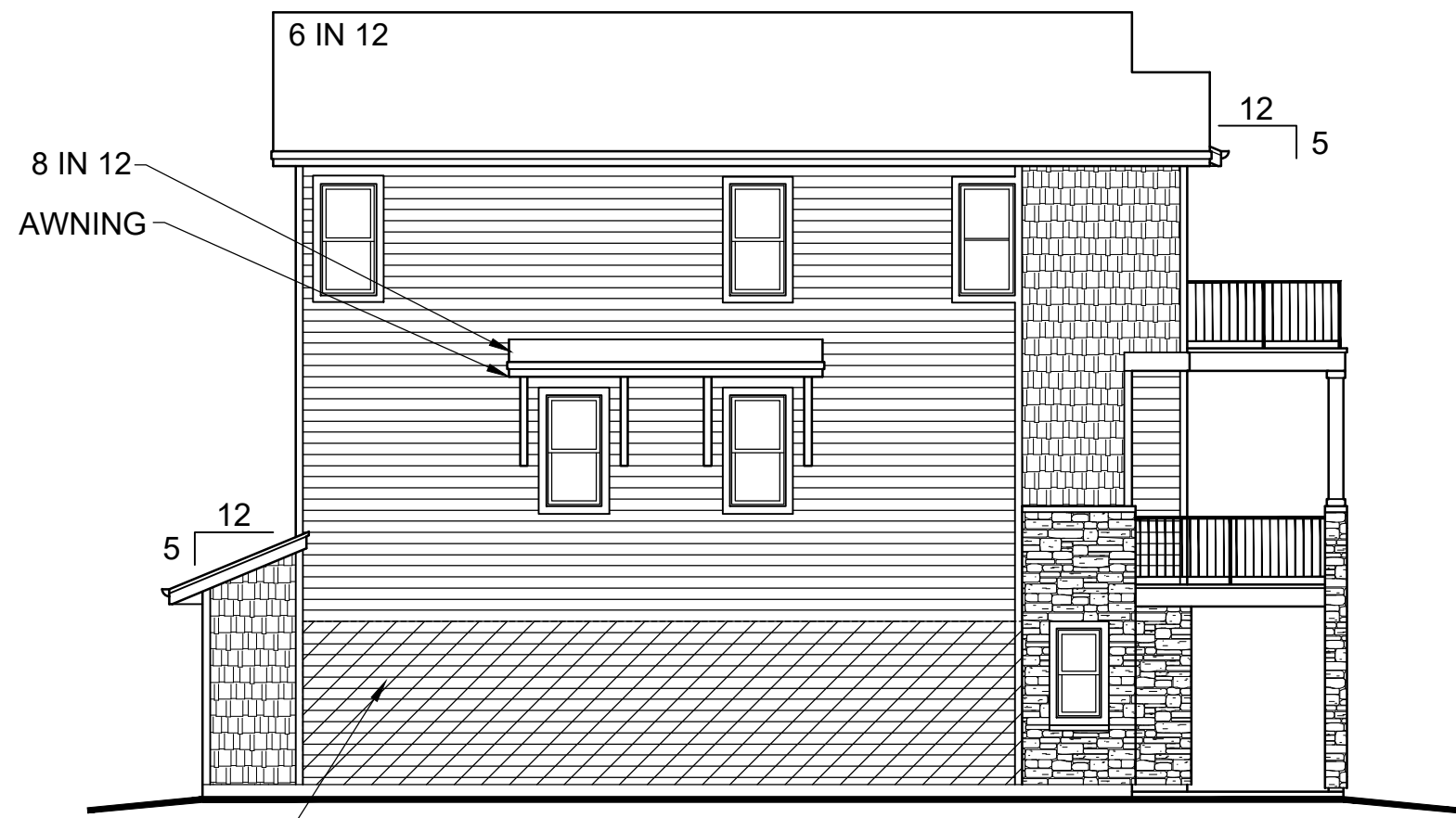
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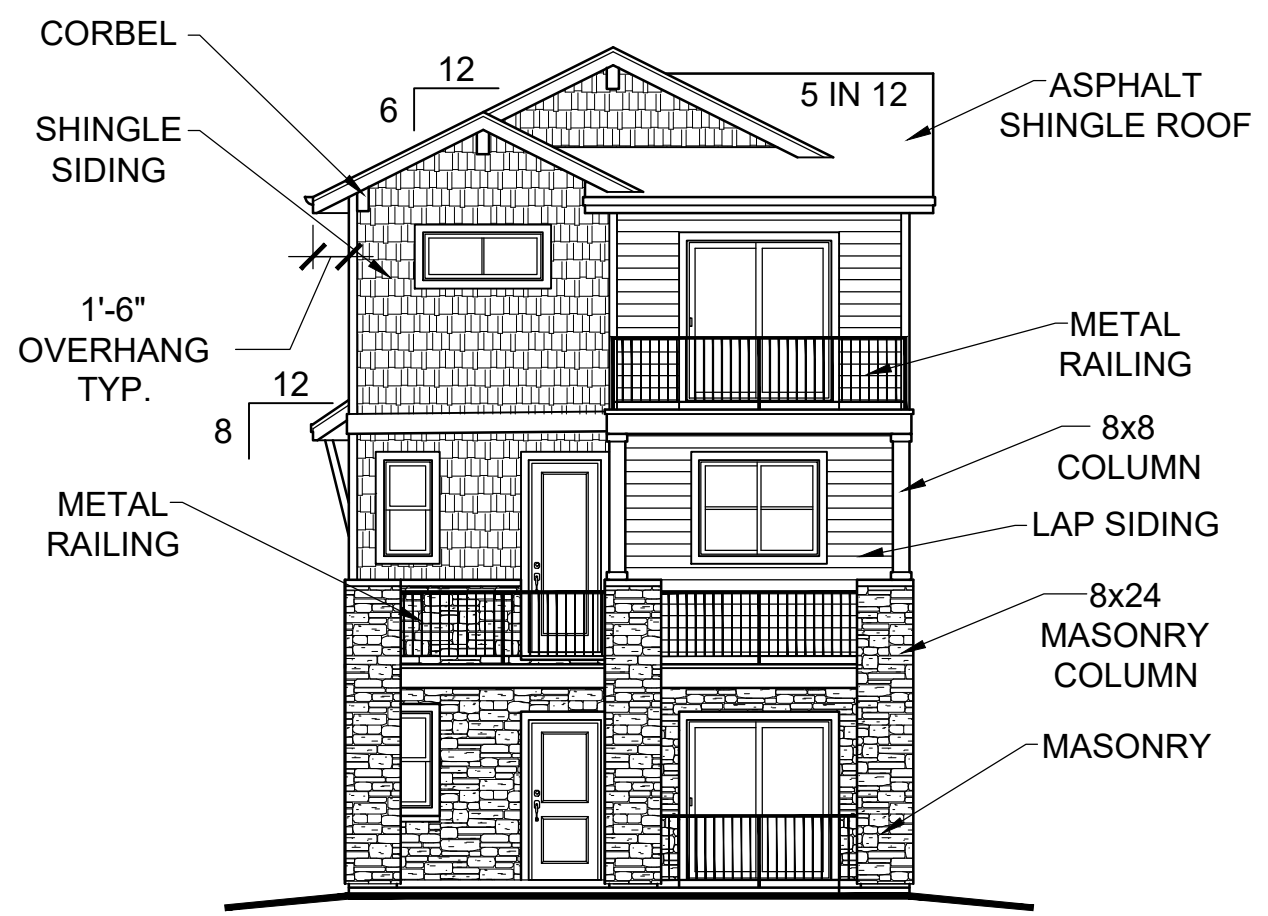
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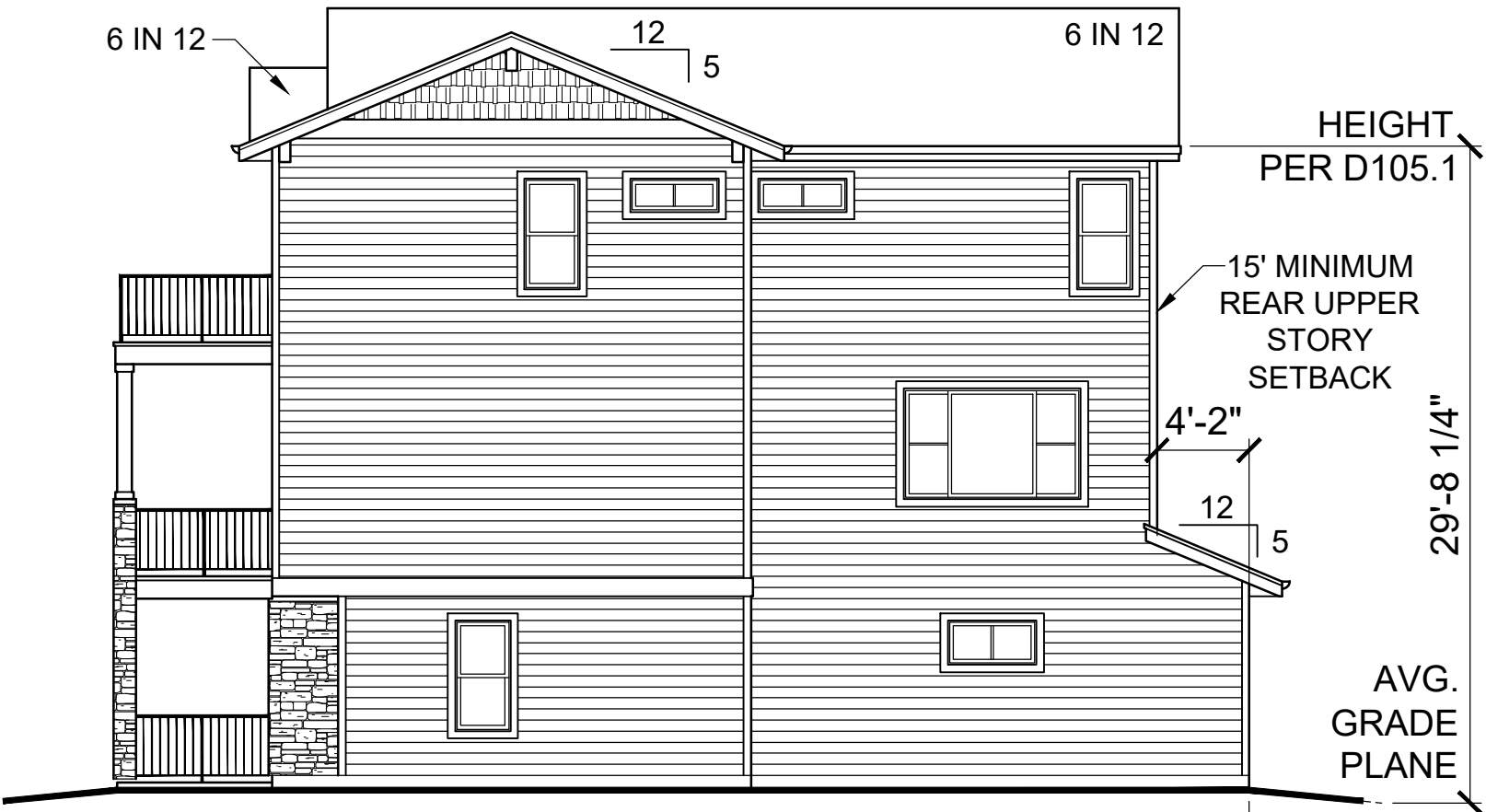
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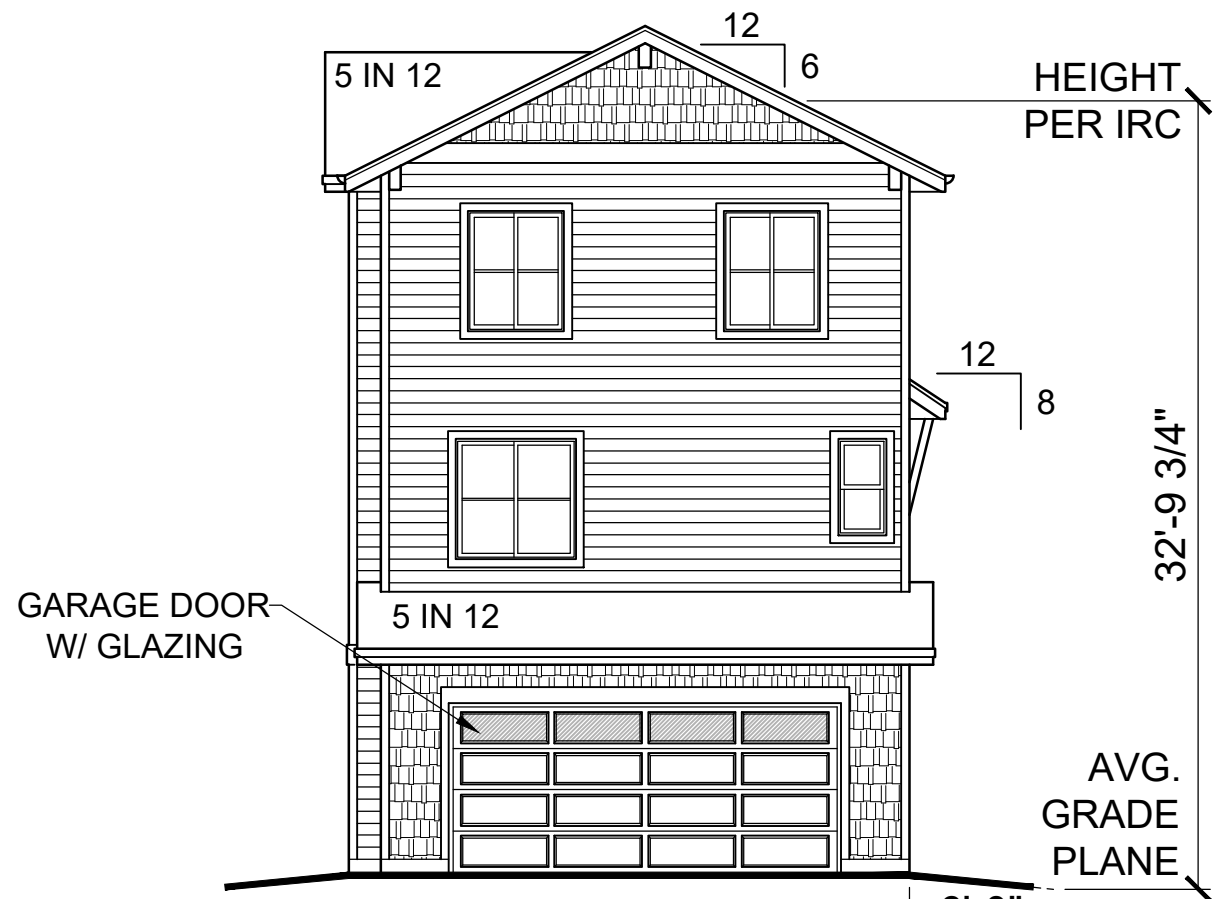
PLAN 3 ELEVATION 'E' - LEFT  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



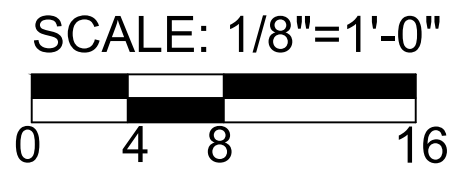
PLAN 3 ELEVATION 'E' - FRONT  
30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'E' - RIGHT  
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'E' - REAR  
SCALE: 1/8" = 1'-0"



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UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 147 OF 156

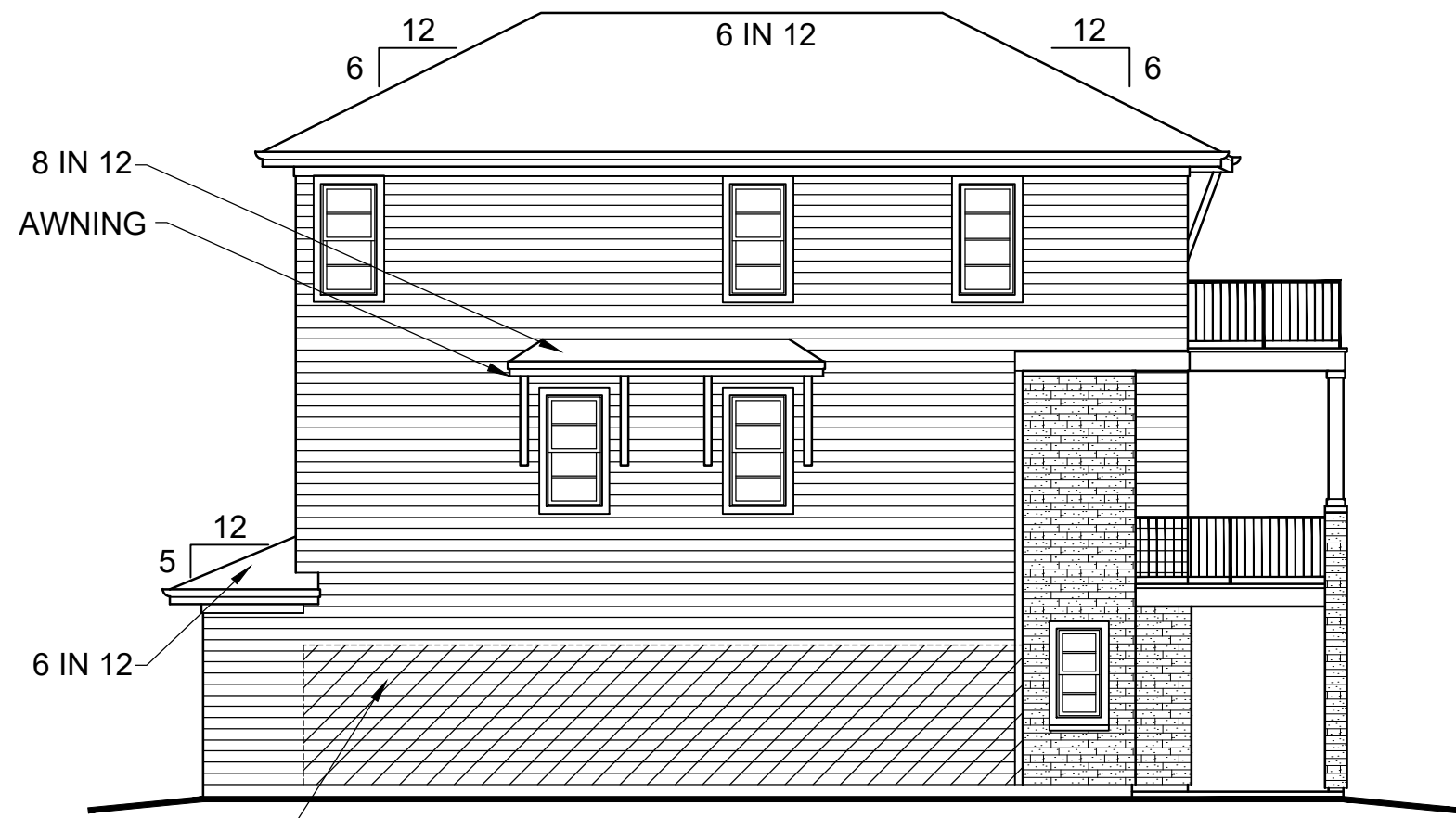
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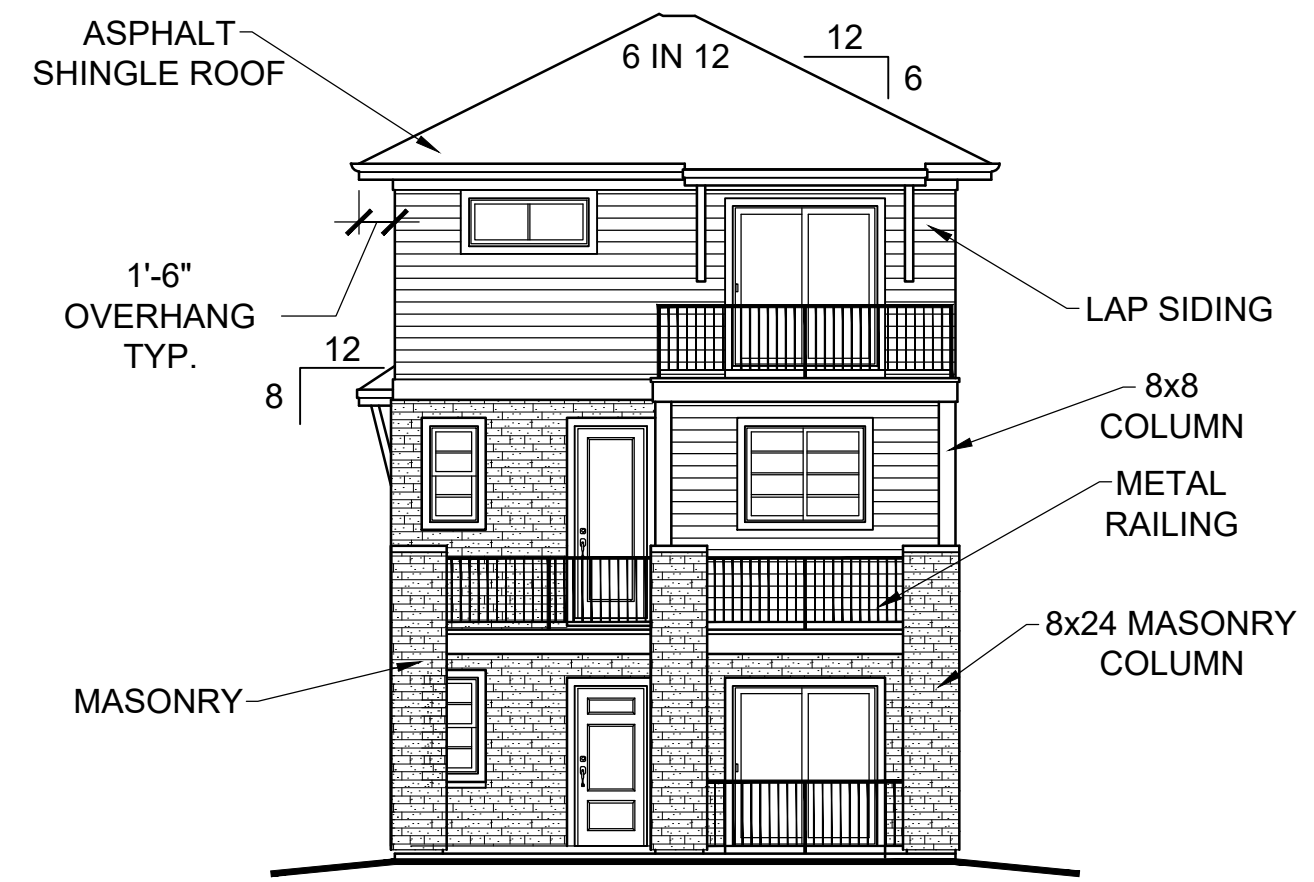
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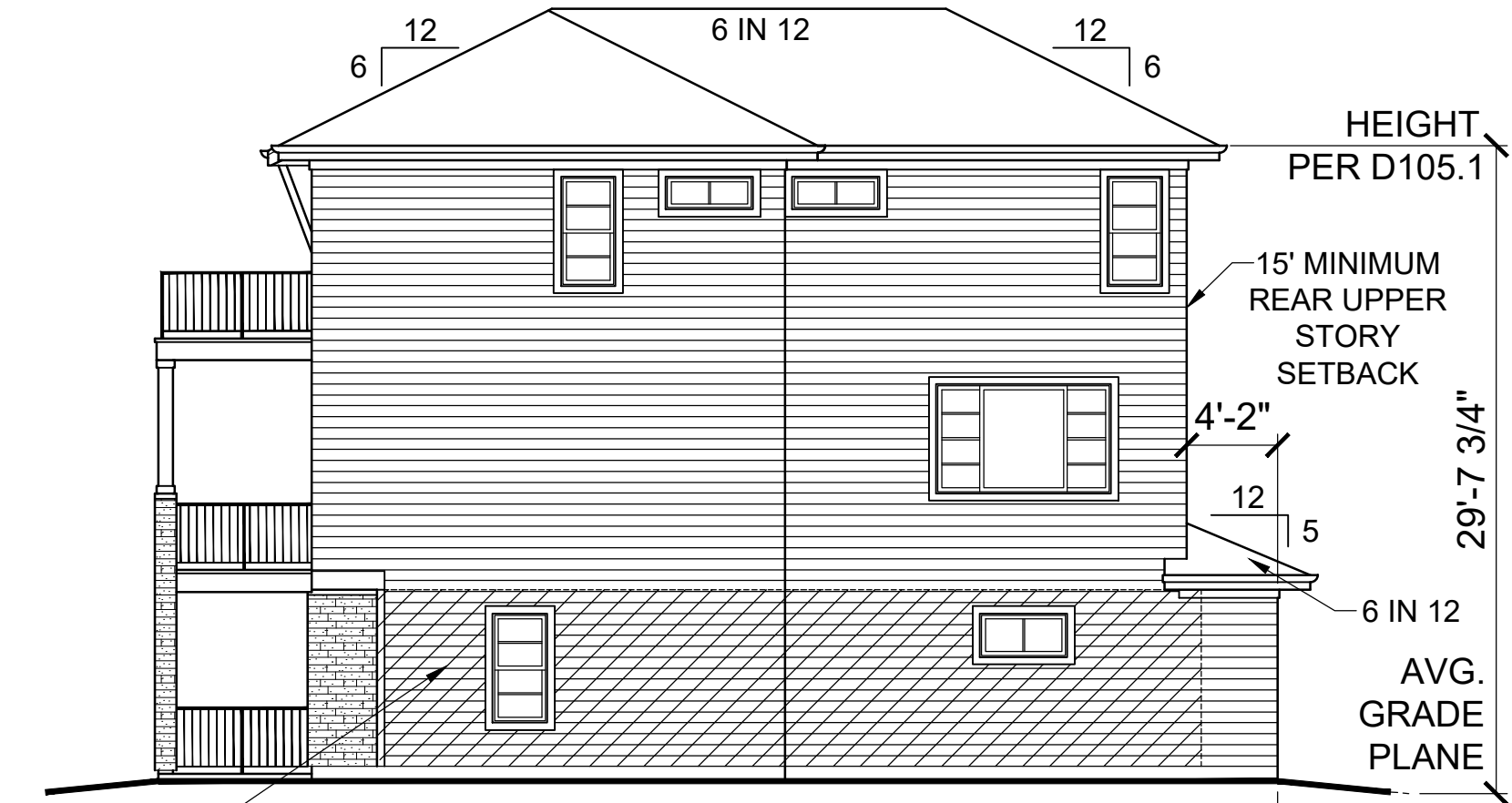
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WESTMINSTER, COLORADO



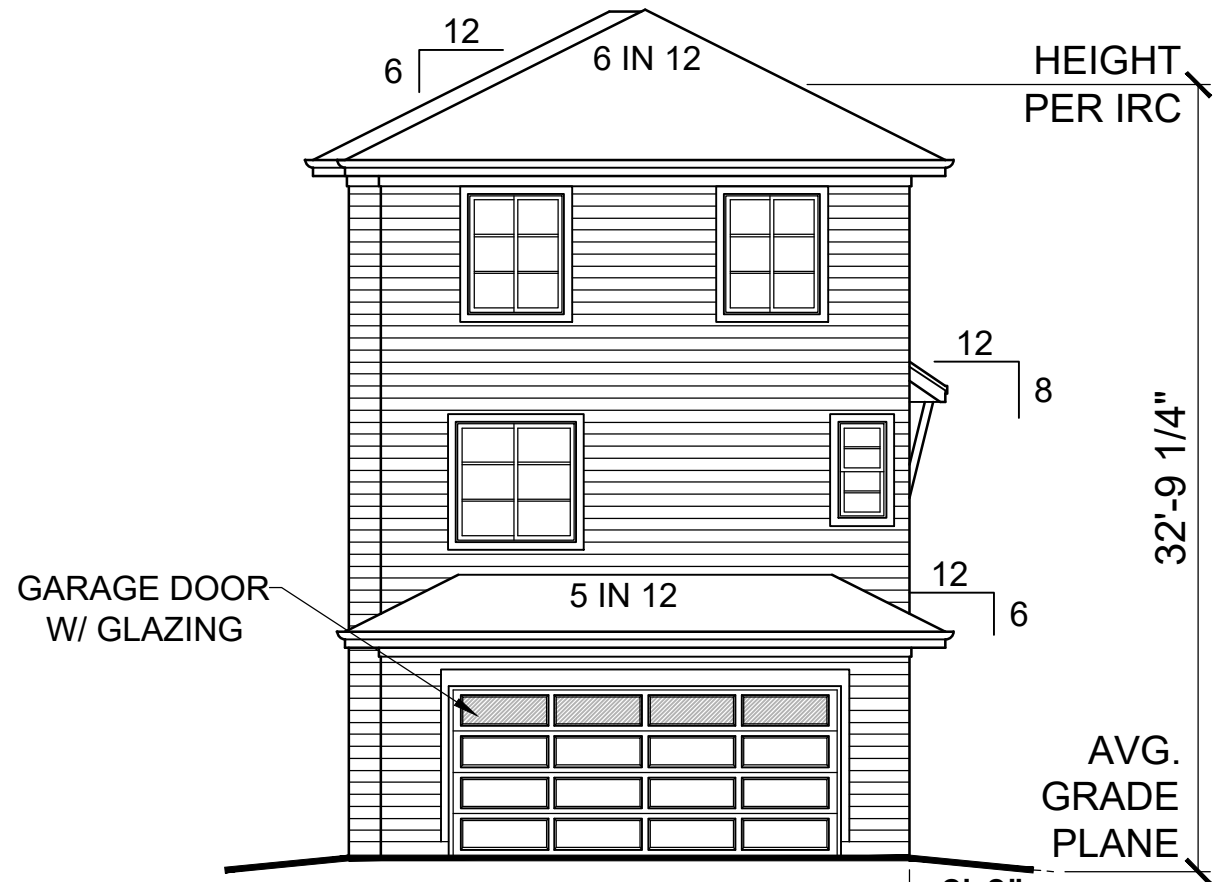
MASONRY @ ENHANCED ELEVATION  
**PLAN 3 ELEVATION 'F' - LEFT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



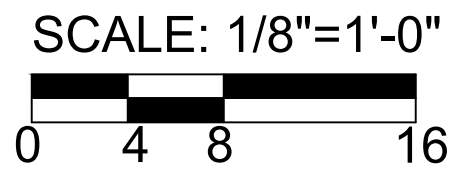
**PLAN 3 ELEVATION 'F' - FRONT**  
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 3 ELEVATION 'F' - RIGHT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 3 ELEVATION 'F' - REAR**  
SCALE: 1/8" = 1'-0"



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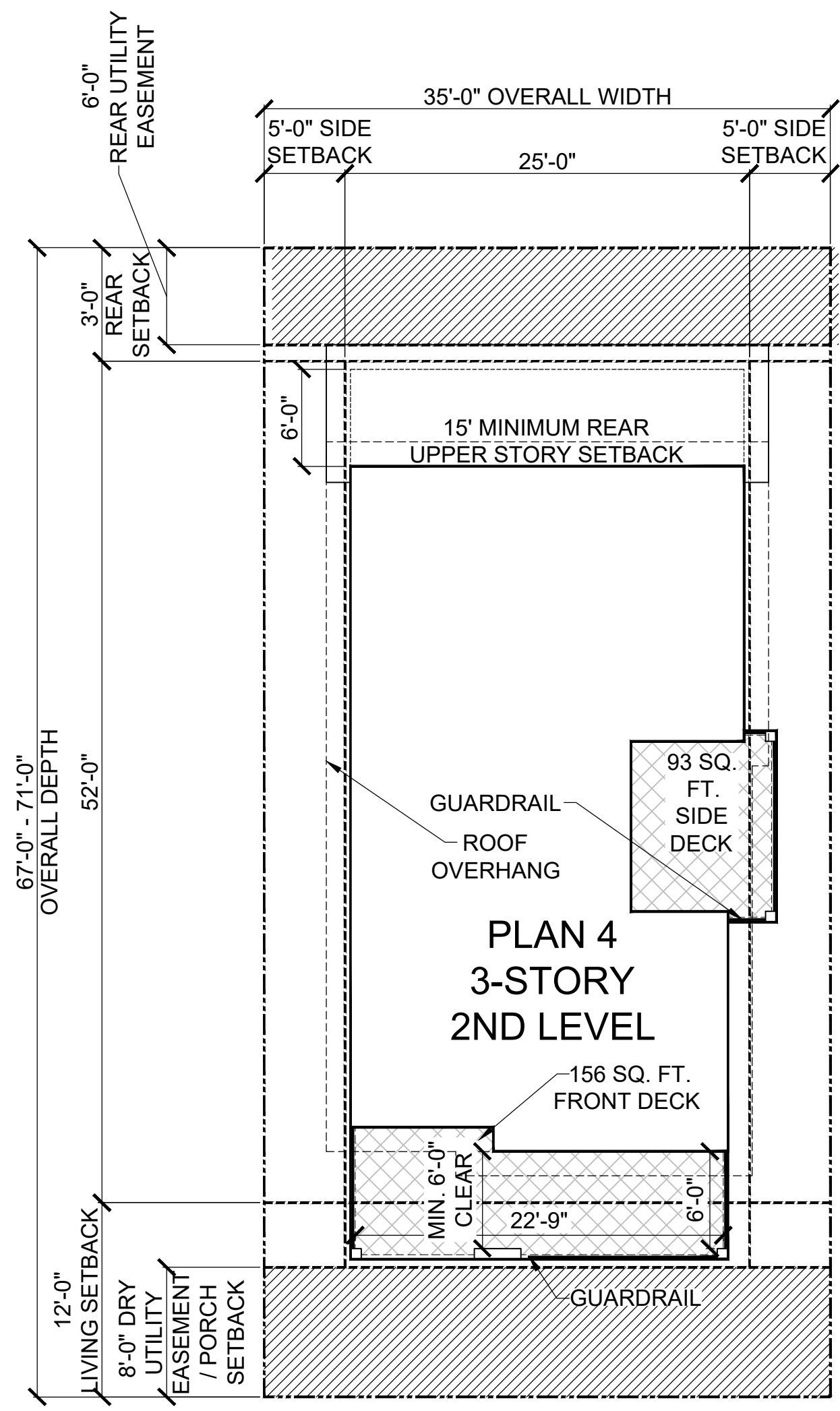
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
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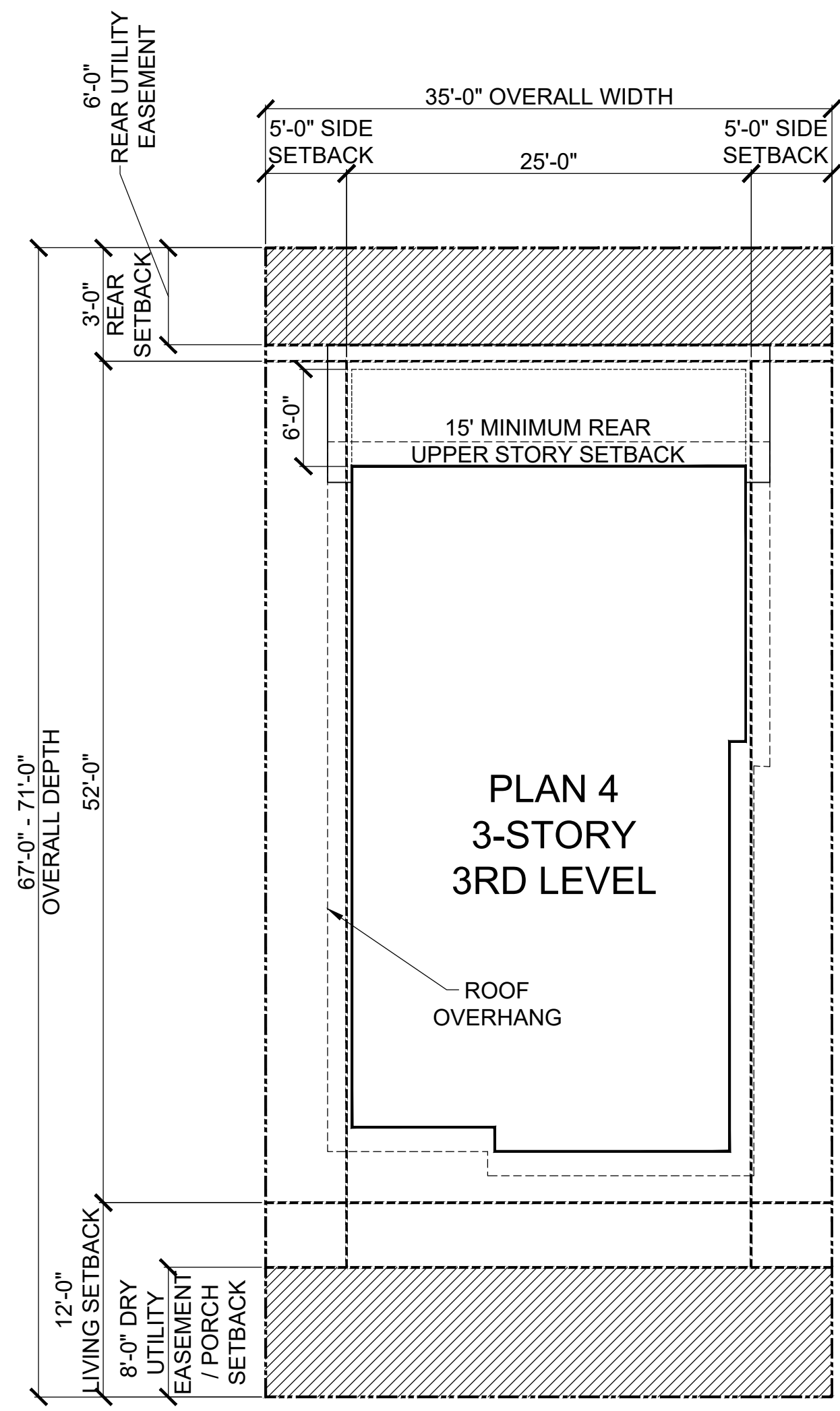
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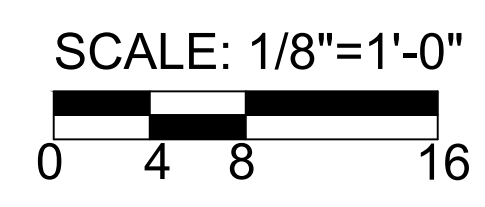
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 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 4 - 2ND LEVEL**  
 2,397 TOTAL SQ. FT. SCALE: 1/8" = 1'-0"  
 OUTDOOR LIVING: 525 TOTAL SQ. FT.  
 FRONT PORCH: 156 SQ. FT.  
 SIDE YARD: 120 SQ. FT.  
 FRONT DECK: 156 SQ. FT.  
 SIDE DECK: 93 SQ. FT.



**SINGLE FAMILY 3-STORY  
 LOT TYPICAL PLAN 4 - 3RD LEVEL**  
 SCALE: 1/8" = 1'-0"



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	08.08.2024
	10.10.2024

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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 150 OF 156

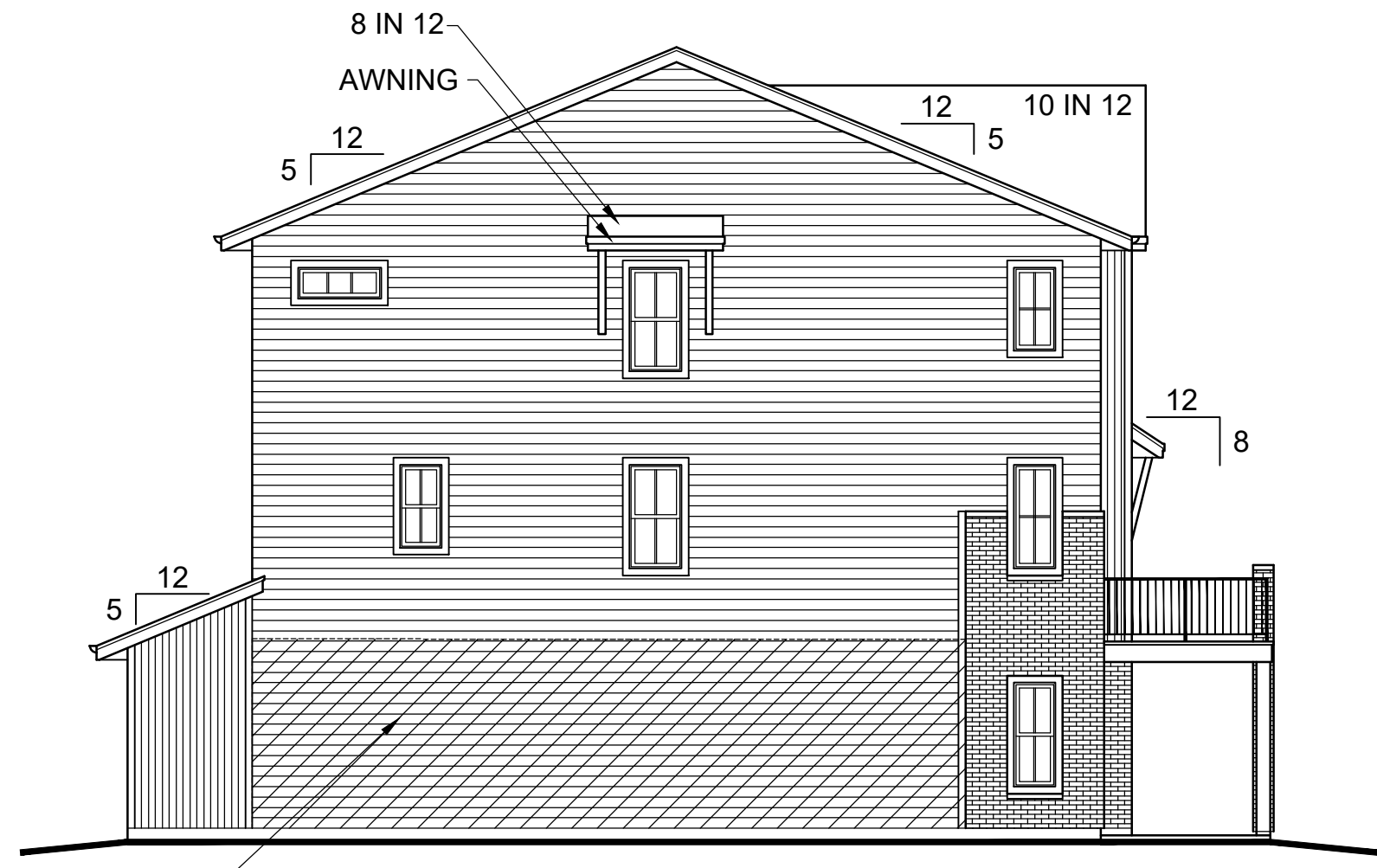
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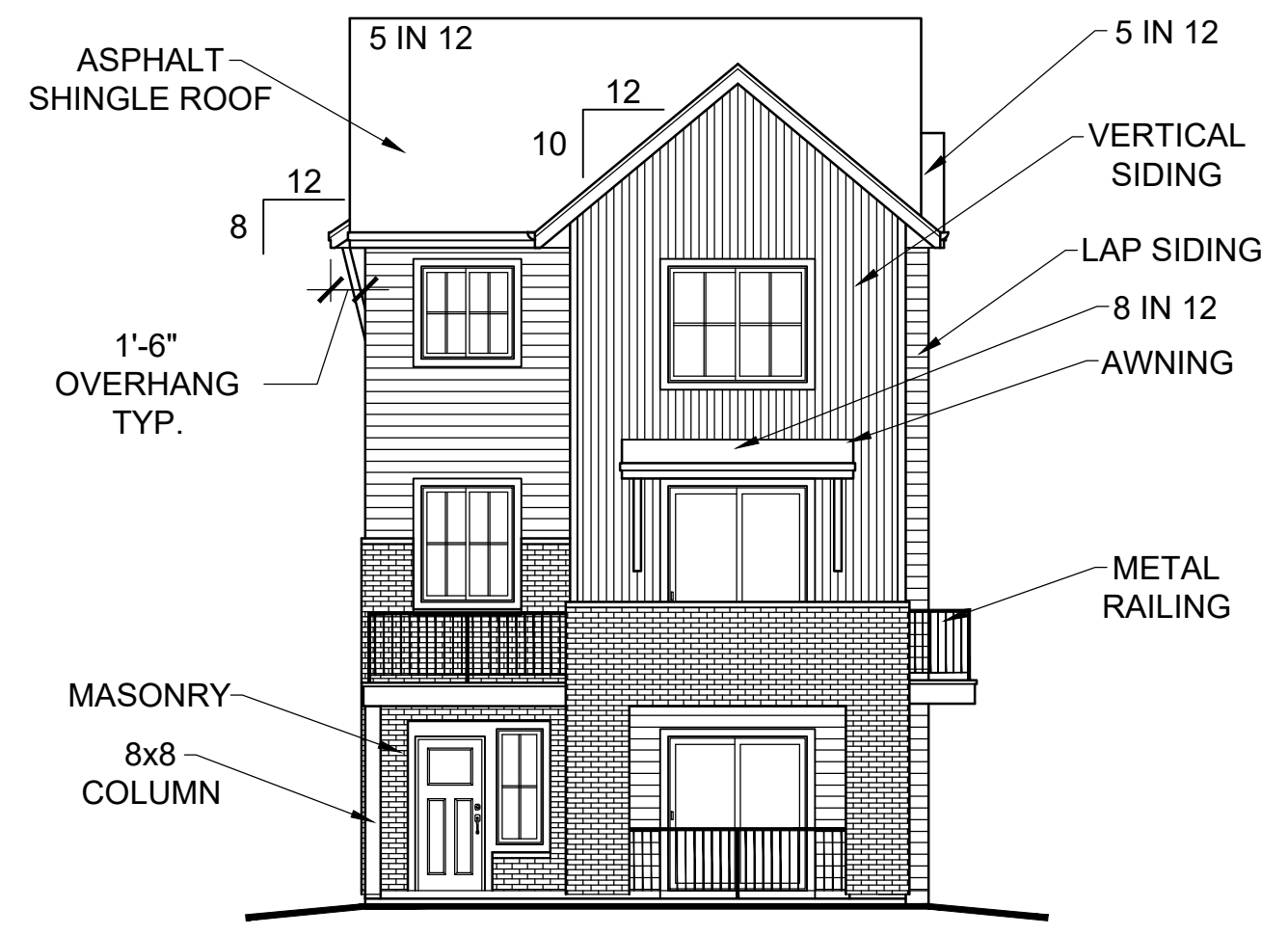
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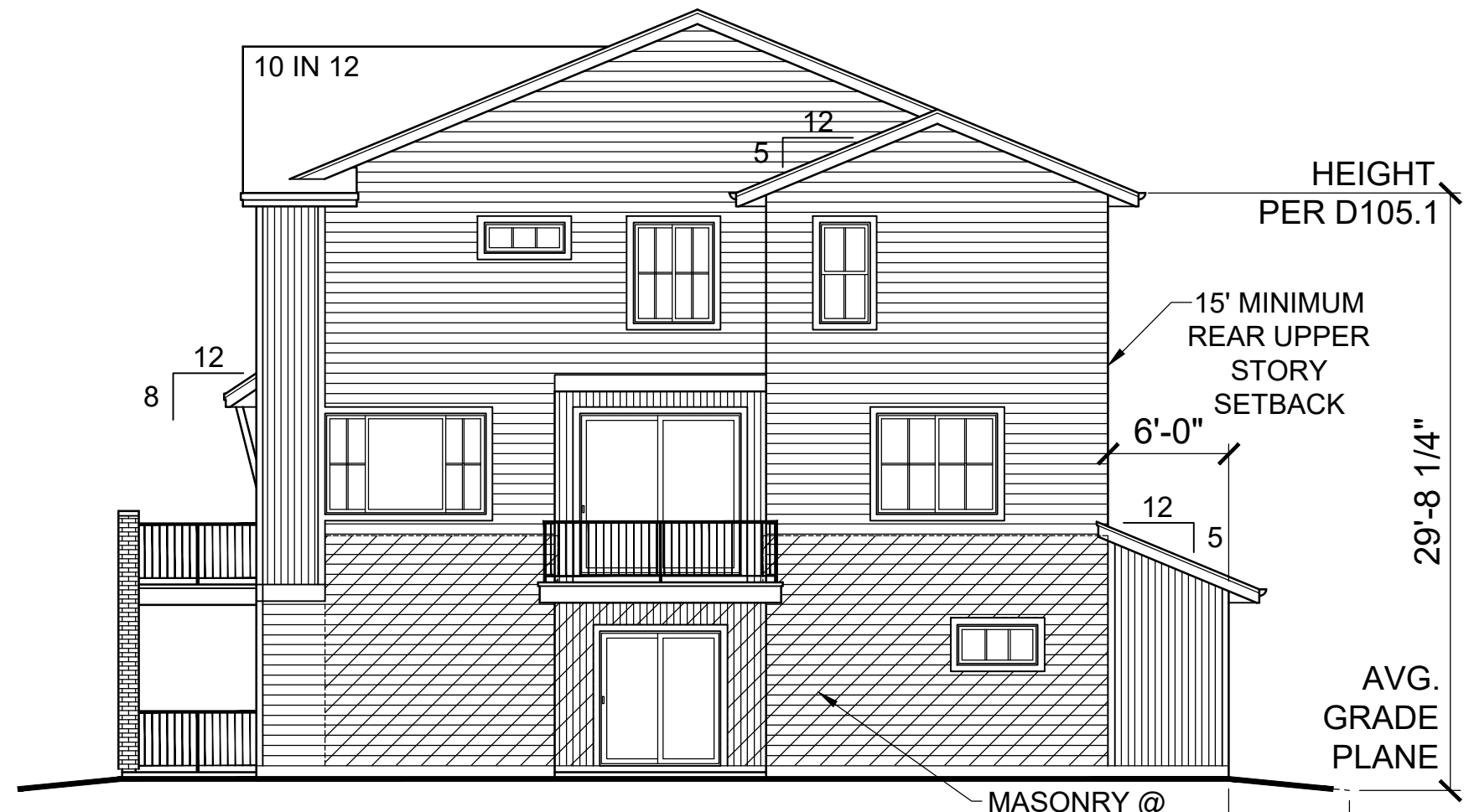
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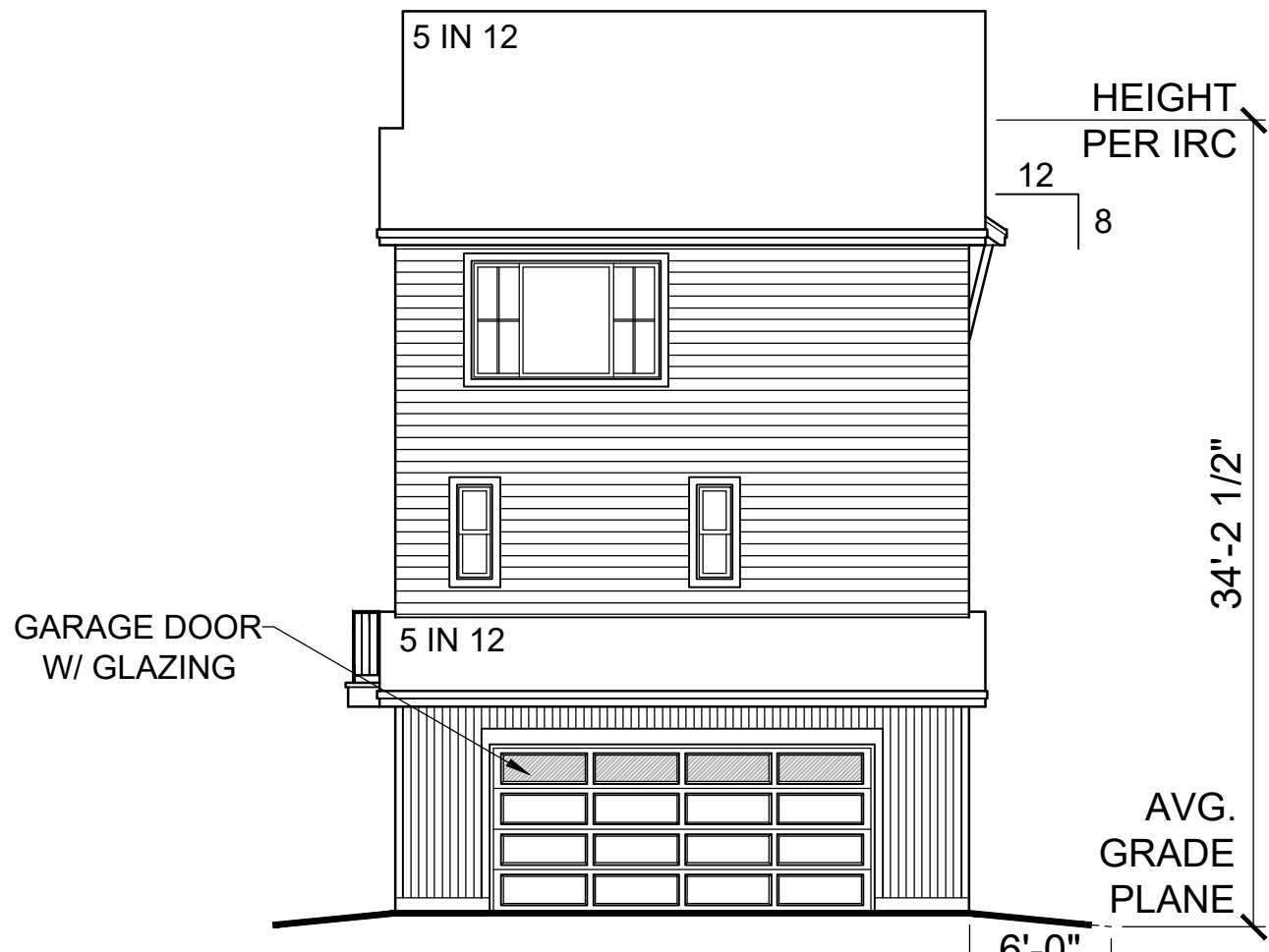
MASONRY @ ENHANCED ELEVATION  
**PLAN 4 ELEVATION 'D' - LEFT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



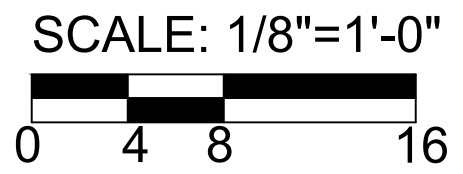
**PLAN 4 ELEVATION 'D' - FRONT**  
40% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 4 ELEVATION 'D' - RIGHT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'D' - REAR**  
SCALE: 1/8" = 1'-0"



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	08.08.2024		
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 151 OF 156

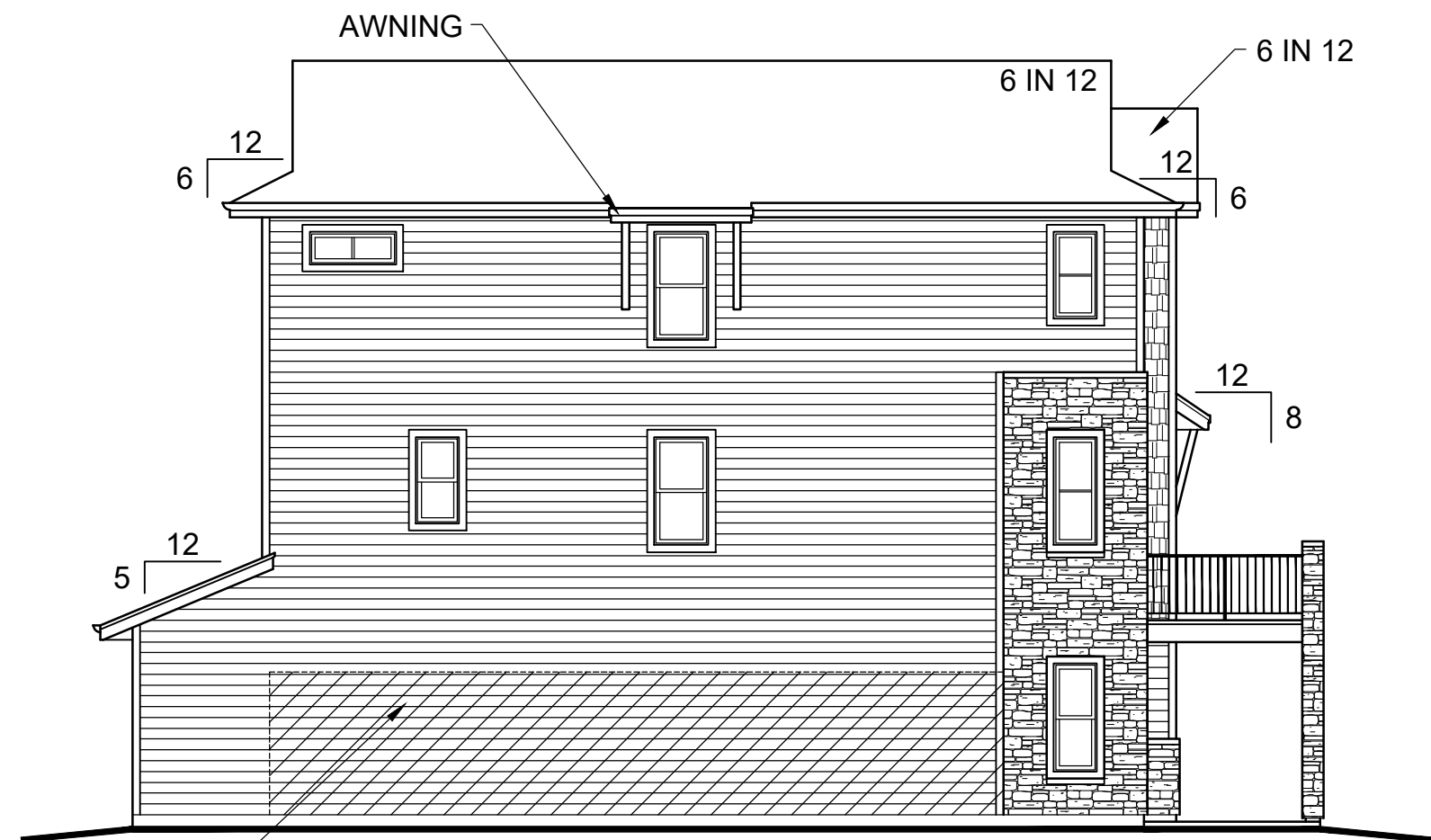
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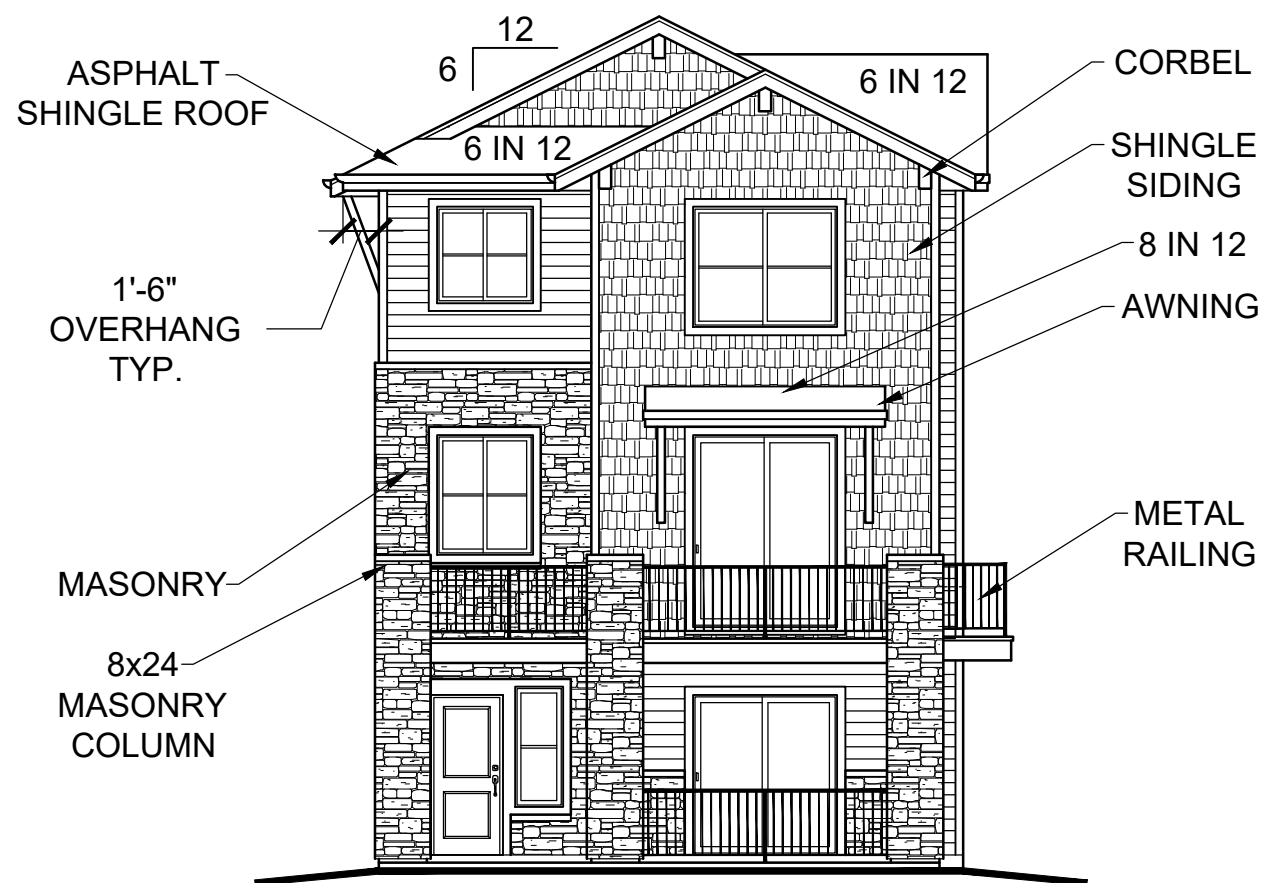
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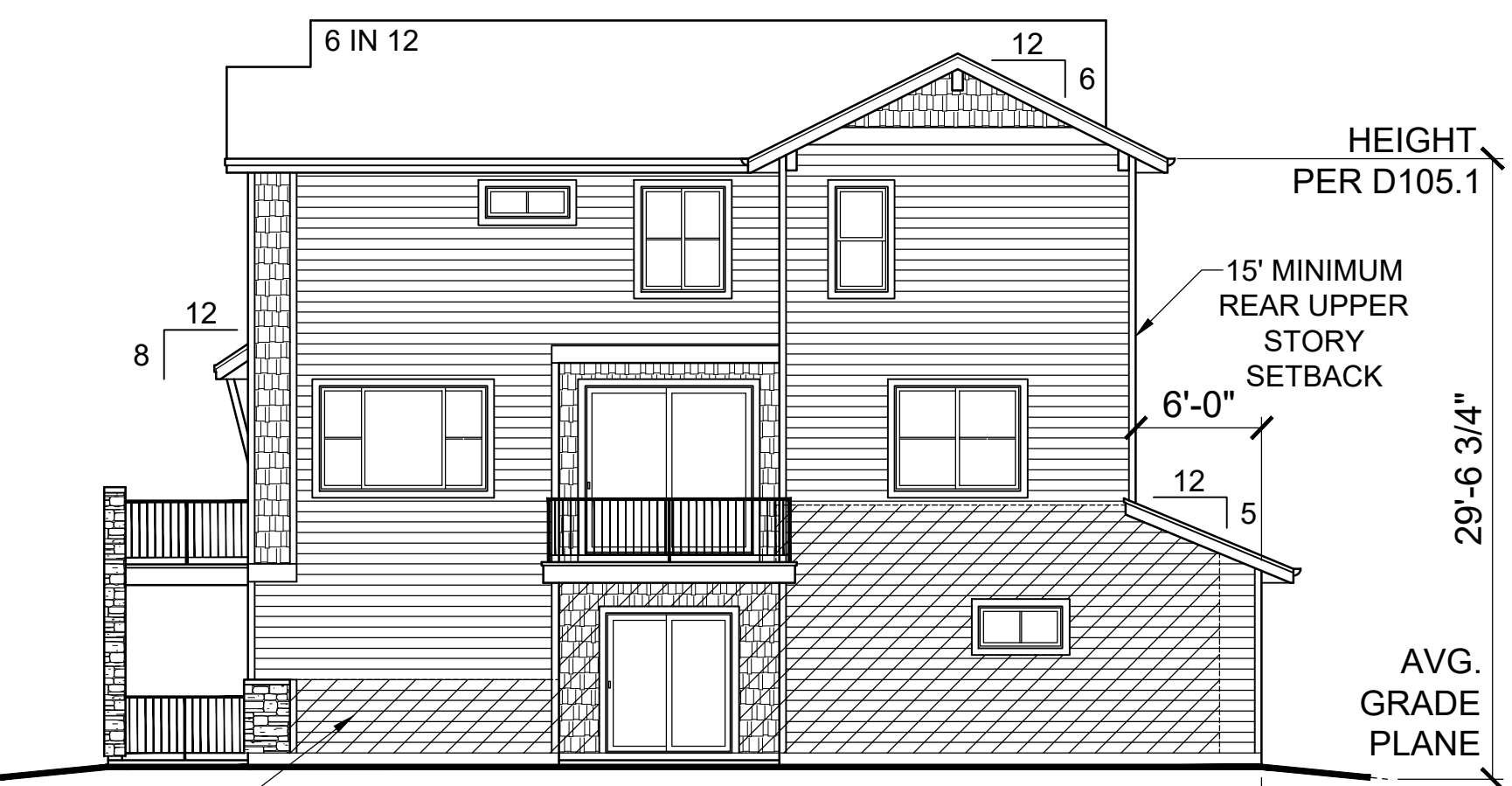
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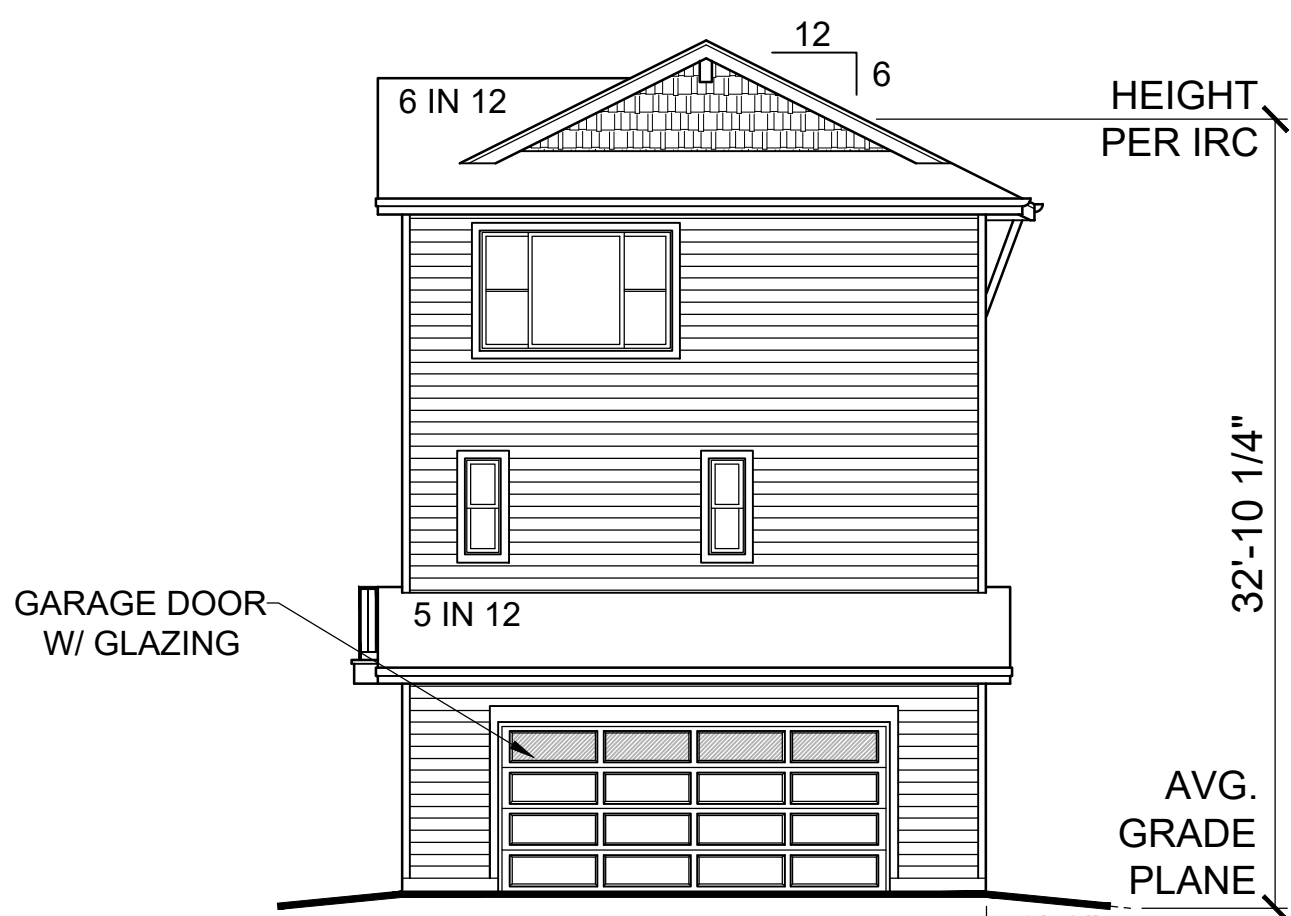
MASONRY @ ENHANCED ELEVATION  
**PLAN 4 ELEVATION 'E' - LEFT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



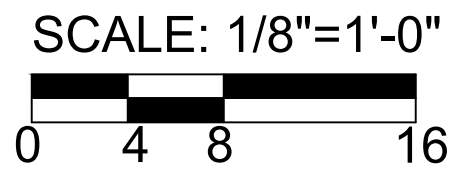
**PLAN 4 ELEVATION 'E' - FRONT**  
34% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 4 ELEVATION 'E' - RIGHT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'E' - REAR**  
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN  
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IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 152 OF 156

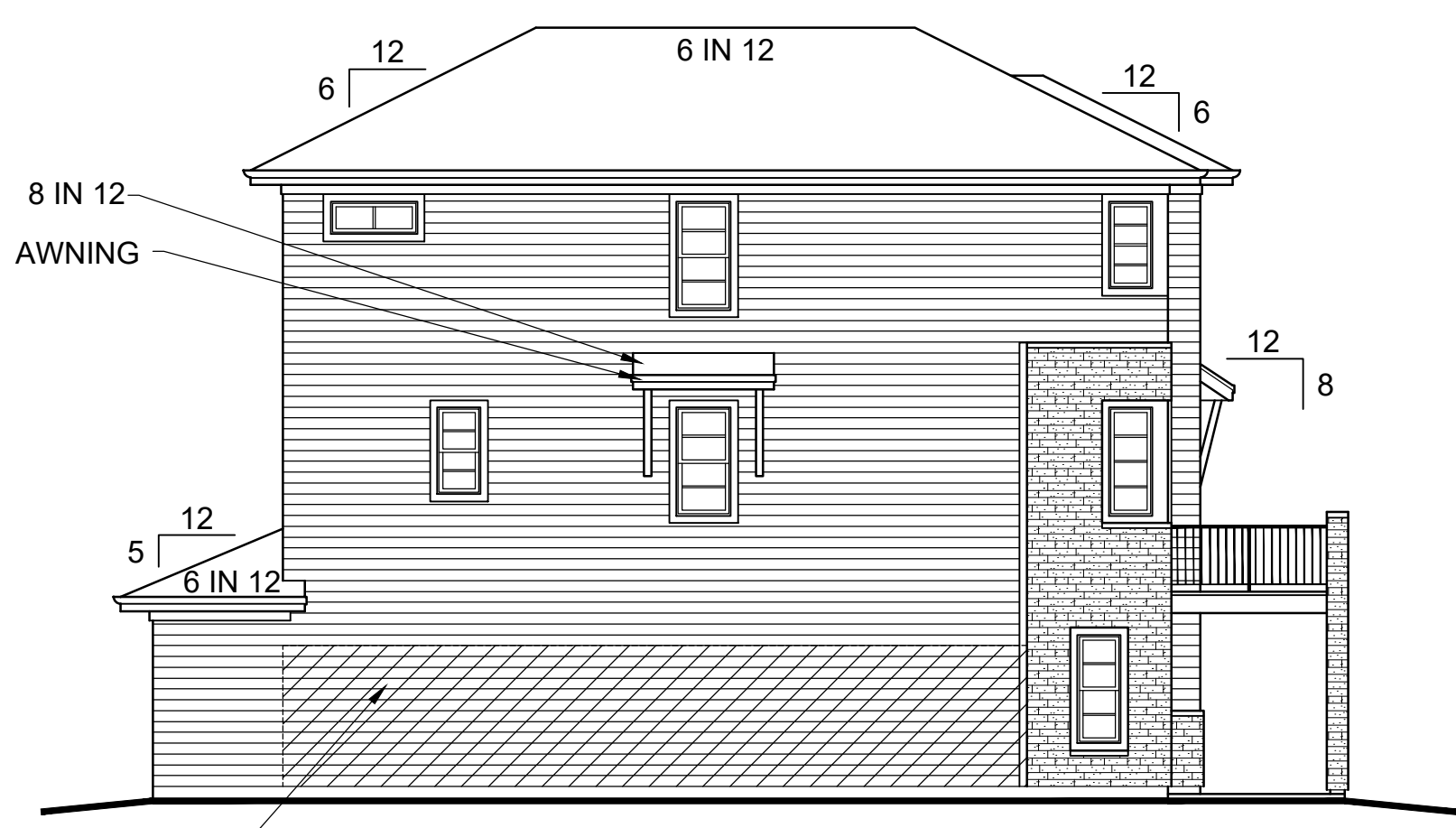
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

**G**  
Godden|Sudik  
ARCHITECTS  
SEE WHAT COULD BE  
303.455.4437  
www.goddensudik.com  
5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

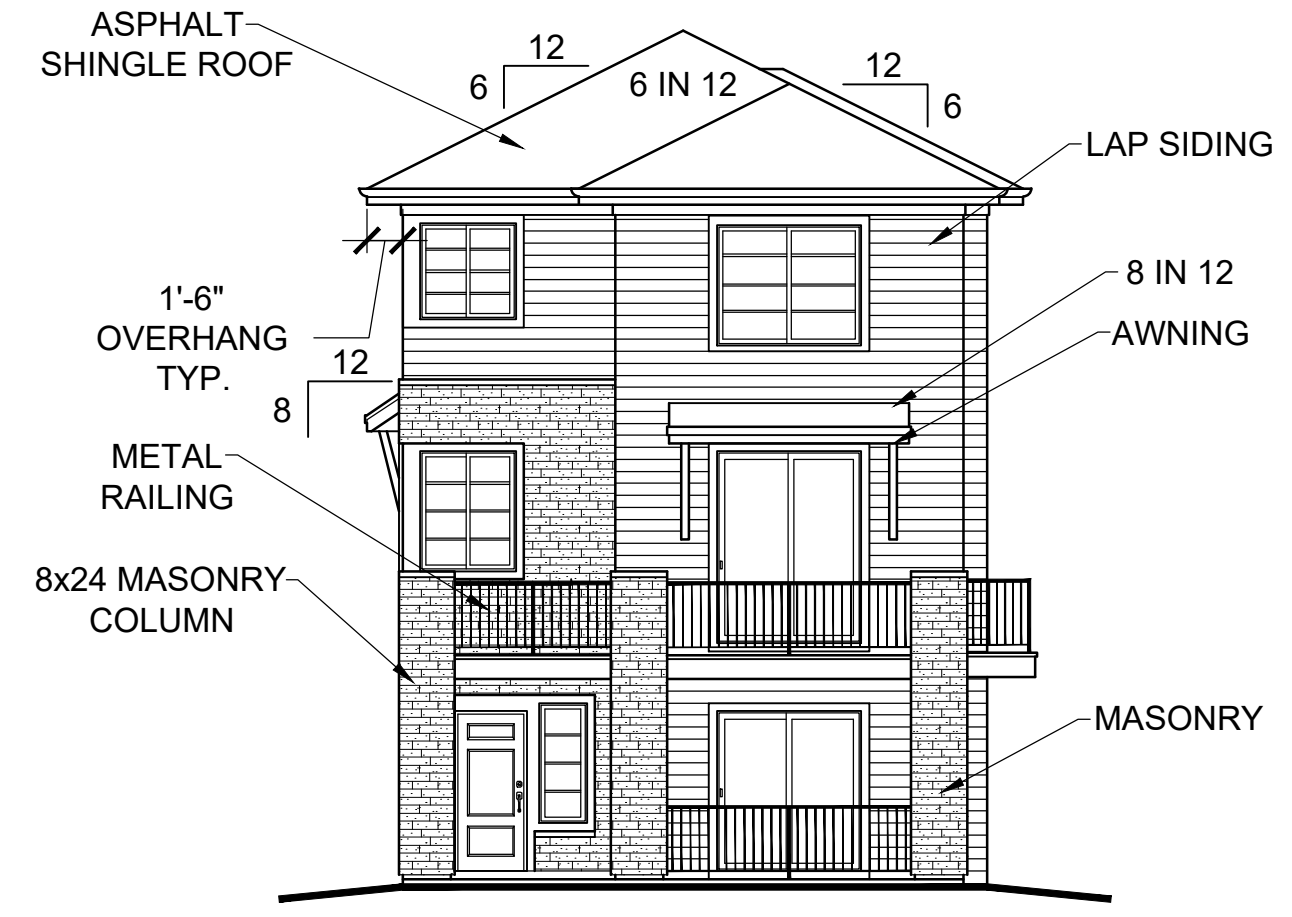
**UPLANDS**

DATE: 10.10.2024

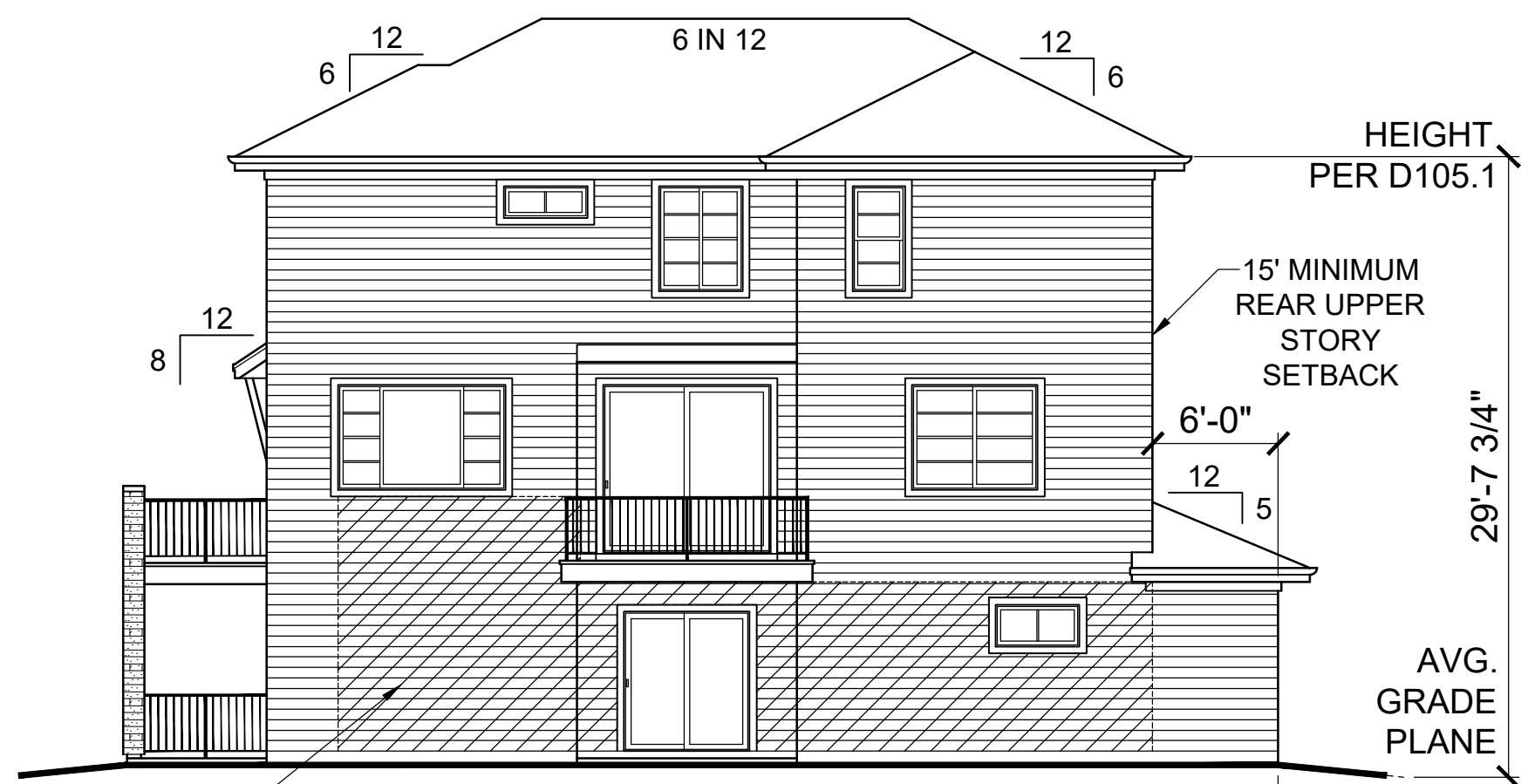
UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



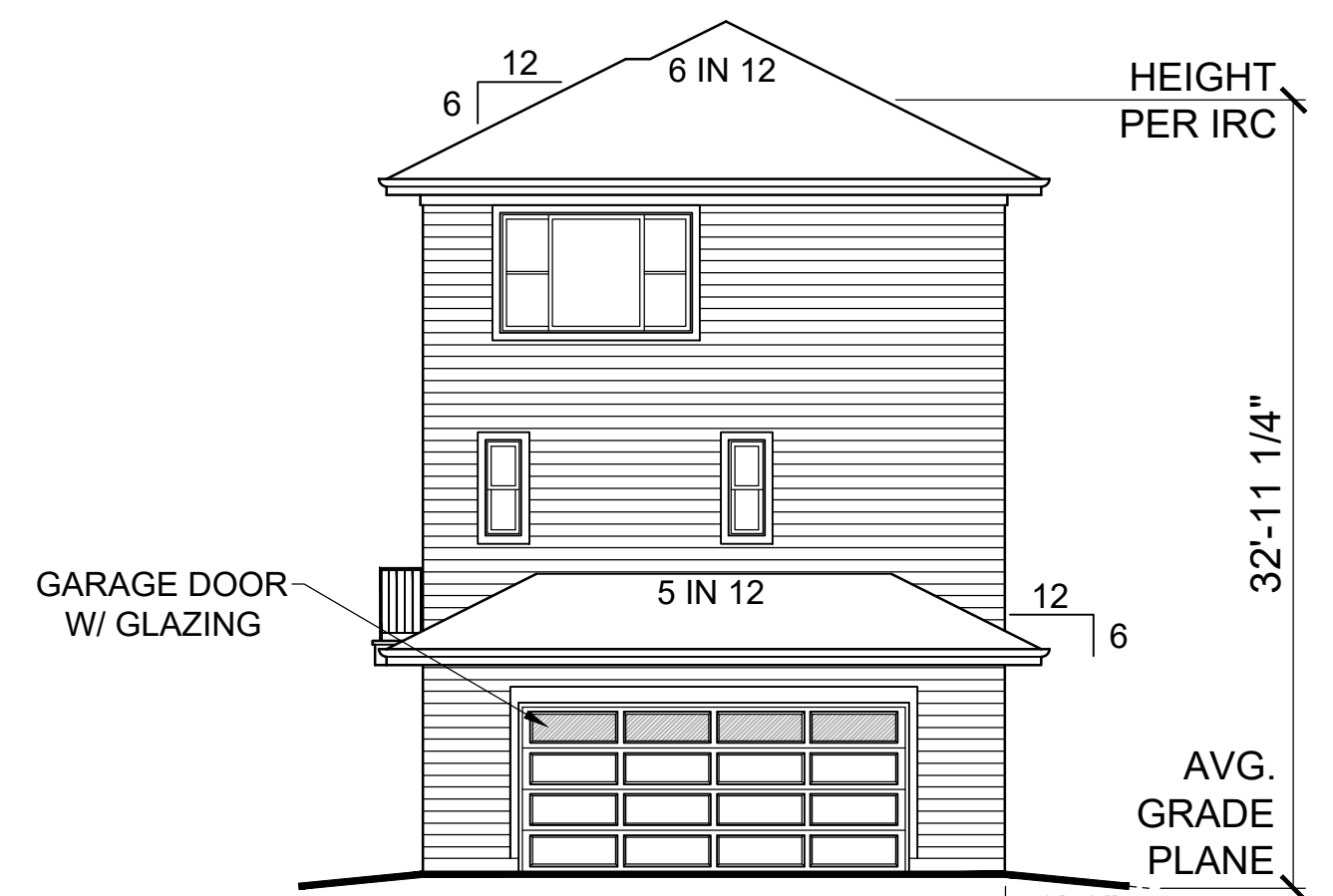
MASONRY @ ENHANCED ELEVATION  
**PLAN 4 ELEVATION 'F' - LEFT**  
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'F' - FRONT**  
32% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



MASONRY @ ENHANCED ELEVATION  
**PLAN 4 ELEVATION 'F' - RIGHT**  
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'F' - REAR**  
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
	08.08.2024		
	10.10.2024		



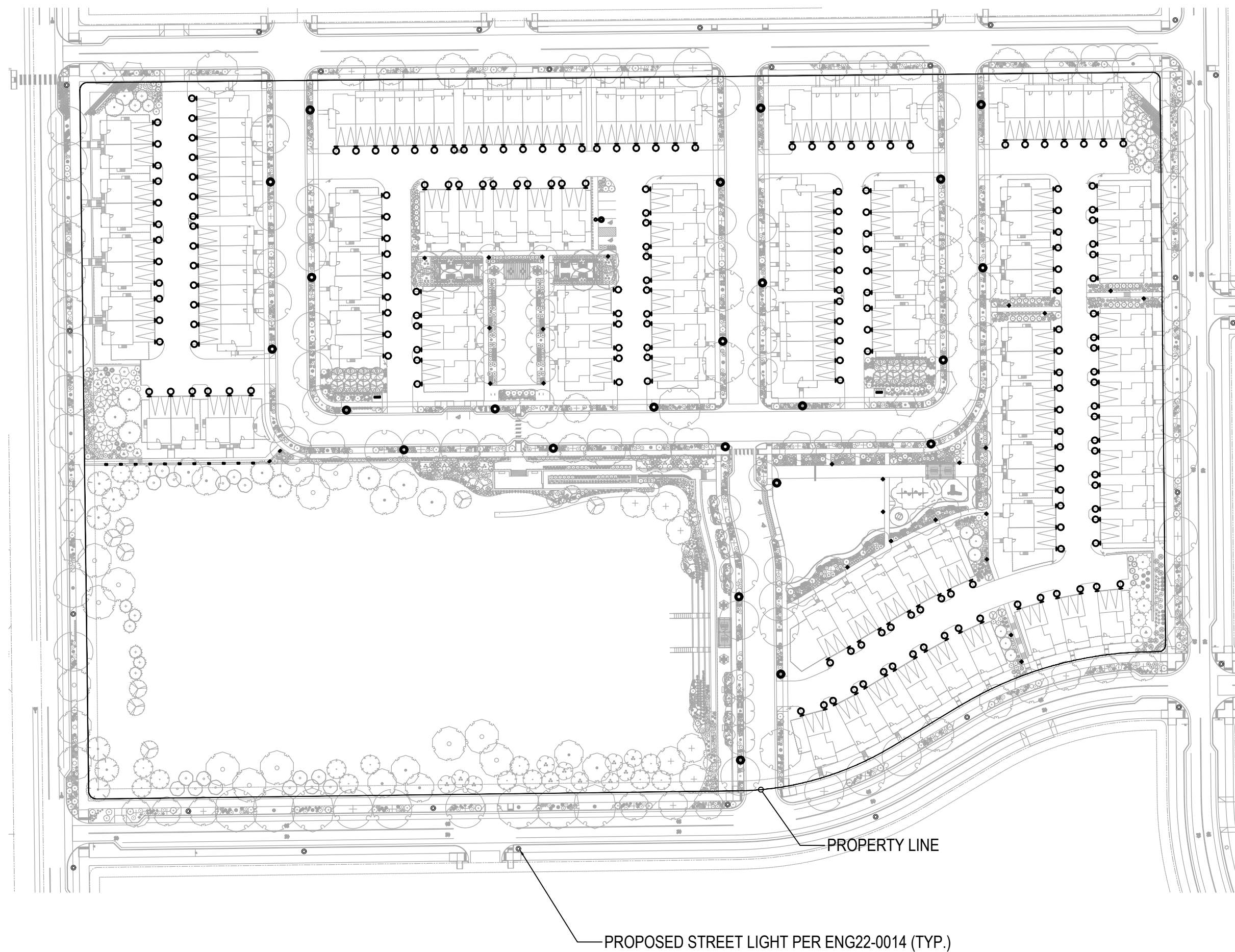
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 153 OF 156

**SL**  
 STUDIO LIGHTNING  
 63 SUNSET DR.  
 BAILEY, CO 80421  
 303.242.1572

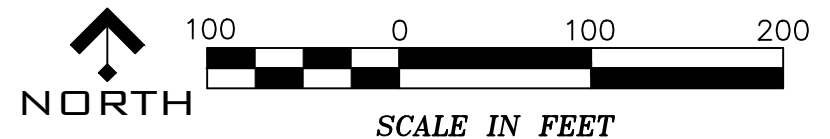
**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



**1** SITE LIGHTING PHOTOMETRIC  
 SCALE: 1" = 100'-0"



- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
  - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
  - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
  - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
  - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

Symbol	Label
⚡	SB
⊙	SL1
⊙ 	SP1
—	SS
□	ST
⊙ 	SW
⊙	PROPOSED STREET LIGHT PER ENG22-0014

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS		
		08.08.2024	10.10.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 154 OF 156



STUDIO LIGHTNING  
63 SUNSET DR.  
BAILEY, CO 80421  
303.242.1572

UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

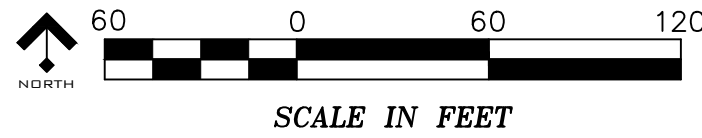
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024

REVISIONS

08.08.2024  
10.10.2024

154 OF 156  
PHOTOMETRIC

PROPOSED STREET LIGHT PER ENG22-0014 (TYP.)



1

SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 60'-0"

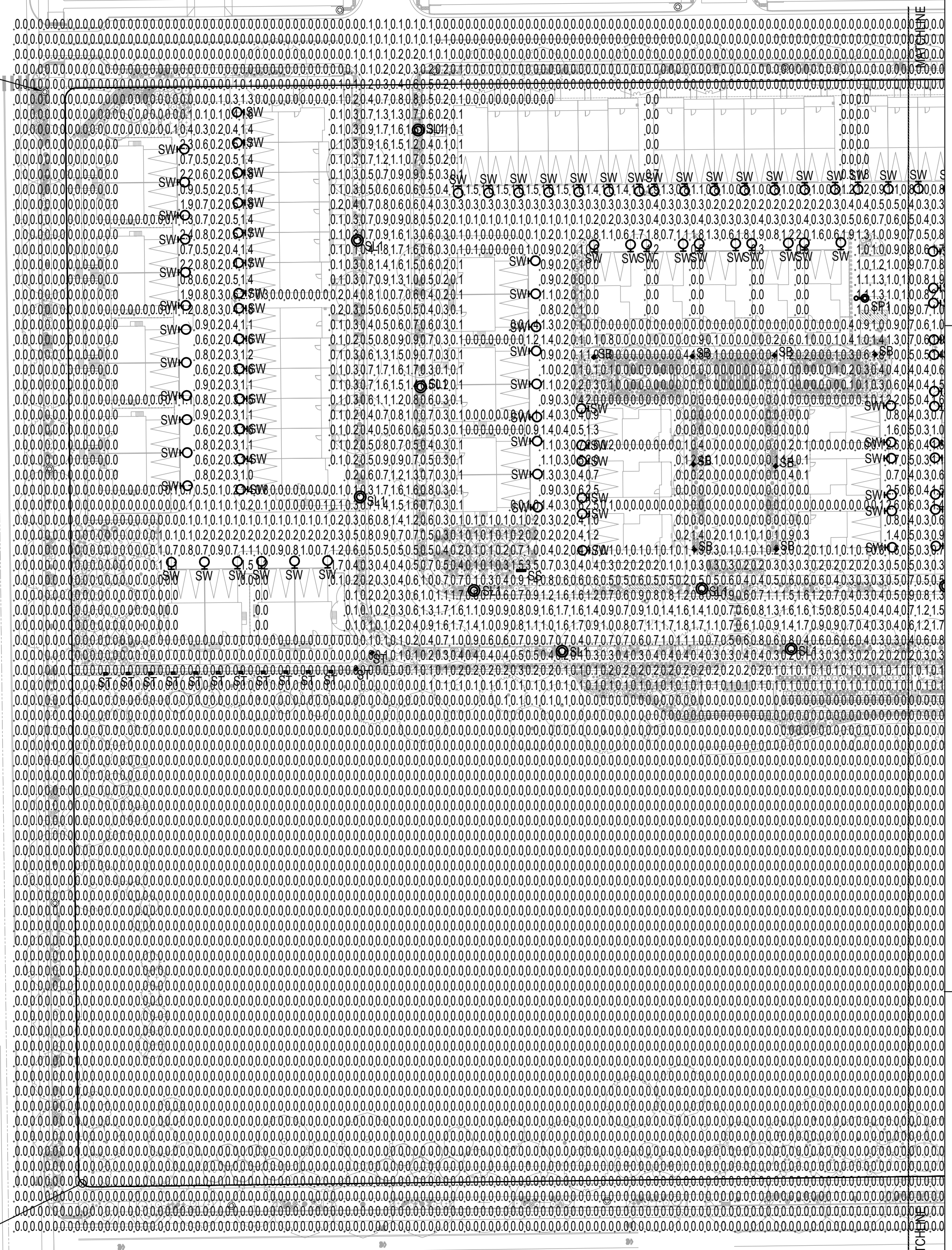
PHOTOMETRY PLAN GENERAL NOTES:

- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS. THERE WILL BE NO OFF-SITE GLARE ALLOWED.
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SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

Symbol	Label
⊕	SB
⊙	SL1
⊗	SP1
—	SS
□	ST
⊕	SW
⊙	PROPOSED STREET LIGHT PER ENG22-0014

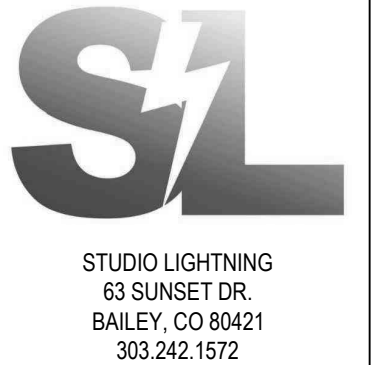
PROPERTY LINE



MATCH



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 3  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 155 OF 156

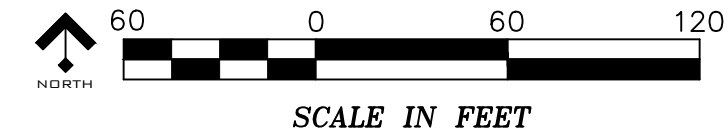
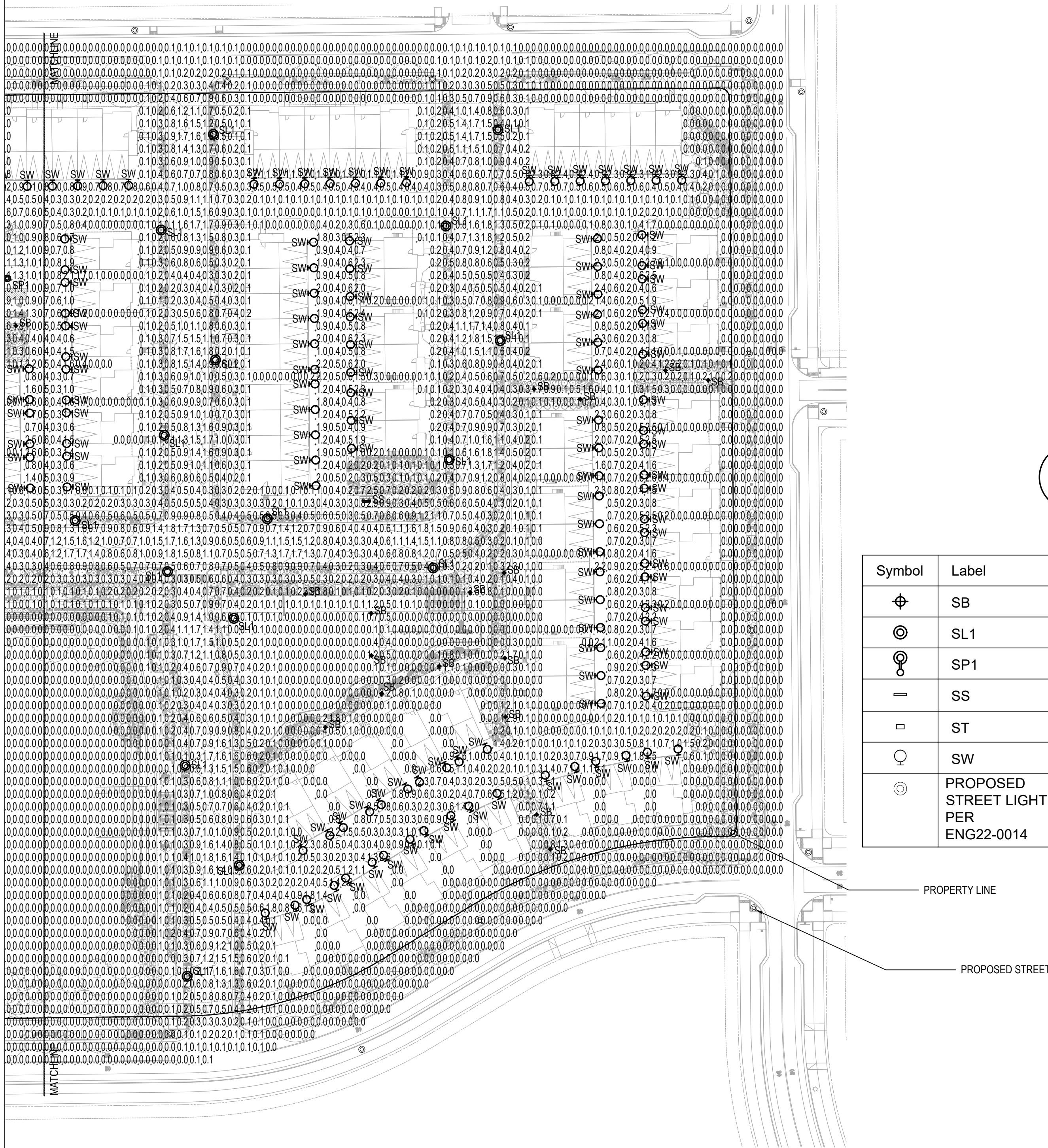


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1  
BLOCK 3  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 05.16.2024  
REVISIONS  
08.08.2024  
10.10.2024



1 SITE LIGHTING PHOTOMETRIC  
SCALE: 1" = 60'-0"

PHOTOMETRY PLAN GENERAL NOTES:

- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
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SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

Symbol	Label
⊕	SB
⊙	SL1
⊗	SP1
—	SS
□	ST
♀	SW
⊙	PROPOSED STREET LIGHT PER ENG22-0014

PROPERTY LINE

PROPOSED STREET LIGHT PER ENG22-0014 (TYP.)

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 156 OF 156



STUDIO LIGHTNING  
 63 SUNSET DR.  
 BAILEY, CO 80421  
 303.242.1572

**UPLANDS**

DATE: 10.10.2024

**UPLANDS FILING NO. 1  
 BLOCK 3  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

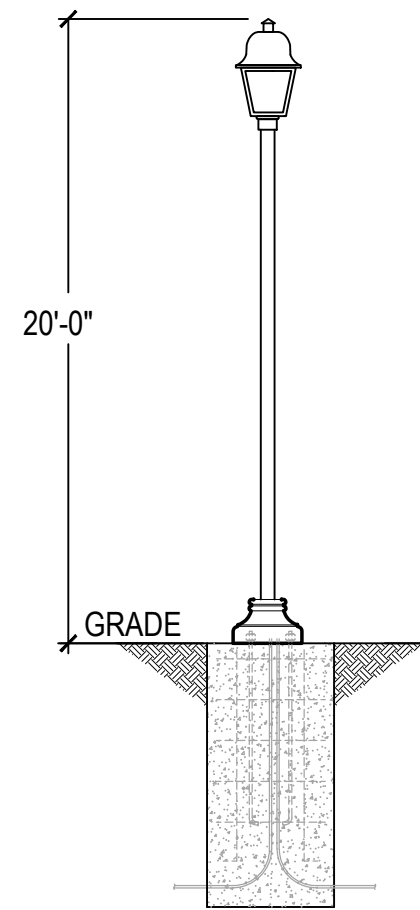
OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 05.16.2024

REVISIONS

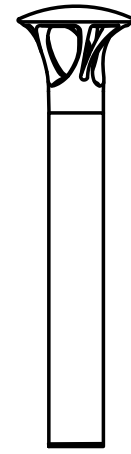
08.08.2024  
 10.10.2024

LUMINAIRE SCHEDULE									
Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	SHIELDING
⊕	SB	BOLLARD WALKWAYS	3'-0" AFG	BLACK	INVUE ABB-B1-LED-36-D1-A-BK	LED	1.00	11W	FULL CUTOFF
⊙	SL1	STREETLIGHT LOCAL STREETS	20'-0" AFG	BLACK	GE EPST-02-06-B-40-X-A-BLCK	LED	0.70	54W	FULL CUTOFF
⊙	SP1	SITE POLE PARKING	20'-0" AFG	BLACK	INVUE EMM-E02-LED-E1-T3-SR-SN-BK-7030-VA6109	LED	1.00	52W	FULL CUTOFF
▬	SS	SOLAR STRIP LIGHT MAIL KIOSKS	10'-0" AFG	WHITE	SOLAR PATH SP-XL-A-1-X-12W-3-30K-X-WH-X	LED	1.00	12W	FULL CUTOFF
▭	ST	STEP LIGHT STAIRS	2'-0" AFG	BLACK	LUMUX SL332SS-WHITE-300K-120-BLACK	LED	1.00	2.7W	FULL CUTOFF
⊙	SW	WALL SCONCE ENTRIES	8'-0" AFG	BLACK	LUMIERE 303-W1-LEDB1-3000-UNV-T4-DIM10-BK	LED	1.00	8.5W	FULL CUTOFF

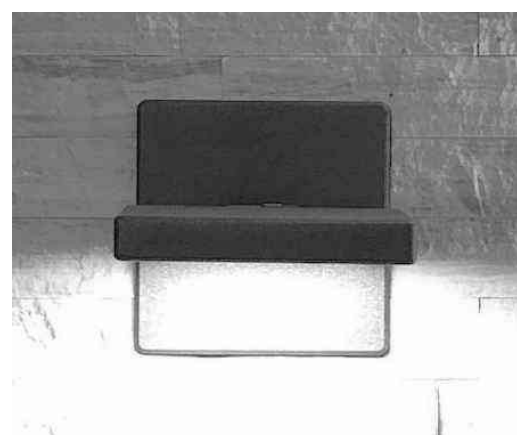
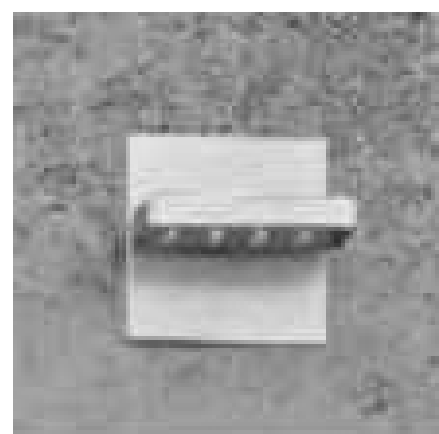
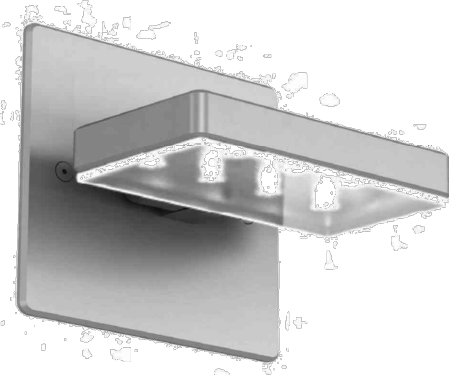
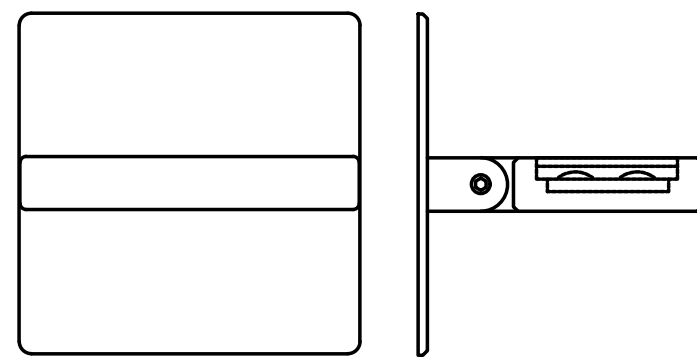
POLE  
TYPE 'SL1' FIXTURE



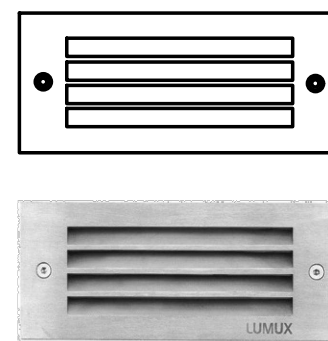
BOLLARD  
TYPE 'SB' FIXTURE



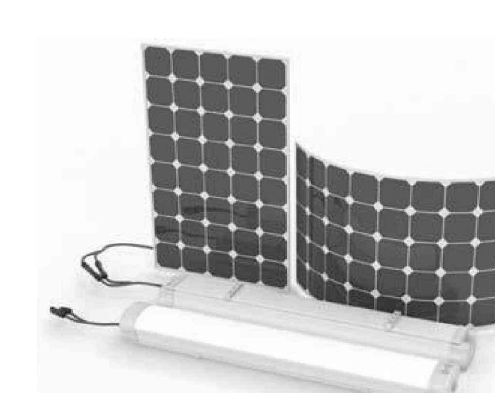
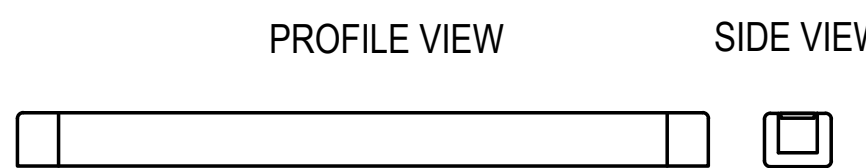
WALL SCONCE  
TYPE 'SW' FIXTURE  
PROFILE VIEW SIDE VIEW



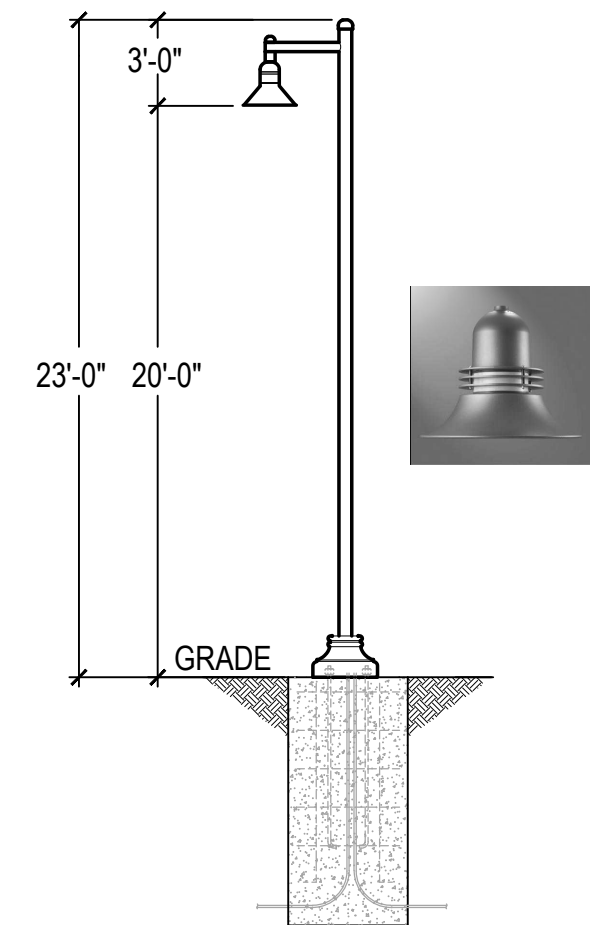
STEP LIGHT  
TYPE 'ST' FIXTURE



SOLAR STRIP LIGHT  
TYPE 'SS' FIXTURE  
PROFILE VIEW SIDE VIEW



TYPE 'SP1' & 'SP2' FIXTURES





# Outstanding Technical Corrections for Uplands Filing 1, Block 3 Official Development Plan

Sheet 1:

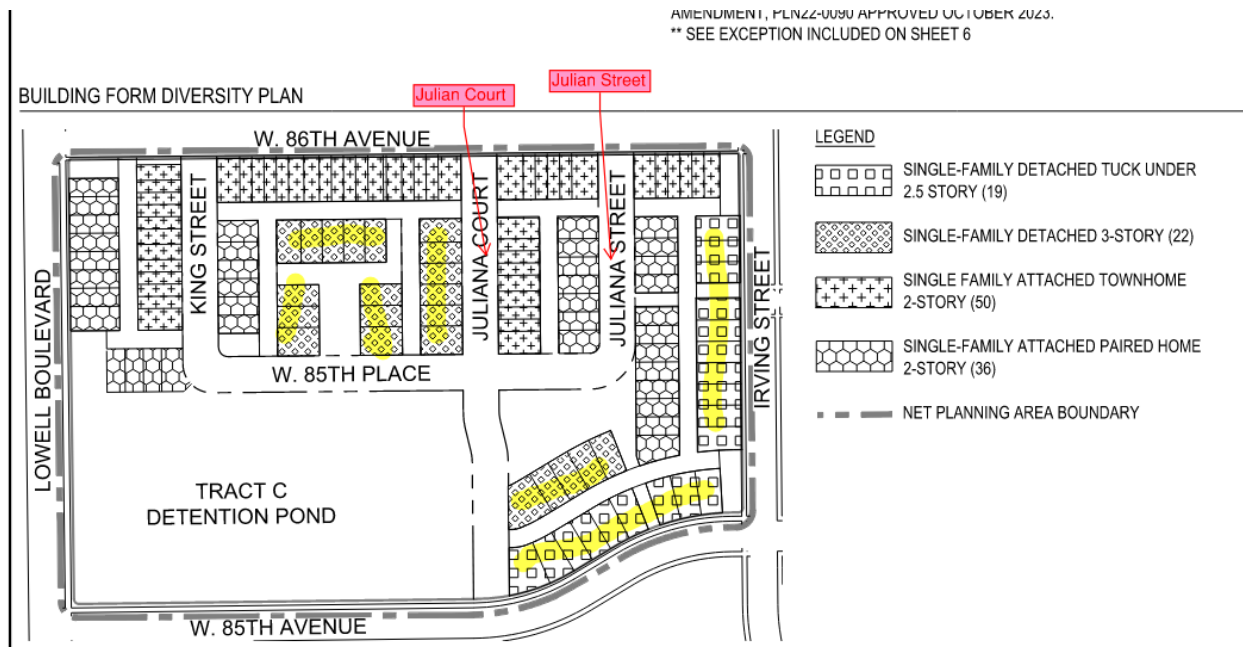
ALLOWED ON PRIVATE LOTS.

- ALL ACCESSORY STRUCTURES IN THE COMMON AREA MU REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT NOT PROPOSED WITH THIS ODP.

Minimum 2" margin required on left side and minimum 1/2" margin required on all other sides. Typical all sheets.

Sheet 2:

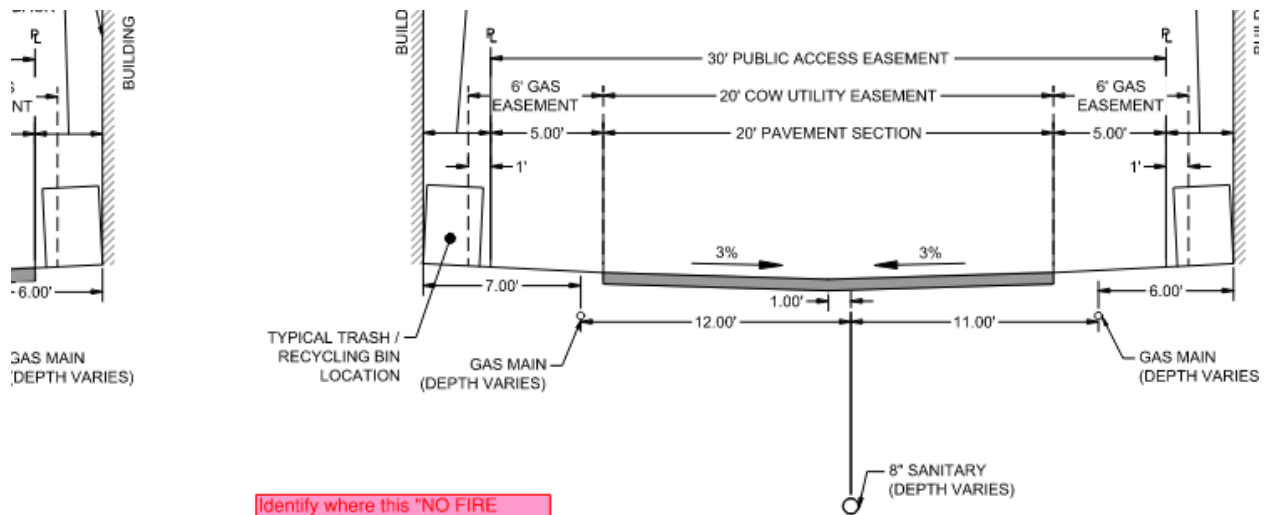


TOTAL	28	-	28
-------	----	---	----

SEE GRADING PLAN FOR LOCATIONS OF ACCESSIBLE UNITS.

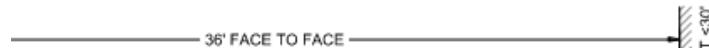
Per pages 25, 26, 27, & 29, details C-C and D-D and various sheets that demonstrate a 26 ft wide fire department access road on the garage loaded sides of the 2.5 tuck-under models - this meets the agreed upon building setbacks and fire department access widths.

Sheet 31:

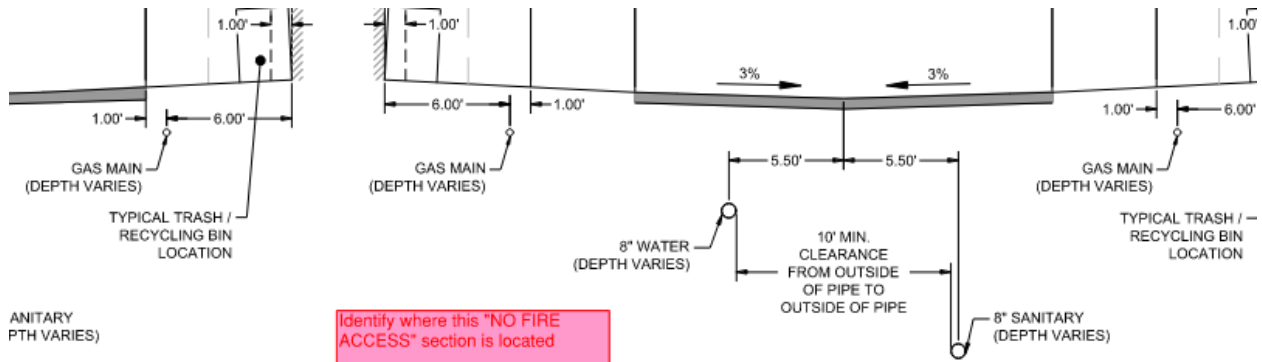


Identify where this "NO FIRE ACCESS" section is located.  
 If this is the alley that runs north-south, between Julian Court and Julian Street then this is identified as a fire department access road.

**30' ALLEY SECTION**  
 (NO PARKING, NO FIRE ACCESS)



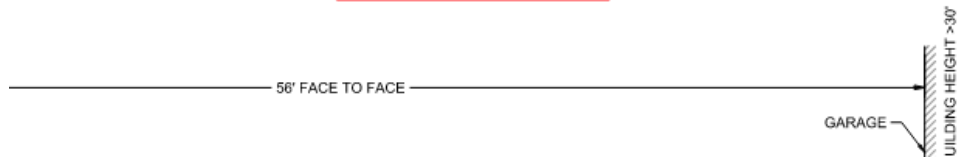
Sheet 32:



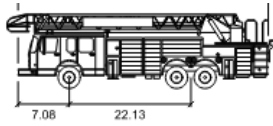
ANITARY  
PTH VARIES)

Identify where this "NO FIRE ACCESS" section is located  
If this is the alley that runs north-south, between Lowell Blvd and King Street then this is identified as a fire department access road.

→ **30' ALLEY SECTION**  
(NO PARKING, NO FIRE ACCESS)



Sheet 42:



Westminster Fire Truck

	feet
Width	: 8.33
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 37.1
Inside Cramp Angle	: 40.0
Wall to Wall Turning Rad.	: 45.17

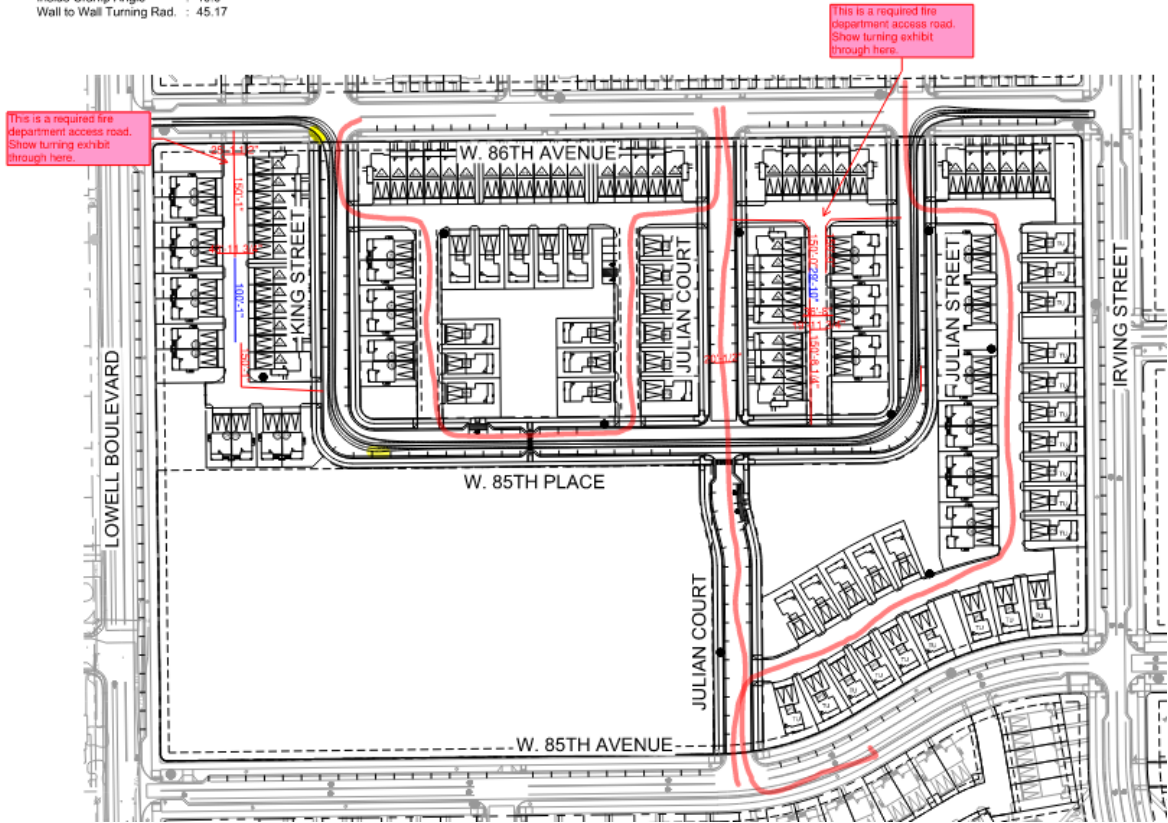
- RR. FIRE HYDRANT PER ENG 22-0014
- RR. FIRE HYDRANT
- TV TUCKUNDER

OF LANDS - PLANS NO. 17-BLOCK 3  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 42 OF 156

Fire Truck Turning Exhibit has areas of concern where it appears that the apparatus, body, or wheels may strike or drive over curbs or obstructions. Continuing to progress with the turning exhibit while there are still areas of concern identified by WFD constitutes the applicant's understanding that the fire department access roads are subject to field inspection. Upon field inspection should any areas be identified as not meeting fire department apparatus access road requirements, the applicant or applicant's designee, is responsible for field corrections.

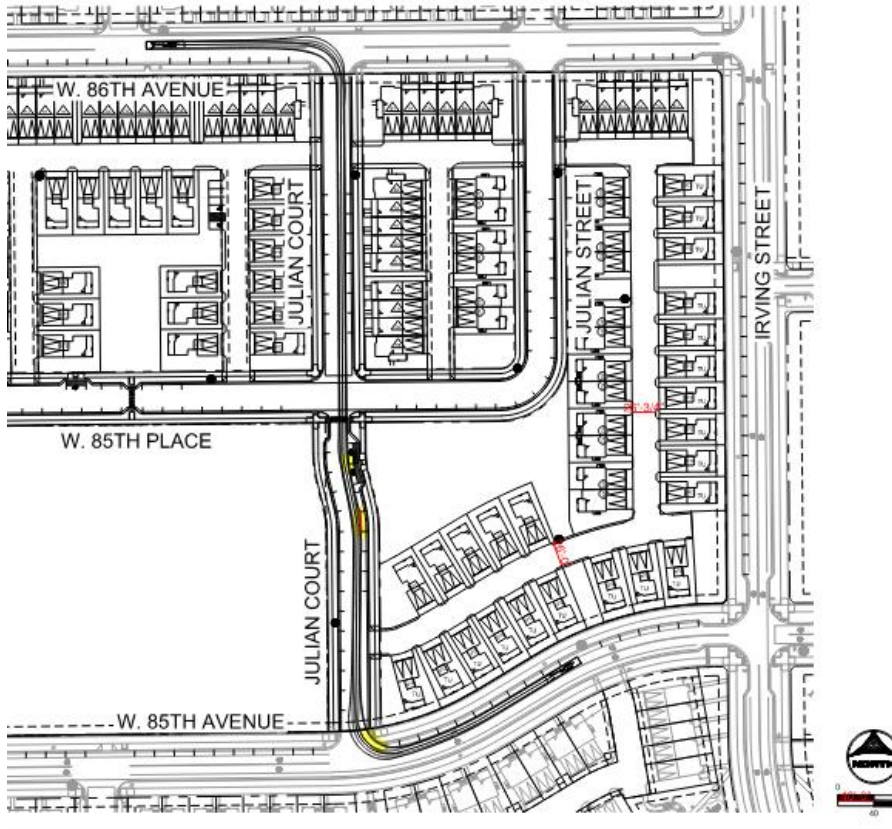
Typical all Fire Truck Turning Exhibit sheets.

UNLESS STREETS ARE CONSTRUCTED TO THE REQUIREMENTS OF THE WESTMINSTER FIRE DEPARTMENT, CANNOT MANEUVER THROUGHOUT FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE TURNING EXHIBIT TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.

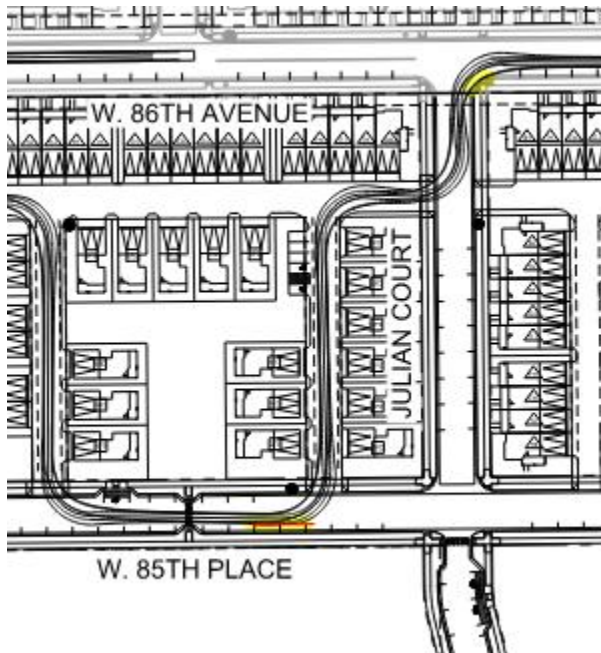




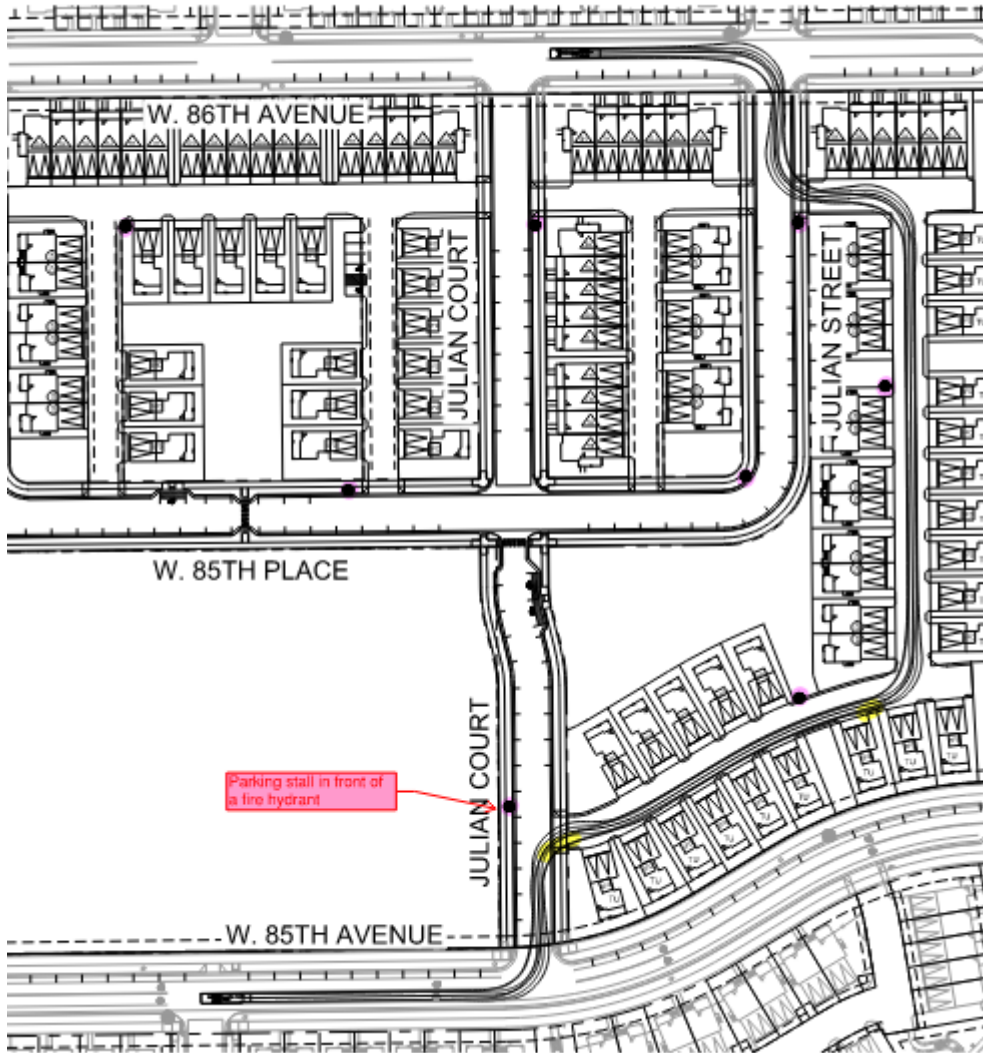
Sheet 43:



Sheet 44:



Sheet 45:



Sheet 46:

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 3**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 46 OF 156

This statement does not match with the list of homeowner responsibilities on Sheet 7. Please clarify or fix this note to clearly delineate maintenance responsibilities.

	LANDSCAPE AREA (ROW EXCLUDED) * (310,117 SF = 40.1%)			RIGHT-OF-WAY LANDSCAPE AREA (44,421 SF)			TOTAL COMMON AREA LANDSCAPE (COMMON AREA AND RIGHT-OF-WAY LANDSCAPE) (ON-LOT & DETENTION POND AREA EXCLUDED)**			PUBLICLY ACCESSIBLE PRIVATE PARK (42,202 SF = 5.5%) (23,941 SF LANDSCAPE AREA)		
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1 / 550 SF	211***	253	1 / 550 SF	81	121	1 / 550 SF	292***	374	1 / 550 SF	44	33
SHRUBS	3 / 550 SF	632***	1,081	3 / 550 SF	242	697	3 / 550 SF	874 ***	1788	3 / 550 SF	131	371

TREES	1 / 550 SF	124	124**
SHRUBS	3 / 550 SF	371	371**
TREES	1 / 550 SF	335±..	377*
SHRUBS	3 / 550 SF	1003±..	1,452*

- NOTES:
1. \*INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE, PARK, AND ALL NON-ROW LANDSCAPE AREA.
  2. \*\*INCLUDES REQUIRED 1 TREE AND 3 SHRUBS PER 550 SF FOR ALL FRONT YARD LANDSCAPES. PLEASE SEE LOT AND LANDSCAPE TYPICALS FOR CRITICAL PARAMETERS OF LANDSCAPE PLANS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PENDING FINAL PRODUCT CONFIGURATION.
  3. \*\*\* DETENTION POND EXCLUDING POND BELOW 5 YEAR WATER SURFACE ELEVATION LINE (IS EXCLUDED FROM REQUIRED TREE AND SHRUB CALCS).
  4. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.
  5. ALL LANDSCAPING SHOWN IN THE ROW SHALL BE MAINTAINED BY THE HOA.

Add (tree lawns)  
 This language should match the language used on sheet 7 to avoid confusion.

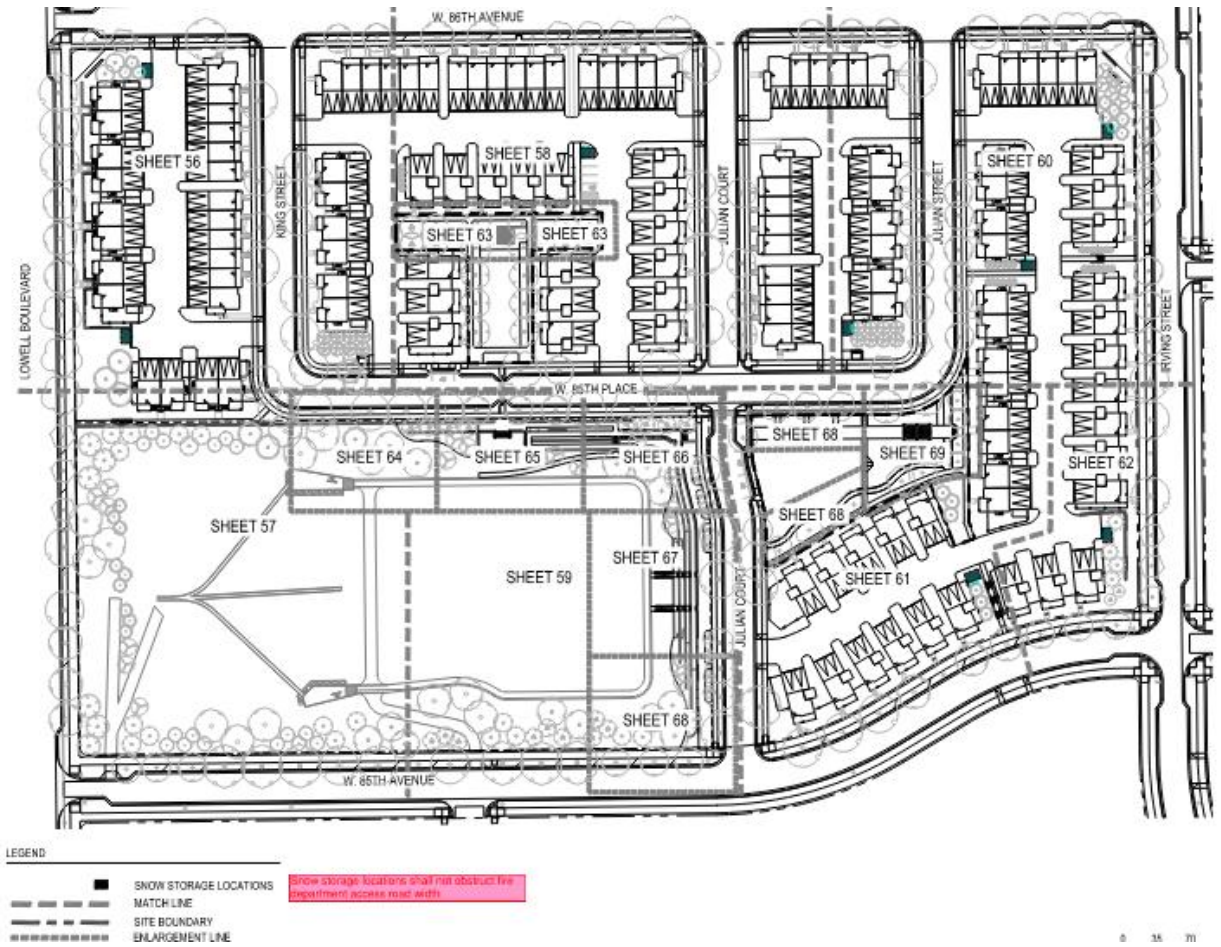
**STANDARD STATEMENTS**

NG SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, ID ORDINANCE NO. 3133, SERIES OF 2004.  
 ER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE  
 N SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.  
 HALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY  
 I. LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100%  
 IVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS

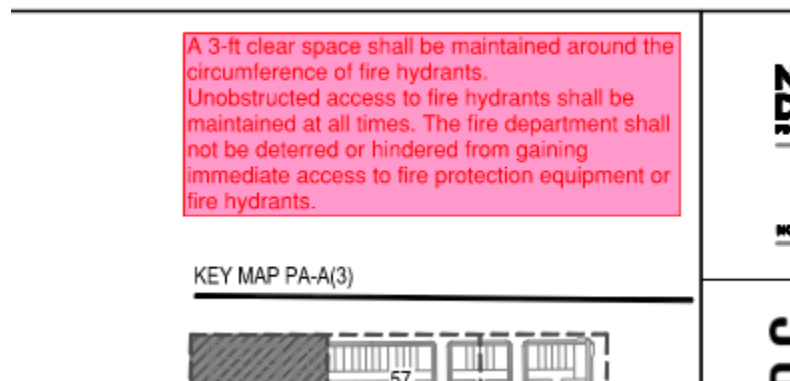
LANDSCAPE QUANTITIES: HIGH WATER TURF AREA		
LANDSCAPE AREA (ON-LOT EXCLUDED)	MAX HIGH WATER TURF AREA (LESS THAN 20%)	PROVIDED HIGH WATER TURF AREA
286,567 SF	< 57,313 SF	12,831 SF (4.5%)

SOIL AMENDMENT REQUIRED				
LANDSCAPE AREA (EXCLUDING ROW)	310,117	X 5 YDS/1000 SF =	1,551	CU. YDS.
RIGHT-OF-WAY AREA	44,421	X 5 YDS/1000 SF =	222	CU. YDS.
TOTAL: 354,538 SF			1,773	CU. YDS.

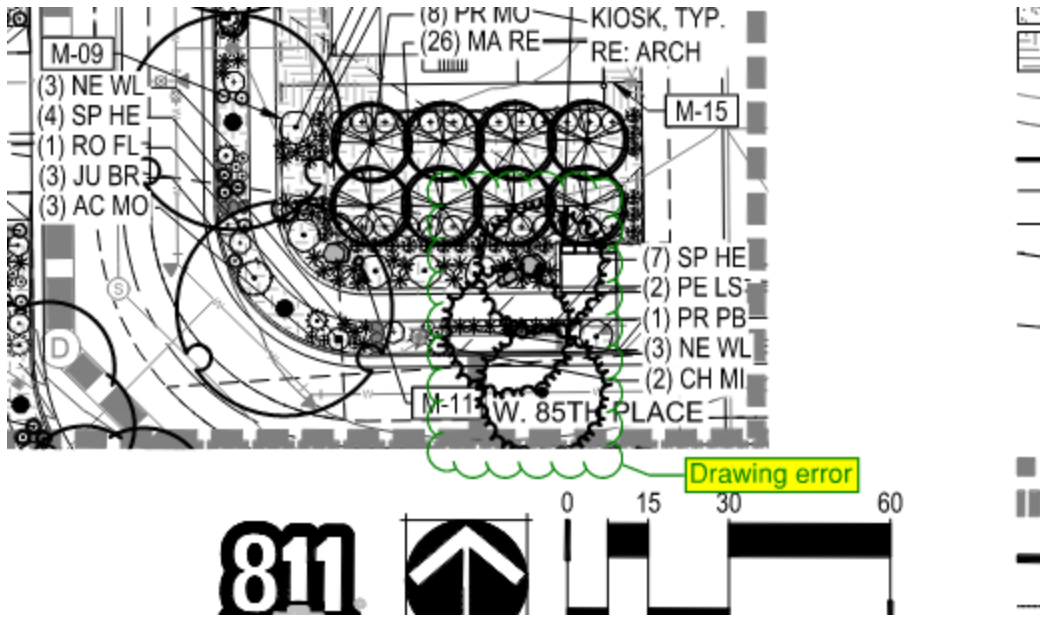
Sheet 52:



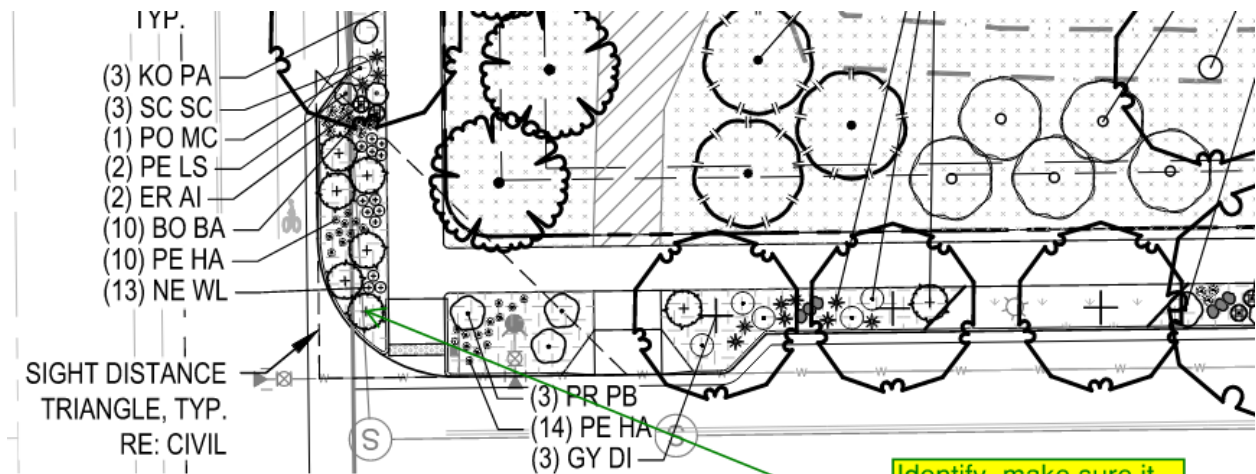
Sheet 55:







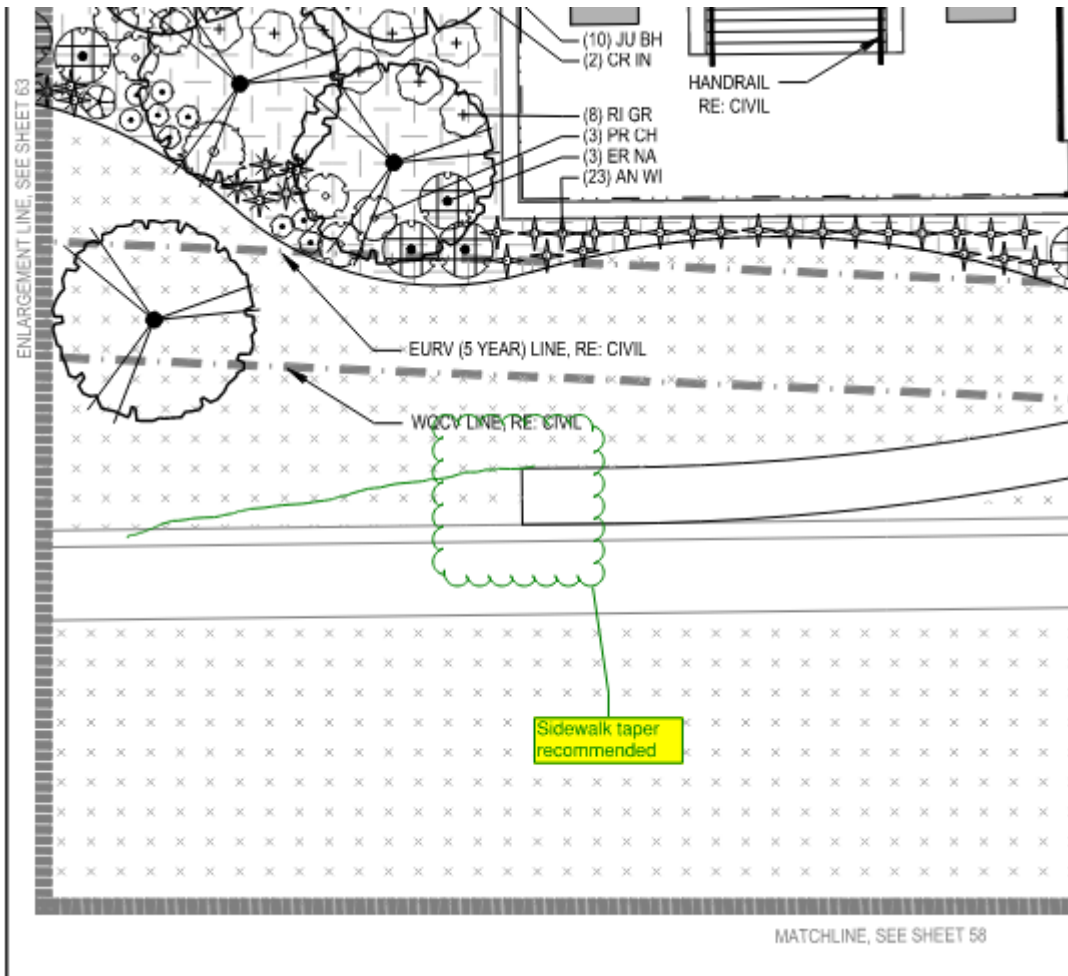
Sheet 56:



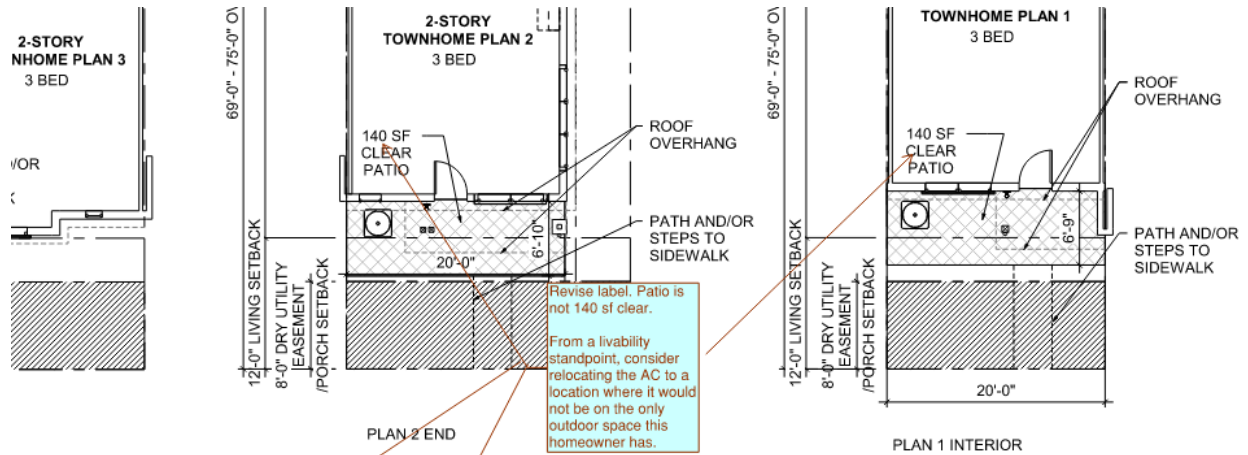
DTE:

WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER.

Sheet 64:



Sheet 90:



**2-STORY TOWNHOME LOT TYPICAL**

SCANDINAVIAN, SHINGLE AND CRAFTSMAN SIMILAR

SCALE: 1/8" = 1'-0"

**PLAN 1 INTERIOR**  
1,466 TOTAL SQ. FT.  
140 SF PATIO

**PLAN 2 END**  
1,466 TOTAL SQ. FT.  
140 SF PATIO

**PLAN 3 END**  
1,614 TOTAL SQ. FT.  
150 SF PATIO

D-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR



# UPLANDS

APPLICATION FOR OFFICIAL DEVELOPMENT PLAN

**UPLANDS FILING NO. 1, BLOCK 3  
(PLANNING AREA A(3))**

Detailed Summary of Conformance with Standards for Approval

City of Westminster Planning Commission and City Council  
January 14, 2025 and February 24, 2025

Prepared December 20<sup>th</sup>, 2024



**OFFICIAL DEVELOPMENT PLAN**

[Seeking approval of an Official Development Plan for Uplands Filing No. 1, Block 3 (Uplands Planning Area A(3))]

Section 11-5-15, W.M.C. sets forth the applicable standards that the City Council must consider when reviewing an application for approval of an Official Development Plan. This summary addresses how the proposed Official Development Plan for Uplands Filing No. 1, Block 3 (Uplands Planning Area A(3)) meets these standards of approval.

1. Section 11-5-15(A)(1), W.M.C. provides the following condition of approval: *“The plan is in conformance with all City Codes, ordinances, and policies.”*

The proposed Official Development Plan (ODP) meets this standard because it is in conformance with all City Codes, ordinances and policies, including the 2013 Comprehensive Plan (as amended in 2015) (the “2013 Comp Plan”), the 2040 Comprehensive Plan (the “2040 Comp Plan”), the 2017 Housing Needs assessment, and the Land Development and Growth Procedures set forth in Title XI of the Westminster Municipal Code (“Code”), except as noted and justified in 11-4-15(A)(4) below. Please find detailed explanations below of how the proposed ODP is in conformance with each of the following:

- 2013 Comp Plan – the proposed ODP is consistent with the vision, policies and intent of the 2013 Plan.
  - Vision and Guiding Principles – the 2013 Comp Plan includes an overall vision and guiding principles to provide a foundation for development in Westminster, including the specific principles listed below:

- Comprehensive, Integrated Parks and Open Space System

The proposed ODP complies with this guiding principle because it complies with the park and open space requirements outlined in the Uplands PDP (“PDP”). The PDP includes specific requirements for the 4% publicly accessible private parks and open space and Public Land Dedication (PLD) as well as the City’s general goals of a connected trail system. The proposed ODP includes 0.97 acres of publicly accessible private parks (5.5% of site area) and provides the sidewalk and trail network outlined in the PDP and the Master Official Development Plan (MODP). The MODP identifies one conceptual park location, which is in alignment with one of the proposed park spaces. The second space is located centrally within the neighborhood and is connected to the other via amenitized open space.

- Balanced Housing Mix

The proposed ODP complies with this guiding principle because it complies with the intent of the PDP and MODP to provide a diversity of housing types. The PDP includes a principle that Uplands include a range of complementary uses and intensities, providing diverse housing types and sizes to meet the individual character of each parcel and its context. The proposed ODP provides for-sale attached and detached homes that are designed to meet the individual character of the site as well as create a transition in density from the low-density single-family detached homes to the west to the future higher density homes and Village Center to the east. The proposed ODP complements the mix of attached and detached homes proposed and approved to the north and south. Further, the proposed ODP also complies with the ‘Building Form Diversity Requirements’ established in the 1st Amended MODP.

- Environmental Stewardship and Water Resource Management Program

The proposed ODP complies with this guiding principle because it complies with the sustainability requirements outlined in the PDP. The PDP requires that all SFD homes comply with EnergyStar and WaterSense, that all SFD and SFA

homes feature Level 2 EV car charging in the garage and that all SFD homes with traditional roofs be designed as ‘solar ready.’ The proposed ODP meets all three of these requirements, along with SFA homes also complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering less than 5% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material and low water use turf blends instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species selection and linked green spaces.

- Land Use Goals and Policies

- LU-G-7 – Provide opportunities for a range of housing types and affordability to accommodate all incomes, lifestyle and age groups within the City.

The proposed ODP complies with this goal because it complies with the PDP, which provides a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area A(3), the proposed ODP provides a mix of attainably designed for sale single-family attached and single-family detached homes, within the limits defined in the PDP. Further, the proposed ODP complies with the ‘Building Form Diversity Requirements’ established in the MODP.

- LU-P-1 – Ensure land uses are consistent with the Comprehensive Plan Land Use Diagram in Figure 2-2 and land use classifications in Section 2.2.

The 2013 Comprehensive Plan designates the planning area as Traditional Mixed-Use Neighborhood Development, which is intended to provide inclusive neighborhoods with a mix of residential and supportive non-residential uses in a walkable, pedestrian-oriented village development pattern. The proposed ODP complies with this policy because it complies with the PDP, which establishes densities and land use classifications in compliance with the 2013 Comp Plan. It also complies with this policy because it complies with the Uplands MODP, which provides a framework for a walkable, pedestrian-oriented village development pattern.

	<b>2013 Comp Plan</b>	<b>Uplands PDP</b>	<b>PA-A(3) ODP</b>
Allowed Uses	Apartments Condominiums Lofts and Townhomes Single Family Residences (attached or detached) Offices Personal Services Retail Commercial Live/Work	SFD SFA	SFD SFA

- LU-P-3 – Ensure that new development is consistent with minimum and maximum intensities and densities for development. Residential densities are calculated using the gross acreage of the site, excluding land area within 100-year flood plains.

The 2013 Comp Plan designates the planning area as Traditional Mixed-Use Neighborhood Development, which allows up to 18.0 dwelling units per gross acre and up to 1.0 FAR for commercial uses.

The proposed ODP complies with this policy because it complies with the PDP, which establishes densities and land use classifications in compliance with the 2013 Comp Plan.

	<b>2013 Comp Plan</b>	<b>Uplands PDP</b>	<b>PA-A(3) ODP</b>
Maximum Density	18.0 du/ac (gross)	5.5-7.0 du/ac (gross)	6.28 du/ac (gross)

- LU-P-4 – Ensure that adequate infrastructure and public services are available for new development. Evaluate the impact of new development to the City’s future water supply, considering land use, intensity and proposed conservation measures.

The proposed ODP complies with this policy because it complies with the PDP (and associated Master Utility Study and Phase I Drainage Report) and the MODP (and associated Phase II Drainage Report), which established the infrastructure and public services needed for development. The proposed ODP provides the required improvements (either within this ODP or the approved master infrastructure CDs & Phase III Drainage Report). These improvements include:

- Strengthening and enhancing the existing water network
- Strengthening and enhancing the existing sanitary sewer network
- Providing sufficient drainage improvements to route, treat and attenuate stormwater run-off from this neighborhood and adjacent land. Additional drainage improvements are provided, reducing the amount of runoff seen in the existing condition.

○ Transportation and Circulation Goals and Policies

- T-P-8 – Require new development to provide traffic improvements necessary to accommodate trips generated by the project without significantly reducing existing levels of service on affected roadways.

The proposed ODP complies with this policy because it generally complies with the PDP, MODP, and Master Traffic Impact Study, which established the street sections and associated improvements needed for development. The proposed



ODP provides the required improvements (either within this ODP or the approved master infrastructure CDs). These improvements include:

- Additional vehicle, parking and bike lanes to existing streets
  - Creation of new streets / revision to existing intersections for a more functional overall transportation network
  - Creation of new sidewalks, trail connections and tree lawns
  - Existing street capacities are improved and levels of services have been analyzed and meet the City's requirements and acceptance
- T-P-9 – Complete and enhance the pedestrian network with an interconnected system of walkways and trails, continuous sidewalks on both sides of the street and pedestrian crossings and connections between existing and new development.

The proposed ODP complies with this policy because it generally complies with the PDP and Master Traffic Impact Study, which established the street sections and associated improvements needed for development. The proposed ODP (or the approved infrastructure package) includes the following trail and sidewalk improvements:

- Adding a 10-foot walk and 6-foot tree lawn on the east side of Lowell Boulevard (part of the approved overall Uplands infrastructure package)
  - Adding 8-foot walks and 6-foot tree lawns on West 85th Avenue, and Irving Street (part of the approved overall Uplands infrastructure package)
  - Adding 5-foot walks and 6-foot tree lawns on internal local streets, including West 86<sup>th</sup> Avenue, West 85<sup>th</sup> Place, King Street, Julian Court, and Julian Street
  - Adding internal sidewalk connections:
    - Looped networks within the publicly accessible private parks and around the detention pond
    - Minor internal circulation routes connecting residents to the publicly accessible private parks and perimeter circulation routes
- City Identity and Design
    - CID-G-11 – Encourage sustainable design practices in all aspects of physical planning in the city, with a focus on site, landscape and building design.

The proposed ODP complies with this goal because it complies with the sustainability requirements outlined in the PDP. The PDP requires that all SFD

homes comply with EnergyStar and WaterSense, that all SFD and SFA homes feature Level 2 EV car charging in the garage and that all SFD homes with traditional roofs be designed as ‘solar ready’. All three of these requirements are met with the proposed ODP, along with SFA homes also complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering less than 5% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material, low water use turf blends and/or native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species selection and linked green spaces.

○ Parks, Recreation, Libraries and Open Space

- PRLO-P-1 – As new development occurs, evaluate opportunities for development of new parks, facilities and programs to ensure that addition of new population in the city does not adversely impact the city’s existing quality and level of parks, recreation and library services.

The proposed ODP complies with this policy because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for 4% publicly accessible private parks and open space and Public Land Dedication (PLD) as well as the City’s general goals of a great and connected trail system. The proposed ODP includes 0.98 acres of publicly accessible private park (5.5% of site area) and provides the sidewalk and trail network outlined in the PDP and MODP. Further, the centrally located publicly accessible private park location proposed in the ODP is consistent with the location identified in the MODP.

- PRLO-P-4 – Ensure that all new residential development continues to contribute to the provision and maintenance of adequate parks, recreation facilities and open space to meet the needs of its new residents.

The proposed ODP complies with this policy because it complies with the park and open space requirements outlined in the PDP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space and Public Land Dedication (PLD) as well as the City’s general goals of a great and connected trail system. The proposed ODP includes 0.97 acres of publicly accessible private parks (5.5% of site area) and provides the sidewalk and trail network outlined in the PDP and the Master Official Development Plan (MODP). The MODP identifies one conceptual park location, which is in alignment with one of the proposed park spaces. The second space is located centrally within the neighborhood and is connected to the other via amenitized open space.

○ Public Utilities and Services

- PU-P-2 – Ensure that new development does not result in water demand that exceeds the city’s existing water supply. Proposed developments that exceed the water demand associated with the property’s Comprehensive Plan land use designation will be evaluated on a case-by-case basis to ensure the city’s water supply is not impacted.

The proposed ODP complies with this policy, because it complies with the Uplands PDP (and associated Master Utility Study and Phase I Drainage Report) and the Uplands MODP, which established the infrastructure and public services needed for development. Water Supply has been budgeted for this project since the 2013 Comp Plan was adopted (which anticipated a higher density) and affirmed during the PDP review. At time of initial application in 2018, the City provided the proposed Uplands project with a water budget of 778 acre feet. The initial water usage studies as reviewed by City engineering staff show that Uplands, as designed, is projected to be under budget by 18%. The design of the “backbone infrastructure” is outlined in the approved PDP, MODP, and approved Major Infrastructure CDs. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the PDP and MODP, which is currently underway.

- PU-P-15 – Require new development to provide any needed storm drains and drainage facility improvements or expansions to the City’s drainage system.

The proposed ODP complies with this policy because it complies with the PDP (and associated Phase I Drainage Report) and the Uplands MODP (and associated Phase II Drainage Report), which established the infrastructure and public services needed for development. The proposed ODP provides the required improvements (either within this ODP or the approved master infrastructure CDs). These improvements include providing sufficient drainage improvements to route, treat and attenuate stormwater run-off from this neighborhood and adjacent land, which complies with the approved Phase III Drainage Report. Additional drainage improvements are provided, reducing the amount of runoff seen in the existing condition. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.

- 2040 Comp Plan – the proposed ODP is consistent with the vision, cornerstones, goals and policies of the 2040 Comp Plan.
  - Cornerstones
    - Healthy Places – Westminster has a built environment that embraces the outdoors through a comprehensive, integrated parks and open space system.

The proposed ODP complies with this cornerstone because it complies with the park and open space requirements outlined in the Uplands PDP. The PDP includes specific requirements for 4% publicly accessible private parks and open space and Public Land Dedication (PLD) as well as the City’s general goals of a great and connected trail system. The proposed ODP includes 0.97 acres of publicly accessible private parks (5.5% of site area) and provides the sidewalk and trail network outlined in the PDP and the Master Official Development Plan (MODP). The MODP identifies one conceptual park location, which is in alignment with one of the proposed park spaces. The second space is located centrally within the neighborhood and is connected to the other via amenitized open space.

- Great Neighborhoods – Westminster has a strong sense of local pride in our well—designed and attractive neighborhoods.

The proposed ODP complies with this cornerstone because it complies with the PDP and MODP. The PDP includes a principle that Uplands include a range of complementary uses and intensities, providing diverse housing types and sizes to meet the individual character of each parcel and its context. The proposed ODP provides for-sale attached and detached homes that are designed to meet the individual character of the site as well as create a transition in density from the low-density single-family detached homes to the south to the future higher density homes to the north. The proposed ODP complements the mix of attached and detached homes proposed and approved to the north and south. The ODP further complies with this cornerstone with a neighborhood plan that is designed around a publicly accessible private park and open space corridors with pedestrian-friendly building designs that activate the proposed circulation improvements. It also complies with this cornerstone because it complies with the Uplands MODP, which provides a framework for a walkable, pedestrian-oriented village development pattern.

- Great Neighborhoods – Westminster provides a balanced mix of housing opportunities, for a range of incomes, age groups, and lifestyle choices.

The proposed ODP complies with this cornerstone because it complies with the Uplands PDP, which provides a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area A(3), the proposed ODP provides a mix of attainably designed for sale single-family attached and single-family detached homes, within the limits defined in the PDP. Further, the proposed ODP complies with the ‘Building Form Diversity Requirements’ established in the 1st Amended MODP.

- Managed Growth – Westminster responsibly manages water and natural resources, prioritizing environmental stewardship and understanding feasibility of infrastructure and resource availability.

The proposed ODP complies with this cornerstone, because it complies with the approved PDP (and associated Master Utility Study and Phase I Drainage Report) and the Uplands MODP (and associated Phase II Drainage Report) and the approved Major Infrastructure CDs & Phase III Drainage Report, which established the infrastructure and public services needed for development. During the PDP review, Water Supply had been budgeted for this project (at an even higher density) since the 2013 Comprehensive Plan was adopted. At time of initial application in 2018, the City provided the proposed Uplands project with a water budget of 778 Acre Feet. The initial water usage studies as reviewed by City engineering staff show that the Uplands, as designed, is projected to be under budget by 18%. The design of the “backbone infrastructure” as outlined in the PDP and MODP has been approved. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.



Additionally, the proposed ODP complies with the sustainability requirements outlined in the PDP. The PDP requires that all SFD homes comply with EnergyStar and WaterSense, that all SFD and SFA homes feature Level 2 EV car charging in the garage and that all SFD homes with traditional roofs be designed as ‘solar ready’. All three of these requirements are met with the proposed ODP, along with SFA homes also complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering less than 5% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material and low water use turf blends instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species section and linked green spaces.

○ Utility and Resources Goals and Policies

- Goal UR-4 – Protect the community from adverse flooding and pollution impacts of runoff with efficient and progressive stormwater manager practices.

The proposed ODP complies with this goal because it complies with the approved Uplands PDP (and associated Phase I Drainage Report) and the approved Uplands MODP (and associated Phase II Drainage Report) and the approved Major Infrastructure CDs & Phase III Drainage Report, which established the infrastructure and public services needed for development. The proposed ODP provides the required improvements (either within this ODP or the approved master infrastructure CDs). These improvements include providing sufficient drainage improvements to route, treat and attenuate stormwater run-off from this neighborhood and adjacent land. Additional drainage improvements are provided, reducing the amount of runoff seen in the existing condition. The design of the “backbone infrastructure” as outlined in the PDP and MODP has been approved. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.

○ Land Use and Development Goals and Policies

- Goal LU-1 – Achieve a balance of uses win the City, including employment, residential, cultural, destination attractions, and retail, as well as a full range of amenities necessary to support a vibrant and resilient community.
  - 1.1 – Ensure land uses and zoning districts are consistent with the Land Use Diagram in Map 3-2 and land use character types in Section 3.2.

The 2040 Comp Plan designates the planning area as Mixed-Use Neighborhood, which allows up to 18.0 dwelling units per gross acre. This designation is intended for inclusive neighborhoods with a mix of residential uses and non-residential uses in a walkable, pedestrian-oriented, village development pattern. The proposed ODP complies with this goal because it complies with the PDP, which established densities and land use classifications in compliance with the 2013 Comp Plan, which are generally consistent with those identified in the 2040 Comp Plan. It is also in compliance with this policy because it complies with the Uplands MODP, which provides a framework for a walkable, pedestrian-oriented

village development pattern. The proposed ODP further complies with this goal through the creation of two publicly accessible private parks and dedication of adjacent public land, which provides a local amenity to help support a vibrant and resilient community.

	<b>2040 Comp Plan</b>	<b>Uplands PDP</b>	<b>PA-A(3) ODP</b>
Maximum Density	18.0 du/ac (gross)	5.5-7.0 du/ac (gross)	6.28 du/ac (gross)
Primary Uses	Single-family detached Single-family attached Townhomes Professional Offices Personal Services Retail Commercial Live/Work Units	SFD SFA	SFD SFA

- Goal LU-6 – Encourage sustainable design practices and construction in all aspects of physical planning in the city, with a focus on site, landscape, and building design.

The proposed ODP complies with this goal because it complies with the sustainability requirements outlined in the PDP. The PDP requires that all SFD homes comply with EnergyStar and WaterSense, that all SFD and SFA homes feature Level 2 EV car charging in the garage and that all SFD homes with traditional roofs be designed as ‘solar ready’. All three of these requirements are met with the proposed ODP, along with SFA homes also complying with Energy Star and WaterSense. Further, the proposed landscape plan includes high water turf areas covering less than 5% of the neighborhood (limited to active play areas), compared to the 20% coverage allowed in the City’s landscape regulations. All tree lawns consist of low water use shrub material and low water use turf blends instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species selection and linked green spaces.

- Goal LU-9 – Maintain the city’s high-quality design and development character.
  - 9.1 – Promote excellence in site planning, architecture, and the design of landscaping, lighting and signage in all types of development by means of design standards for each type of use.

The proposed ODP complies with this goal because it complies with the guiding principles established in the PDP, MODP and outlined below in 11-5-5(A)(3).

The proposed ODP complies with this goal because it complies with the Conceptual Framework Plan, Building Form Diversity Requirements and Architectural Characteristics established in the MODP and 1st Amended MODP, except as noted and justified in 11-4-15(A)(4) below.

The proposed ODP is consistent with the Development Principles of the Design Guidelines for Traditional Mixed Use Neighborhood Development (TMUND).

○ Transportation, Mobility, and Connections Goals and Policies

- 1.4 – Create and enhance a safe and accessible pedestrian network that ensures walkability and connectivity within the city and to adjacent communities.

The proposed ODP complies with this goal because it generally complies with the PDP, MODP and Master Traffic Impact Study, which established the street sections and associated improvements needed for development. The proposed ODP (or approved master infrastructure package) include the following trail and sidewalk improvements:

- Adding a 10-foot walk and 6-foot tree lawn on the east side of Lowell Boulevard (part of the approved overall Uplands infrastructure package)
- Adding 8-foot walks and 6-foot tree lawns on West 85th Avenue, and Irving Street (part of the approved overall Uplands infrastructure package)
- Adding 5-foot walks and 6-foot tree lawns on local streets, including West 86<sup>th</sup> Avenue, West 85<sup>th</sup> Place, King Street, Juliana Court, and Juliana Street
- Adding internal sidewalk connections:
  - Looped networks within the publicly accessible private parks and around the detention pond
  - Minor internal circulation routes connecting residents to the publicly accessible private parks and perimeter circulation routes

○ Health, Wellness, and Community Services

- 1.2 – Encourage design options that allow community gathering spaces in central locations in support of the Neighborhood Unit concept that are capable of supporting cultural and recreation activities appropriate to the area.
- 2.1 – Promote the development of park facilities that encourage pedestrian and bicycle access, provide a range of services and meet the needs of a variety of all ages and abilities.
- 4.1 – Provide easy and safe access to the city’s open space and trail network.

The proposed ODP complies with these goals because it complies with the park and open space requirements outlined in the PDP and MODP. The PDP includes specific requirements for the 4% publicly accessible private parks and open space and Public Land Dedication (PLD) as well as the City’s general goals of a great

and connected trail system. The proposed ODP includes 0.97 acres of publicly accessible private parks (5.5% of site area) and provides the sidewalk and trail network outlined in the PDP and the Master Official Development Plan (MODP). The MODP identifies one conceptual park location, which is in alignment with one of the proposed park spaces. The second space is located centrally within the neighborhood and is connected to the other via amenitized open space.

The proposed parks include amenities such as a themed playground area; a shaded gathering space; bike amenities; active use lawn; sidewalk chalk plaza with view framing element; pocket library; and passive seating areas and pollinator gardens. The parks have flexible designs to accommodate a variety of activities and are connected to the adjacent neighborhood and larger community through a variety of bike and pedestrian connections.

- Housing and Neighborhoods Goals and Policies

- 1.1 – Design new neighborhoods with an easily accessible focal point, such as a park or civic spaces that provides a unique identity and opportunities for community gathering.

The proposed ODP complies with this goal because it includes two centrally-located parks, both visible from public spaces, which are focal points within the neighborhood and have flexible designs to accommodate a variety of activities. They are both also connected to the adjacent neighborhood and larger community through a variety of bike and pedestrian connections to promote community gathering. The proposed parks include amenities such as a themed playground area; a shaded gathering space; bike amenities; active use lawn; sidewalk chalk plaza with view framing element; pocket library; and passive seating areas and pollinator gardens.

- 3.1 – Continue to provide a variety of neighborhood types with a diversity of housing choices.
- 3.2 – Blend ‘missing middle’ housing types within other types of development to ensure neighborhoods that are resilient over time to demographic changes.
- 3.3 – Support diverse housing opportunities to serve a range of household sizes, compositions and needs.

The proposed ODP complies with these goals because it complies with the PDP and MODP, which provide a range of attainable housing types and affordability across the full Uplands master plan. Specific to Planning Area A(3), the proposed ODP provides a mix of attainably designed for sale single-family attached and single-family detached homes, within the limits defined in the PDP and MODP. The proposed homes achieve a more compact development pattern that creates homes that are more attainably priced than the larger lot developments that currently exist in Westminster.

- 2023 Housing Needs Assessment – the proposed ODP is consistent with the findings and recommendations of the 2023 Housing Needs Assessment.



- Demographics

- As of 2022, residents aged 25-44 accounted for 36% of the City’s population and is the largest age group in the City. Since 2010, the influx of millennials has driven the regional rental market.
- “Townhomes, duplexes, triplexes, and other forms of “missing middle” housing represent an appealing compromise between detached single-homes and apartment buildings and complexes.” (Source: 2023 Westminster Housing Needs Assessment).

The proposed ODP complies with these goals because it complies with the PDP and MODP, which provide a range of “missing middle” housing types and affordability across the full Uplands master plan. Specific to Planning Area A(3), the proposed ODP provides a mix of attainably designed for sale single-family attached and single-family detached homes, within the limits defined in the PDP and MODP. The proposed homes achieve a more compact development pattern that creates homes that are more attainably priced to the “missing middle” than the larger lot developments that currently exist in Westminster.

- Housing Inventory and Market Analysis

- “Over the past decade or so, home values have increased dramatically throughout the region, even when inflation is accounted for.” (Source: 2023 Westminster Housing Needs Assessment).
- “From March 2020 to July 2023, Westminster has consistently had fewer months of housing supply than Adams and Jefferson Counties.” (Source: 2023 Westminster Housing Needs Assessment).
- The proposed ODP is consistent with these findings because it brings additional for sale homes at a density and housing type that is limited in the City’s existing housing stock. This helps two-fold – it creates a greater increase in supply while creating options for reducing the amount of land each homeowner needs to purchase, thereby lowering the overall relative cost.

- Affordability and Gap Analysis

- The 2023 study sites an increased gap in affordable units, particularly units that are affordable for moderate-income households.
- The proposed ODP is consistent with this finding because it provides homes that are affordable for moderate-income households. The proposed lots are reduced in size from the traditional single-family residential lot size, providing a more attainable home type for families and households with a moderate income.

- Opportunities and Recommendations

- The study recommends a variety of opportunities to improve housing accessibility in Westminster, which was heavily informed by resident input and

the limited availability of land available for development. The following opportunities were sited that directly correlate with the proposed ODP:

- Flexible site design standards – the study recommends flexible site design standards, which includes flexible setback requirements, to encourage attainable housing. Uplands aligns with this recommendation by providing creative design and reduced setbacks to improve affordability and connectivity for the neighborhood.
- “Missing Middle” Housing Expansion – the study recommends focusing on providing dwelling units such as townhomes and duplexes and other forms of “missing middle” housing to appeal to moderate-income households and to allow for “compatibility in character and form with detached single-family homes. Uplands aligns with this recommendation by providing single-family attached townhomes and duplexes as part of the housing mix.
- Title XI Land Development and Growth Procedures – the proposed ODP is consistent with the General Provisions of PUD Zone Districts.
  - WMC 11-4-7(B) – PUD – Planned Unit Development District General Provisions – As described in the Code, the PUD District “is intended to reflect maximum design freedom to make the best use of topography and land features and to permit the developer an opportunity to more fully utilize the physical characteristics of the site through the reduction of lot sizes and the absence of setback and bulk restrictions; to provide for diversification and flexibility in housing types, housing prices, and overall design; to encourage innovative development of smaller parcels of land that have been passed over; to encourage mixed-use developments, including uses such as residential, office, and commercial; and to encourage higher quality development than possible under traditional standard zoning regulations”. The PUD general provisions in the City Code additionally state that “it is the intent that property will be developed with a unified design providing continuity between the various elements”.

The proposed ODP complies with the framework established in the PDP, which utilizes the physical characteristics of the site to provide diversification and flexibility in housing types, housing prices and overall design. The PDP created a unified design that provides continuity among all five parcels while reflecting the unique characteristics of each parcel.

The proposed ODP also complies with the framework and neighborhood concepts established in the MODP. PA-A(3) is part of the ‘Village Residential’ neighborhood of Uplands Parcel A. The MODP describes this as neighborhood that is a mix of alley-loaded single-family attached and single-family detached residential homes organized in a traditional grid framework that is punctuated by public and private parks and open spaces. It further describes detached walks, trails and perimeter landscape to enhance the pedestrian experience.

The proposed ODP contains the development standards found in the Code, the PDP and the MODP, except as noted and justified in 11-4-15(A)(4) below. These exceptions are supported by the intentional flexibility provided in the PUD zone districts, which are intended to provide for more flexibility and design freedom than traditional zone districts.

The exceptions align with the intent of the PUD zone district and are justified through that intent as well as adopted City plans and policies. These exceptions are necessary to comply with the vision for Uplands and provide much needed housing diversity within the City of Westminster. It has always been the intent that exceptions would need to be requested at time of site specific ODPs to comply with this vision. They also are consistent with best practices in neighborhood design in municipalities across the Front Range.

2. Section 11-5-15(A)(2), W.M.C. provides the following condition of approval: *“The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).”*

The proposed Official Development Plan meets this standard. As shown in the table below, the plan is in conformance with the approved Preliminary Development Plan.

	<b>Uplands PDP</b>	<b>Uplands PA-A(3) ODP</b>
Land Use	Residential (SFD alley-loaded, SFA alley-loaded)	Residential (SFD alley-loaded, SFA alley-loaded)
Maximum Unit Count, Type	141 maximum units (including maximum 136 SFD, 141 SFA)	127 proposed units (including 41 SFD, 86 SFA)
Access	The PDP identified the overall framework for access. Perimeter access locations were identified at West 86th Avenue between Lowell Boulevard and Irving Street and West 85th Avenue between Lowell Boulevard and Irving Street.	Perimeter access locations are provided at West 86th Avenue between Lowell Boulevard and Irving Street and West 85th Avenue between Lowell Boulevard and Irving Street.
Public Land Dedication	34.3 acres Public Land Dedication and 6.35 acres View Corridor required across Uplands	34.3 acres Public Land Dedication and 6.35 acres View Corridor provided across Uplands; land dedication was completed with the approval and recordation of the Uplands Filing No. 1 Final Plat and cash-in-lieu fees have been paid.
Maximum Building Height	40-feet	40-feet
Private Parks	Minimum 4% of site area, must be publicly accessible	5.5% of site area provided with blanket public access easement for publicly accessible private park space.



<p>Neighborhood Structure</p>	<p>Intended to provide convenient routes to on-site destinations and links to the greater community and regional street and trail systems. Street system will discourage high-speed through traffic, while allowing bike and pedestrian shortcuts.</p>	<p>The proposed pedestrian circulation network provides missing perimeter improvements (along Lowell Boulevard), adds pedestrian improvements to the minor collector and local street network (West 85th Avenue, Irving Street and West 86<sup>th</sup> Avenue), adds pedestrian improvements to the internal local street network as well as internal improvements connecting existing and future residents to the publicly accessible parks and regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections. Street sections include on-street parking to slow traffic and curb extensions are provided at key pedestrian crossings (West 85th Avenue and Irving Street, West 85<sup>th</sup> Avenue and Lowell Boulevard, West 86th Avenue and Irving Street, West 86<sup>th</sup> Avenue and Lowell Boulevard, and West 85<sup>th</sup> Place and Julian Street) to minimize pedestrian crossing distances.</p>
<p>Architectural Character</p>	<p>Uplands is a relatively dense infill neighborhood featuring a diverse mix of housing options on a variety of lot types. The goal of Uplands is to be a high quality, cohesive and diverse community featuring a mix of traditional and transitional architectural styles with a focus on natural materials and crafted textures and patterns.</p>	<p>The proposed SFD and SFA homes include a diverse mix of craftsman, farmhouse, shingle, prairie, contemporary and Scandinavian architecture styles. Each style meets the City’s anti-monotony criteria with purposeful roof forms / lines / profiles and distinctly different entry treatments utilizing a variety of materials. All homes have secondary exterior materials, gable details, decorative window trim, and masonry on all four sides,</p>

		meeting the requirements of the MODP.
Landscape Character	<p>Landscape character throughout the Uplands community will utilize xeric principles in accordance with City of Westminster regulations. Turf shall be limited and the use of native seed and/or wildflower mixes is encouraged where appropriate. Emphasis shall be put on providing ample pollinator habitats and corridors and utilizing a planting palette that is rooted in agriculture. The landscape design should be texturally rich and utilize creative interpretations of ag-inspired patterning throughout the landscape. Scenic views should be incorporated throughout the site where applicable.</p> <p>Edges and streetscapes within the Uplands community are designed to connect to the existing Westminster community with inviting trails, views, streetscape and permeable edges.</p>	<p>The landscape design for the proposed ODP utilizes xeric principles. Turf is limited to only those areas designated as active play areas. All tree lawns consist of low water use shrub material, low water use turf blends and/or native seed instead of high-water use turf. Pollinator corridors are woven through the plan along with trail connections. Minimum common area landscape requirements are exceeded within the proposed plan.</p> <p>The proposed plant palette utilizes low water use species and plants that are rooted in agriculture with orchard-like fruit trees and pollinators.</p> <p>Streetscapes are designed with permeable edges through a connected system of sidewalks and trails with plant material that is open and inviting.</p>
Sustainability	<p>All SFD homes will comply with Energy Star and WaterSense.</p> <p>All SFD and SFA homes with garages will feature Level 2 EV car charging in the garage.</p> <p>All SFD homes with traditional roofs will be designed as ‘solar-ready’ for the future installation of rooftop photovoltaic systems.</p>	<p>All SFD and SFA homes comply with Energy Star and WaterSense.</p> <p>All SFD and SFA homes with garages feature Level 2 EV car charging in the garage, as noted on the architectural sheets.</p> <p>All SFD homes with traditional roofs are designed as ‘solar-ready’ for the future installation of rooftop photovoltaic systems, as noted on the architectural sheets.</p>

Perimeter Setbacks	Vary, see PDP sheet 8.	All perimeter building and parking setbacks are met, see ODP Sheet 2.
Street Sections	Vary, see PDP sheets 21-26.	Generally in conformance, as described in 11-5-15(A)(13) below.
Phasing Plan	Lists various public improvements required with development of PA-A(3).	Generally in conformance, as described in 11-5-15(A)(13) below and 11-5-15(A)(16) below.

3. Section 11-5-15(A)(3), W.M.C. provides the following condition of approval: *“The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.”*

The proposed ODP meets this standard because it is in conformance with the PDP and the MODP, except as noted and justified in 11-4-15(A)(4) below. The plan also exhibits the application of sound, creative, innovative and efficient planning and design principles and is consistent with the Development Principles of the Design Guidelines for Traditional Mixed Use Neighborhood Development (TMUND).

Uplands is guided by the following planning principles:

- Compact, walkable development with emphasis on connectivity between development parcels
- Preservation of key view corridors
- Perimeter setback considerations for adjacent properties and pedestrian landscape improvements
- Public land dedication and private park locations to complement proposed uses and road network
- A centrally located Village Center, which includes a mix of uses centered around the community’s feature park
- A range of complementary uses and intensities, providing diverse housing types and sizes to meet the individual character of each parcel and its context

The proposed ODP includes the following, in compliance with the above principles:

- A compact neighborhood that improves upon the walkability of the overall area, including connecting existing and future residents to the publicly accessible private parks as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections.
- A neighborhood plan that complies with the perimeter building and parking setbacks established in the Code, the PDP and the MODP.
- The inclusion of two publicly accessible parks (approximately 0.97-acres total) central to the neighborhood that include pedestrian connections for existing and future residents.
- Perimeter improvements to provide regional connections to the publicly dedicated land distributed throughout Uplands as well as the future Village Center located in Planning Area A(8).
- A neighborhood plan that considers the individual character of the parcel and its context, while providing housing types and sizes new to this community:
  - The plan meets or exceeds perimeter setback requirements
  - The proposed home types (single family detached and single family attached duplexes and townhomes) are designed to meet the individual character of the site as well as create a transition in density from the low-density single-family detached homes to the west to the future higher density homes to the east. The proposed ODP complements the mix of attached and detached homes proposed and approved to the north and south.



- Lot sizes that provide diverse housing types, housing prices and overall design to provide new for-sale ‘missing middle’ housing options with reduced water use for Westminster residents while increasing publicly accessible public spaces and maintaining view corridors.

Additionally, as shown in the table below, the proposed ODP is in conformance with the approved MODP.

	<b>Uplands MODP</b>	<b>Uplands PA-A(3) ODP</b>
Land Use	Residential (SFD alley-loaded, SFA alley-loaded)	Residential (SFD alley-loaded, SFA alley-loaded)
Gross Density Range	5.5-7.0 du/ac	6.3 du/ac
Maximum Unit Count, Type	141 maximum units (including maximum 136 SFD, 141 SFA)	127 proposed units (including 41 SFD, 86 SFA)
Publicly Accessible Private Park	4% of site area required in PA-A(3)	5.5% of site area provided in PA-A(3)
Conceptual Framework Plan: Access Locations	Maximum of 4 along Lowell Boulevard	Two access points are provided along Lowell Boulevard (West 85 <sup>th</sup> Avenue and West 86 <sup>th</sup> Avenue), consistent with the PDP and MODP.
Conceptual Framework Plan: Descriptions	<ul style="list-style-type: none"> <li>• Homes front public parks and open space to provide ‘eyes’ on the public space and help activate the park</li> <li>• Streets and walkways create a unifying circulation network that provides convenient routes to destinations in the neighborhood without forcing trips onto surrounding arterial streets</li> <li>• Narrow streets with on-street parallel parking slow traffic and enhance pedestrian circulation while providing guest parking</li> <li>• Alley-loaded garage allow homes to front on streets or open areas with connecting walkways while minimizing the views of garages from the street</li> <li>• Homes fronting on streets and public or private parks should enhance the pedestrian experience through architectural elements. These</li> </ul>	<ul style="list-style-type: none"> <li>• Homes front public parks and open space when possible to provide ‘eyes’ on the public space and help activate the park</li> <li>• Streets and walkways create a unifying circulation network that provides convenient routes to destinations in the neighborhood without forcing trips onto surrounding arterial streets</li> <li>• Narrow streets with on-street parallel parking slow traffic and enhance pedestrian circulation while providing guest parking</li> <li>• Alley-loaded garage allow homes to front on streets or open areas with connecting walkways while minimizing the views of garages from the street</li> <li>• Homes fronting on streets and public or private parks enhance the pedestrian experience through</li> </ul>

	<p>features may include, but are not limited to, at-grade or raised porches/patios, building entries, window features, window facades, balconies, stoops, and private on-lot open areas.</p> <ul style="list-style-type: none"> <li>• Private parks are distributed throughout the community and provide a more intimate community gathering space</li> <li>• Internal streets and walkways provide physical and visual connections to public and private parks</li> <li>• Street network consists of generally rectilinear blocks in a grid or interconnected pattern that is conducive to walking and biking. Block lengths are typically less than 700' (unless restricted by perimeter street access limitations, PLD or bisected by internal green courts or pedestrian corridors).</li> <li>• Curb extensions should be incorporated where feasible to minimize pedestrian crossing distances, where accepted by the Fire Department</li> </ul>	<p>architectural elements. These features may include, but are not limited to, at-grade or raised porches/patios, building entries, window features, window facades, balconies, stoops, and private on-lot open areas.</p> <ul style="list-style-type: none"> <li>• Private parks are distributed throughout the community and provide a more intimate community gathering space</li> <li>• Internal streets and walkways provide physical and visual connections to public and private parks</li> <li>• Street network consists of generally rectilinear blocks in a grid or interconnected pattern that is conducive to walking and biking, while accommodating existing and proposed grades. Block lengths are less than 700'.</li> <li>• Curb extensions are incorporated at the following intersection to minimize pedestrian crossing distances: West 85th Avenue and Irving Street, West 85th Avenue and Lowell Boulevard, West 86th Avenue and Irving Street, West 86th Avenue and Lowell Boulevard, and West 85th Place and Julian Street.</li> </ul>
<p>Building Form Diversity Requirements</p>	<p>Minimum three building forms</p>	<p>Three building forms are provided (SFD and SFA duplex and townhomes)</p>
<p>Home Type Diversity Requirements by Planning Area</p>	<p>Multi-family: n/a            Single Family Attached: minimum 75% of homes            Single Family Detached: max 25% of homes</p>	<p>Multi-family: n/a            Single Family Attached: 68% of homes*            Single Family Detached: 32% of homes*            *An exception to the MODP Home Type Diversity requirement is requested within the A(3) ODP see sheet 6 of the ODP. See Page 28 for further</p>

		details regarding this exception request.
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Finally, the proposed ODP is consistent with the Development Principles of the Design Guidelines for Traditional Mixed Use Neighborhood Development (TMUND).

<b>TMUND Development Principles</b>	<b>Uplands PA-A(3) ODP includes:</b>
<p><b>Compact Walkable Development:</b> Communities and towns historically have developed in a more compact manner with businesses, homes parks and civic uses in close proximity, easily walkable between destinations.</p>	<p>A compact neighborhood that improves upon the walkability of the overall area, including connecting existing and future residents to the future Village Center, the internal publicly accessible private park as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections. This compact development approach makes destinations easily walkable.</p>
<p><b>A Mixed Use “Village Center”:</b> With Retail/Office and a variety of housing providing ample opportunity for residents to live in a variety of housing types and to walk to shops and services, parks and open space.</p>	<p>Perimeter improvements to provide regional connections to the future Village Center located in Planning Area A(8). This provides opportunities for residents to live in a variety of housing types and bike to shops and services, parks and open space.</p>
<p><b>Pedestrian Oriented District:</b> Where pedestrians, bicycles and automobiles have equal opportunity to traverse the community with convenience and safety.</p>	<p>A compact neighborhood that improves upon the walkability of the overall area, including connecting existing and future residents to the future Village Center, the internal publicly accessible private park as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections. The street sections (as approved in the PDP and MODP) accommodate bikes and pedestrians and curb extensions are provided to minimize pedestrian crossing distances.</p>
<p><b>Interconnected Street/Block Patterns:</b> Which better integrates each area within a community and adjacent communities and projects, making driving, walking and biking more direct and convenient. This also disperses auto traffic onto a variety of streets and relies less on collector streets and arterial boulevards to get to shopping and businesses.</p>	<p>A gridded neighborhood plan that makes driving, walking and biking more direct and convenient. The plan also disperses auto traffic onto a variety of streets and relies less on collector streets and arterial boulevards to get to shopping and businesses.</p>
<p><b>Narrower Streets:</b></p>	<p>Street sections that are consistent with the approved PDP and MODP. These sections, many of which include on-street parallel parking, are</p>

<p>Designed for slow moving traffic, balancing the needs of auto circulation with the convenience and enjoyment of a walking community.</p>	<p>designed for slow moving traffic and balance the needs of auto circulation (as well as life safety and required utility configurations) with the convenience and enjoyment of a walking community.</p>
<p><b>Variety of Parks:</b> Range from the regional open space systems and community-wide large scale active recreation facilities to smaller neighborhood parks and tot lots. These become the identity and focus for individual neighborhoods as well as the larger Westminster community.</p>	<p>A neighborhood plan that is consistent with the Public Land Dedication sizes and locations identified in the PDP. As a whole, Uplands provides a range of park sizes. Within Parcel A, the MODP focused on the two large public land dedications with the balance provided as 4% publicly accessible private parks (defined as pocket/paseo parks, linear greenways, squares, green courts, alley parkettes, trail corridors and perimeter/passive open areas that highlight views and provide pedestrian amenities along walkways and for homes that front on connecting walkways rather than streets). The proposed parks include amenities such as a themed playground area, a shaded gathering space, bike amenities, active use lawn, sidewalk chalk plaza with view framing element, pocket library, and passive seating areas and pollinator gardens.</p>



4. Section 11-5-15(A)(4), W.M.C. provides the following condition of approval: *“For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.”*

The proposed ODP meets this standard because any exceptions from standard code requirements (including the PDP and MODP) are warranted by virtue of design or special amenities incorporated in the proposed ODP and are clearly identified on the proposed ODP.

The proposed ODP contains the development standards found in the Code, the PDP and the MODP, except as noted and justified in 11-4-15(A)(4) below. These exceptions are supported by the intentional flexibility provided in the PUD zone districts, which are intended to provide for more flexibility and design freedom than traditional zone districts. The exceptions align with the intent of the PUD zone district and are justified through that intent as well as adopted City plans and policies. These exceptions are necessary to comply with the vision for Uplands and provide much needed housing diversity within the City of Westminster. It has always been the intent that exceptions would need to be requested at time of site specific ODPs to comply with this vision. They also are consistent with best practices in neighborhood design in municipalities across the Front Range. Supporting documents include:

- 2013 Comp Plan – this plan includes a vision focused on providing a balanced housing mix and a land use goal to provide opportunities for a range of housing types and affordability to accommodate all incomes, lifestyle and age groups within the City.
- 2040 Comp Plan – this plan includes a cornerstone focused on providing a balanced mix of housing opportunities for a range of incomes, age groups, and lifestyle choices. It goes on to encourage sustainable design practices and to continue providing a variety of neighborhood types with a diversity of housing choices to serve a range of household sizes, compositions and needs.
- 2023 Housing Needs Assessment – this study includes recommendations to encourage “missing middle” and alternative housing expansion, which includes townhomes and duplexes as part of the housing mix. Additionally, the study notes that more flexible site design standards (specifically related to parking and setbacks) would likely encourage development.
- Code – the site is zoned PUD; per code, this zone district is intended to reflect maximum design freedom to fully utilize the physical characteristics of the site, to provide for diversification and flexibility in housing types, housing prices and overall design and to encourage higher quality development than possible under traditional standard zoning regulations.
- PDP – the approved PDP includes planning principles that encourage compact, walkable development along with diverse housing types and sizes.
- MODP – the MODP includes planning principles that encourage compact, walkable development along with diverse housing types and sizes.
- TMUND – TMUND includes development principles that note fundamental features and principles of traditional mixed-use neighborhoods, including compact walkable development, pedestrian-oriented district, interconnected street/block patterns, narrower streets and a variety of parks.

The exceptions are summarized and justified below (please refer to the detailed Official Development Plan set for additional details):

1. Off-street parking – an exception to WMC 11-7-4(B)(2)
  - Standard – SFA guest parking (1 space/3 units), SFD driveway parking (2 spaces/unit)
  - Exception – All home types feature a 2-car garage. Uplands A(3) homes do not offer driveway spaces. 254 parking spaces are provided through off-street enclosed garage spaces, 185 parking spaces are provided via internal on-street parallel spaces and off-street surface parking, for a total of 444 parking spaces provided. 365 parking spaces are required to be provided. Uplands exceeds the required number of spaces, but provides them through a combination of off-street garage spaces, off-street surface spaces and on-street (internal local roads) parallel spaces. An additional 30 spaces are provided along Lowell Boulevard, which are not included in this total.
  - Justification – This exception does not reduce the quantity of parking spaces provided, but simply allows for these spaces to be provided through a combination of off-street surface spaces and on-street spaces. This exception is supported by the following documents
    - 2013 Comp Plan – the proposed compact alley loaded homes increase housing diversity and improve upon the outdated suburban garage and vehicle-dominated home type that requires full length driveways.
    - 2040 Comp Plan – the proposed compact alley-loaded homes improve upon the outdated suburban garage and vehicle-dominated home type that requires full length driveways and provides opportunities for a range of housing types and affordability to accommodate all incomes, lifestyle and age groups within the city (LU-G-7). Further, the proposed use of off-street surface spaces and on-street spaces (located on internal local roads) to provide parking for the proposed townhomes complies with Table 3-5 of the urban multi-family development standards for townhomes which includes “tuck-under parking, with some on-street or surface parking” as a development characteristic, form and guideline for townhomes.
    - WMC – the proposed parking solution encourages ‘adequate parking for land uses in Westminster without creating excess vacant parking’ (11-7-4(d)); provides for ‘diversification and flexibility in housing types, housing prices, and overall design’ (11-4-7(B)) through the use of alley-loaded homes on smaller lots and provides on-street parking that adds natural friction to the street to slow traffic and encourage more pedestrian movements. The proposed alley-loaded design is consistent with a neo-traditional neighborhood where garages are only accessible from the alley rather than a standard suburban neighborhood. WMC code (11-7-4(b)(2)(a)(i)) specifically notes parking may be reduced for this type of neighborhood upon a finding that less parking is needed based upon the design of the development.

- MODP – The proposed parking solution provides on-street parallel parking to help slow traffic. Further, this aligns with the MODP by minimizing the views of garages from the street and minimizing conflicts with pedestrian and / or bicycle access within Uplands. These two design concepts influence the design away from homes with traditional driveways and front yards.
- TMUND – the proposed design aligns with TMUND by slowing traffic; on-street parallel parking adds natural friction to the street, which helps slow traffic and encourages more pedestrian movements.
- This exception is further supported by the parking letter included within the overall ODP submittal package.

2. Roof design – an exception to MODP Architectural Characteristics Table (Sheet 16 of 43)

- Standard – Single-family detached and single-family attached building forms shall provide roof pitch of 5 in 12 or greater on all buildings.
- Exception – Uplands provides a minimum roof pitch of 4 in 12 for minor roofs on all homes within A(3). The 5 in 12 requirement is met on all SFA and SFD main roofs.
- Justification – This lower roof pitch accommodates egress window requirements above the porches, in addition to helping create a more diverse streetscape.
  - WMC – this exception aligns with the WMC by providing for ‘diversification and flexibility...overall design’ (11-4-7(B)) through the use of minor modifications to the roof pitch to provide bedrooms with safe egress.

3. Lot size (setbacks and outdoor living area) – an exception to the Uplands MODP Building Form Characteristics Table (Sheets 17-18 of 43)

- Standards and Exceptions (vary, see table below)

	SFD		SFA Townhome	
	MODP	ODP	MODP	ODP
Front setback to main structure	14-feet	12-feet	-	-
Side (internal)	7-feet	5-feet	-	-
Side (corner)	14-feet	10-feet	-	-
Rear setback	5-feet	3-7-feet*	5-feet	3-feet
Lot depth	90-feet	67-feet	80-feet	69-feet

Outdoor Living Area	400 SF rear yard	A minimum of 401 SF of combined porches / decks / side yard space in lieu of rear yard	15-foot minimum depth rear yard.	A minimum of 140 SF of combined porches / decks / side yard space in lieu of rear yard
Rear Deck Size	-	-	8' x 15'	120 S.F. clear

\*Rear setbacks and lot depth vary due to utility locations

- Justification – this exception applies to the noted internal on-lot building setbacks noted in the MODP building form characteristics table; all perimeter building setbacks are met for the neighborhood. In place of rear decks and private yard areas, Uplands proposes a mix of porches/patios, decks and side/front yards to meet the same intent, but through a different application. The more compact alley-loaded homes at Uplands activate the adjacent streets through pedestrian friendly homes that engage the streets and adjacent public spaces with front-facing outdoor space and promote community interaction.
  - 2013 Comp Plan – This exception aligns with the 2013 Comp Plan to increase housing diversity, provide a density transition from existing homes and cluster housing while providing public land dedication. The proposed neighborhood includes more compact alley-loaded homes that improve upon the outdated suburban garage and vehicle-dominated home type that requires full length driveways and associated large turf lawn areas. The proposed layout creates a density transition by meeting all required perimeter building setbacks and only requesting setback reductions internal to the neighborhood. The proposed neighborhood clusters the homes internal to the site, allowing for large adjacent public land dedication within Parcel A. These reduced setbacks minimize the amount of land required to build the proposed homes and allow for larger publicly accessible private park spaces (5.5% provided – 4% is required) while providing meaningful alternative outdoor spaces.
  - 2040 Comp Plan – This exception aligns with the 2040 Comp Plan Sustainable Design Goal LU-6, which ‘encourages sustainable design practices and construction in all aspects of physical planning in the city, with a focus on site, landscape, and building design’. LU-6 includes the goal of promoting development that is walkable and features sustainable water use practices. The proposed design improves upon outdated suburban garages and vehicle-dominated homes by removing full length driveways in favor of alley-loaded homes, removing the emphasis from the garage and allowing for homes to connect to the pedestrian network. The proposed neighborhood also aligns with the goal of providing appropriate transitions between uses. The proposed transition in density achieved through clustering the development and meeting perimeter setbacks is supported by Goal HN-2 of the 2040 Com Plan.
  - WMC – This exception aligns with the WMC by providing for ‘diversification and flexibility in housing types, housing prices, and overall design’ through the use of more compact, alley-loaded homes on smaller lots (11-4-7(B)). The



reduced setbacks ‘encourage higher quality development’ by activating the adjacent streets through alley-loaded pedestrian friendly homes and promoting community interaction.

- 2023 Housing Needs Assessment – The 2023 study identified that housing is continuing to be more unattainable for potential homeowners. These more compact homes on smaller lots provide new “missing middle” housing options for Westminster residents at a lower relative cost than new SFD homes on larger lots that make up much of the City’s for-sale housing inventory. The study provides a recommendation to increase construction of “missing middle” housing, provide a variety of housing types (including townhome and duplex units), and allow for more flexible design standards, including parking and setbacks.
- TMUND – This exception aligns with TMUND by minimizing garage visibility; encouraging consistent street frontages; creating a pedestrian-oriented layout that enhances bike and pedestrian-safety and street activation; and providing private outdoor spaces through porches, including raised and covered porches, which are highly encouraged in TMUND.
- MODP – This exception aligns with the MODP by providing home and lot designs that enhance the pedestrian experience through architectural elements, including at-grade or raised porches/patios, building entries, balconies and stoops; and minimizing views of the garage from the street. Further, the MODP notes front setbacks should be studied at Site Specific ODP to form pedestrian-friendly streetscapes.
- Other – The reduced setbacks also align with city-wide goals and policies related to water and housing. The reduced lot sizes reduce the potential irrigated area of each lot, promoting responsible water use and lowering the community’s overall water footprint.

4. Amendment to MODP Requirements – Home Type Diversity Requirement by planning area (sheet 10)

- Standard - a minimum of 75% single-family attached and a maximum of 25% single-family detached home types.
- Exception – PA-A(3) consists of a minimum of 65% single-family attached homes and a maximum of 35% single-family detached homes. See amended MODP table below.
- Justification – This exception allows for, within PA-A(3), the minimum percentage of single-family attached homes to be 65% (less than the original allowed of 75%) and allows for the maximum percentage of single-family detached homes to be 35% (larger than the original allowed 25%). This change in percentage creates a difference of 9 units (there are 9 more single-family detached homes than previously allowed or 9 less single-family attached homes than previously allowed). This change is a result of design considerations needed for PA-A(3). In particular, grading for the site necessitated the use of single-family tuck-under homes to facilitate changes of grade across the site and create positive drainage within PA-A(3) and the larger Parcel A. The site layout proposed also complies with the intent of the MODP block typicals which call for different building forms within a given block in an individual planning area. To provide diversity within each block as well as the overall PA-A(3), the amount of single-family detached provided is 35%. The site layout provides a good mix of housing types, keeping in line with the intent of the MODP to provide home type diversity. Home type diversity is still maintained across the site with the proposed layout and the intent of the MODP is still met.

Home Diversity Requirements by Planning Area:

Planning Area	Minimum % Multi-Family	Minimum % Single-Family Attached	Minimum % Single-Family Detached
PA-A(1)	N/A	30%	70%
PA-A(2)	N/A	65%	35%
PA-A(3)	N/A	65%	35%
PA-A(4)	N/A	60%	40%
PA-A(5)	N/A	25%	75%
PA-A(6)	N/A	0%	60%
PA-A(7)	N/A	0%	100%
PA-A(8)	45%	0%	0%
<b>Overall Parcel A</b>	17%	30%	70%

5. Section 11-5-15(A)(5), W.M.C. provides the following condition of approval: *“The plan is compatible and harmonious with existing public and private development in the surrounding area.”*

The proposed ODP meets this standard because it is in conformance with the PDP, which established a framework that is compatible and harmonious with the existing public and private development in the surrounding area. The proposed neighborhood also complies with the framework and neighborhood concepts established in the MODP. PA-A(3) is part of the ‘Village Residential’ neighborhood of Uplands Parcel A. The MODP describes this as neighborhood that is a mix of alley-loaded single-family attached and single-family detached residential homes organized in a traditional grid framework that is punctuated by public and private parks and open spaces.

The proposed ODP depicts a neighborhood plan that considers existing public and private development in the surrounding area through the following design solutions:

- A compact neighborhood that improves upon the walkability of the overall area, including connecting existing and future residents to the nearby public land dedications, the internal publicly accessible private parks as well as to the regional sidewalk network. It further provides an internal looped network within the neighborhood for additional connections.
- A neighborhood plan that complies with the perimeter building and parking setbacks established in the Code, the PDP and the MODP.
- A neighborhood plan that considers and embraces the public land dedications to the north and northeast, by providing pedestrian connections for existing and future residents and homes that ‘front’ on the future park. The proposed ODP includes 0.97 acres of publicly accessible private parks (5.5% of site area) and provides the sidewalk and trail network outlined in the PDP and the Master Official Development Plan (MODP). The MODP identifies one conceptual park location, which is in alignment with one of the proposed park spaces. The second space is located centrally within the neighborhood and is connected to the other via amenitized open space.
- Perimeter improvements to provide regional connections to the future Village Center located in Planning Area A(8).
- A neighborhood plan that considers the individual character of the parcel and its context, while providing housing types and sizes new to this community:
  - The plan meets or exceeds perimeter setback requirements
  - The proposed home types (single family detached and single family attached duplexes and townhomes) are designed to meet the individual character of the site as well as create a transition in density from the low-density single-family detached homes to the west to the future higher density homes to the east. The proposed ODP complements the mix of attached and detached homes proposed and approved to the north and south.
  - Lot sizes that provide diverse housing types, housing prices and overall design to provide new for-sale ‘missing middle’ housing options with reduced water use for Westminster residents while increasing publicly accessible public spaces and maintaining view corridors.
  - Inclusion of a ‘perimeter sensitivity zone’ along Lowell Boulevard, limiting homes to duplex homes at a maximum of two-stories

6. Section 11-5-15(A)(6), W.M.C. provides the following condition of approval: *“The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.”*

The proposed ODP meets this standard because it is in conformance with the PDP and the MODP, except as noted and justified in 11-4-15(A)(4) above. It is also consistent with the Development Principles of the Design Guidelines for TMUND Design Guidelines.

Compliance with adopted plans and the PDP and MODP ensure the development is protected from potentially adverse surrounding influences and that the surrounding area is protected from potentially adverse influences from within the development include:

- Conformance with the Comprehensive Plan – the proposed ODP is consistent with the 2013 Comp Plan and 2040 Comp Plan land use designations, both of which allow SFD and SFA homes (among other land uses) up to 18 du/ac.
- Perimeter Setbacks – the proposed ODP complies with all perimeter building and parking setbacks established in the Code, the PDP and the MODP.
- Drainage – significant improvements to the drainage patterns and control are made with the proposed neighborhood. In the existing condition, stormwater and runoff from the site sheet flows on to Lowell Boulevard and ultimately sheet flows down Shaw Boulevard. The proposed ODP modifies the site’s grading/terrain to keep developed runoff on-site, then utilizes swales, curb and gutter, inlets, and underground infrastructure to convey runoff to a detention pond to treat and attenuate stormwater runoff from the property. The detention pond and its outfall are part of the approved master “backbone infrastructure”. The proposed ODP assumes construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
- Circulation – The proposed ODP is consistent with the overall general street framework conceptualized in the MODP. Further, four access points are provided with this ODP - one along West 85th Avenue, and three along West 86<sup>th</sup> Avenue, consistent with the PDP and MODP.
- Building Height – the proposed ODP is consistent with the PDP and MODP, which include maximum building heights of 40-feet. The proposed ODP includes three-story single-family homes, two-story tuck-under single-family homes, two-story duplex homes and two-story townhomes; the ODP notes a maximum height of 40-feet.
- Framework Plan – the proposed ODP is consistent with the framework plan included in the MODP. This includes a gridded neighborhood plan that makes driving, walking and biking more direct and convenient. Key design elements include:
  - Homes front public parks and open space where possible to provide ‘eyes’ on the public space and help activate the park
  - Streets and walkways create a unifying circulation network that provides convenient routes to destinations in the neighborhood without forcing trips onto surrounding arterial streets



- Narrow streets with on-street parallel parking slow traffic and enhance pedestrian circulation while providing guest parking
- Alley-loaded garages allow homes to front on streets or open areas with connecting walkways while minimizing the views of garages from the street
- Homes fronting on streets and public or private parks enhance the pedestrian experience through architectural elements. These features may include, but are not limited to, at-grade or raised porches/patios, building entries, window features, window facades, balconies, stoops, and private on-lot open areas.
- Private parks are distributed throughout the community and provide a more intimate community gathering space
- Internal streets and walkways provide physical and visual connections to public and private parks
- Street network consists of generally rectilinear blocks in a grid or interconnected pattern that is conducive to walking and biking, while accommodating existing and proposed grades. Block lengths are less than 700’.
- Curb extensions are incorporated to minimize pedestrian crossing distances.

7. Section 11-5-15(A)(7), W.M.C. provides the following condition of approval: *“The plan has no significant adverse impacts on future land uses and future development of the immediate area.”*

The proposed ODP meets this standard because, in compliance with the PDP and MODP, it identifies and includes substantial infrastructure improvements both within and surrounding the proposed neighborhood. These improvements benefit future land uses, potential future development of the immediate area and the existing neighboring community. The proposed ODP does not have significant adverse impacts on existing or future land uses nor upon the future development of the immediate area.

These substantial infrastructure improvements provided by Uplands include:

- Water – the proposed water improvements strengthen and enhance the existing water network. These improvements complete the water network for the area and bring it up to the latest standards and specifications. Sufficient water infrastructure and fire hydrants are provided throughout the proposed neighborhood to service and meet the required fire flow demands of the site. Multiple connections are made to the designed and approved “backbone infrastructure”. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
- Stormwater Management / Drainage – The proposed ODP modifies the site’s grading/terrain to keep developed runoff onsite, then utilizes swales, curb and gutter, inlets, and underground infrastructure to convey runoff to a detention pond to treat and attenuate stormwater runoff from the property. The detention pond and its outfall are part of the master “backbone infrastructure”. The detention pond and its underground outfall within Shaw Boulevard will improve the conditions downstream by reducing the flow rate and conveying the attenuate runoff underground, as opposed to the existing conditions where the higher flow rate is conveyed overland within Shaw Boulevard. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
- Sanitary Sewer – the proposed sanitary improvements strengthen and enhance the existing sanitary sewer network. These improvements complete the sanitary sewer network for the ODP and accommodate upstream development of future planning areas. Sufficient sanitary sewer infrastructure is provided throughout the proposed neighborhood to meet the proposed demands of the site and future tributary development. The sanitary sewer systems outfalls into the designed “backbone infrastructure”. The onsite and “backbone” infrastructure is designed to the latest standards and specifications. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
- Roadways – Local roadway connections are made to West 85th Avenue and West 86<sup>th</sup> Avenue. All streets are part of the designed “backbone infrastructure”. The proposed local roadways (King Street, Julian Court, Julian Street and West 85<sup>th</sup> Place) are sufficient to meet the traffic demands of the proposed ODP. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.

8. Section 11-5-15(A)(8), W.M.C. provides the following condition of approval: *“The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.”*

The proposed ODP meets this standard because it is in conformance with the PDP and the MODP, except as noted and justified in 11-4-15(A)(4) above. As explained below, the plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.

The proposed neighborhood plan was designed to work from the outside in. As stated above, the neighborhood plan complies with the PDP and MODP. Perimeter building and parking setbacks were established in the PDP and MODP and are met with this proposed design. The proposed gridded street network was designed to be consistent with the Framework Plan provided in the MODP and align with the Village Residential Design Concepts, including:

- A street network consisting of generally rectilinear blocks in a grid or interconnected pattern that is conducive to walking or bike while accommodating existing and proposed grades
- Block lengths less than 700’ in length
- Homes that front on streets and public or private parks or open space to enhance the pedestrian experience through architectural elements.
- Thoughtful build-to lines and front setbacks that form pedestrian friendly streetscapes
- Alley-loaded garages that minimize the views of garages from the street
- Streets with on-street parking and curb extensions to help slow traffic and minimize pedestrian crossing distances

The proposed homes were laid out to celebrate publicly accessible and/or visible spaces – homes front streets (internal and perimeter) and parks/open spaces to keep eyes on and engage these public spaces while promoting community interaction. The proposed structures are placed on the lots to balance the incorporation of private outdoor spaces with reduced water use and home prices. The proposed lot configurations ensure each homeowner has a variety of private outdoor spaces that are usable without a focus on heavy turf usage.

9. Section 11-5-15(A)(9), W.M.C. provides the following condition of approval: *“Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.”*

The proposed Official Development Plan meets this standard because the building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice, and meet the Code, PDP and MODP, except as noted and justified in 11-4-15(A)(4) above.

- Building height – the maximum proposed building heights comply with the PDP and MODP - a 40-foot maximum building height is proposed in this ODP, matching what is permitted in the PDP and MODP.
- Bulk, setbacks and lot size – these are met except where specifically noted as exceptions. These exceptions are justified as follows:
  - Minimize impact to adjacent neighborhoods – all perimeter building and parking setbacks are met for the neighborhood. While on-lot setbacks are reduced, a thoughtful transition to existing neighborhoods is provided through perimeter setbacks that comply with the PDP and MODP.
  - These exceptions are supported by the following documents and policies:
    - 2013 Comp Plan – this exception aligns with the 2013 Comp Plan to increase housing diversity, provide a density transition from existing homes and cluster housing while providing public land dedication. The proposed neighborhood includes more compact alley-loaded homes that improve upon the outdated suburban garage and vehicle-dominated home type that requires full length driveways and associated large turf lawn areas. The proposed layout creates a density transition by meeting all required perimeter building setbacks and only requesting setback reductions internal to the neighborhood. The proposed neighborhood clusters the homes internal to the site, allowing for large adjacent public land dedication within Parcel A. These reduced setbacks minimize the amount of land required to build the proposed homes and allow for larger publicly accessible private park spaces while providing meaningful alternative outdoor spaces.
    - 2040 Comp Plan – this exception with the 2040 Comp Plan Sustainable Design Goal LU-6 which ‘encourages sustainable design practices and construction in all aspects of physical planning in the city, with a focus on site, landscape, and building design’. LU-6 includes the goal of promoting development that is walkable and features sustainable water use practices. The proposed design improves upon outdated suburban garages and vehicle-dominated homes by removing full length driveways in favor of alley-loaded homes, removing the emphasis from the garage and allowing for homes to connect to the pedestrian network.
    - Code – this exception aligns with the Code by providing for ‘diversification and flexibility in housing types, housing prices, and overall design’ (11-4-7(B)) through the use of more compact, alley-loaded homes (diversity and flexibility in housing types) on smaller lots (diversity and flexibility in housing prices). The reduced setbacks ‘encourage higher quality development’ (11-4-7(B)) by activating the adjacent streets through alley-loaded pedestrian friendly homes and



variety of private outdoor spaces that engage the streets and adjacent public spaces and promote community interaction.

- MODP – this exception aligns with the MODP by providing home and lot designs that enhance the pedestrian experience through architectural elements, including at-grade or raised porches/patios, building entries, balconies and stoops; and minimizing views of the garage from the street. Further, the MODP notes front setbacks should be studied at Site Specific ODP to form pedestrian-friendly streetscapes.
  - TMUND – this exception aligns with TMUND by minimizing garage visibility; encouraging consistent street frontages; creating a pedestrian-oriented layout that enhances bike and pedestrian-safety and street activation; and providing private outdoor spaces through porches, including raised and covered porches, which are highly encouraged in TMUND.
  - Other – the reduced setbacks also align with city-wide goals and policies related to water and housing. The reduced lot sizes reduce the potential irrigated area of each lot, promoting responsible water use and lowering the community’s overall water footprint. Additionally, the 2023 Housing Needs Assessment identified that housing is continuing to be more unattainable for potential homeowners – these more compact homes on smaller lots provide new ‘missing middle’ housing options for Westminster residents at a lower relative cost than new SFD home on larger lots that make up much of the City’s for-sale housing inventory or would be required to comply with this standard. The needs assessment includes a recommendation to increase construction of ‘missing middle’ housing, provide a variety of housing types (including townhome and duplex units), and allow for more flexible design standards, including parking and setbacks.
- Lot coverage – the only specific lot coverage requirement is that publicly accessible private parks and open space must cover at least 4% of the site. This requirement is met – the proposed ODP provides for publicly accessible private parks and open space on 5.5% of the site.

10. Section 11-5-15(A)(10), W.M.C. provides the following condition of approval: *“The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.”*

The proposed ODP meets this standard because it is consistent with the MODP, except as noted and justified in 11-4-15(A)(4) above.

### Architectural Characteristics by Building Form Types

<b>Single-Family Detached</b>	
<p><b>Masonry:</b> SFD building forms shall provide masonry on an average 30% of non-window/door surfaces on the front and other public facing elevations (i.e. park or street)</p>	<p>All SFD models include asphalt composition architectural grade roofing and a variety of high-quality wall materials including stone, siding and decorative window trim on all four sides that reflect the architectural style of the model. All SFD homes have a minimum average of 30% masonry on the front of the home and public facing side elevations.</p>
<p><b>Roof Pitch:</b> SFD building forms shall provide roof pitches of 5 in 12 or greater. Roof top patios are allowed and exempt from this requirement.</p>	<p>All SFD models include roof pitches of 5 in 12 or greater except for secondary (minor) roofs.</p>
<p><b>Anti-Monotony:</b> SFD building forms shall comply with the City’s anti-monotony criteria</p>	<p>All SFD models meet two of four criteria for anti-monotony, which include different and purposeful roof forms / lines / profiles and different entry treatments. Also, all models include a diverse mix of architectural styles that help reflect construction traditions and features along the front range, which include craftsman, farmhouse, shingle, prairie, contemporary and Scandinavian architectural styles. Finally, five distinct SFD models are provided to help provide a unique visual variety and a diverse streetscape.</p>
<b>Single-Family Attached</b>	
<p><b>Masonry:</b> SFA building forms shall provide masonry on an average 50% of non-window/door surfaces on all elevations</p>	<p>All SFA (duplexes and townhomes) models include asphalt composition architectural grade roofing and a variety of high-quality wall materials including stone, siding and decorative window trim on all four sides that reflect the architectural style of the model. All SFA homes (duplex and townhomes) have a minimum average of 50% masonry on all four sides of the homes.</p>
<p><b>Roof Pitch:</b> SFA building forms shall provide roof pitches of 5 in 12 or greater. Roof top patios are allowed and exempt from this requirement.</p>	<p>All SFA models include roof pitches of 5 in 12 or greater except for secondary (minor) roofs.</p>
<p><b>Anti-Monotony:</b></p>	<p>All SFA (duplexes and townhomes) models meet two of four criteria for anti-monotony, which</p>

<p>SFA building forms shall comply with the City’s anti-monotony criteria</p>	<p>include different and purposeful roof forms / lines / profiles and different entry treatments. Also, all models include a diverse mix of architectural styles that help reflect construction traditions and features along the front range, which include craftsman, farmhouse, shingle, prairie, contemporary and scandinavian architectural styles. Finally, six distinct SFA models are provided between duplexes and townhomes to help provide a unique visual variety and a diverse streetscape.</p>
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### Building Form Characteristics: Design Elements

<b>Single-Family Detached and Single-Family Attached (Duplexes and Townhomes)</b>	
<p><b>Garage Location:</b> All homes shall be alley loaded to minimize garage visibility from the street.</p>	<p>All homes are alley loaded.</p>
<p><b>Frontage Treatment:</b> Homes fronting on streets and public or private parks or open spaces should enhance the pedestrian experience through architectural elements.</p>	<p>The homes include architectural detailing such as window trim details, gable end treatments and purposeful variations of roof forms on any elevation that fronts streets and public or private parks or open spaces. All front elevations have front doors and porches to enhance the pedestrian experience. Also, the side elevations enhance the pedestrian experience by including a minimum of 30% masonry.</p>
<p><b>Pedestrian Access:</b> Primary entry feature must be located along street or green court.</p>	<p>All homes feature a primary entry feature located along a street or green court.</p>

11. Section 11-5-15(A)(11), W.M.C. provides the following condition of approval: *“Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.”*

The proposed ODP meets this standard because fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.

- Fences – 6’ privacy fences are included on each individual SFD and Duplex lot, as noted in the ODP.
- Walls – No screen walls are required or provided within the ODP. Retaining walls are provided within the proposed neighborhood where necessary and are utilized to create accessible and usable amenity spaces.
- Vegetative screening – no vegetative screening is provided.

All property lines are designed to not require fences, walls or vegetative screening as these edges front public streets. The proposed design activates these spaces through alley-loaded pedestrian-friendly homes that engage the streets and adjacent public spaces and promote community interaction. This is consistent with the intent of TMUND, which notes that where new neighborhoods abut major streets, land uses, building types and site planning should be sited to connect with the street, eliminating the need for soundwalls and providing a high-quality view of the neighborhood.



**12.** Section 11-5-15(A)(12), W.M.C. provides the following condition of approval: *“Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.”*

The proposed ODP meets this standard because the landscape regulations are met, except as noted and justified in 11-4-15(A)(4) above.

The overall landscape plan is designed to engage and activate public spaces on all street frontages and to balance the creation of community gathering and play areas with thoughtful water use.

The proposed landscape plan complies with the landscape character as described in the approved PDP and MODP by utilizing xeric plant material and limiting turf to only those areas designated as active play areas. All tree lawns consist of low water use shrub material, low water use turf blends and/or native seed instead of high-water use turf. The landscape design is focused on creating pollinator corridors throughout the site by way of species selection and linked green spaces.

As noted in the proposed ODP, the following landscape requirements are met or exceeded:

- High water turf areas cover less than 5% of the neighborhood (compared to the 20% allowed)
- Publicly accessible public park area is exceeded (4% of total site area is required; 5.5% is provided)

13. Section 11-5-15(A)(13), W.M.C. provides the following condition of approval: *“Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.”*

The proposed ODP meets this standard because, consistent with the PDP, the MODP and Master Traffic Impact Study (TIS), the development is designed so that existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity. These design features include the following:

- PDP and MODP – Street Sections
  - Perimeter and backbone streets – the approved MODP includes street sections for Lowell Boulevard, West 85th Avenue, Irving Street, and West 86th Avenue, all of which are part of the designed approved “backbone infrastructure”. The “backbone infrastructure” is outlined in the approved PDP and MODP and is currently being constructed.
  - Local streets – the proposed ODP includes a local street section that is consistent with the local street section provided in the PDP and MODP.
  - Alleys – the proposed ODP includes alley sections that are generally consistent with the alley sections provided in the PDP (both plans include sections with 20-foot or 26-foot pavement sections and the inclusion of 30-foot access and utility easements). The minimum building to building dimensions proposed in the ODP exceed the dimension noted in the PDP in order to comply with requirements provided by the Westminster Fire Department to ensure aerial apparatus access to the proposed homes.
- PDP and MODP– Phasing Plan
  - To comply with the PDP and MODP Phasing Plan, multiple vehicular access points are proposed for the neighborhood. Connections (King Street, Juliana Court, Juliana Street and West 85<sup>th</sup> Place) are made to West 85th Avenue and West 86th Avenue, which are part of the approved “backbone infrastructure”. The “backbone infrastructure” is outlined in the approved PDP and MODP and is currently being constructed.
  - To comply with the PDP and MODP Phasing plan, the ODP assumes construction of water, sanitary sewer, storm drain, and detention pond and its outfall that makes up the approved “backbone infrastructure”, which is currently underway.
- Master Traffic Impact Study
  - The traffic conformance letter submitted with the proposed ODP projects this neighborhood complies with the approved Master Traffic Impact Study, such that all PA-A(3) generated trips will be at or below the limits specified within the Master Traffic Impact Study.

14. Section 11-5-15(A)(14), W.M.C. provides the following condition of approval: *“Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.”*

The proposed ODP meets this standard because, consistent with the PDP and MODP, streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic. These design features include the following:

- Streets – as described in 11-5-15(A)(13) above, the proposed street sections are generally consistent with the street sections proposed in the PDP and MODP. The proposed streets include on-street parking, which adds natural friction to the street to slow traffic and encourage more pedestrian movements.
- Access points – the proposed access points are consistent with the access locations identified in the PDP and MODP. The ODP is accessed from West 85th Avenue, and West 86th Avenue, which to a great extent are accessed from Lowell Boulevard and Irving Street, as outlined in the approved PDP and MODP. The proposed ODP assumes construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
- Turning movements – all proposed turning movements in and out of the proposed neighborhood comply with the approved Master Traffic Impact Study.

15. Section 11-5-15(A)(15), W.M.C. provides the following condition of approval: *“Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.”*

The proposed ODP meets this standard because, consistent with the PDP and MODP, it includes significant pedestrian improvements that are designed to create a logical, safe and convenient system between proposed structures and off-site destinations which are likely to attract substantial pedestrian traffic.

The existing conditions around Planning Area A(3) include very limited sidewalks that do not create a logical, safe and convenient system. The 2017 Westminster Mobility Action Plan identified gaps in the sidewalk network along Lowell Boulevard (and the balance of Parcel A). Accordingly, the proposed ODP (or infrastructure package currently in review) include the following trail and sidewalk improvements:

- Adding a 10-foot walk and 6-foot tree lawn on the east side of Lowell Boulevard (part of the approved overall Uplands infrastructure package)
- Adding 8-foot walks and 6-foot tree lawns on West 85th Avenue, and Irving Street (part of the approved overall Uplands infrastructure package)
- Adding 5-foot walks and 6-foot tree lawns on local streets, including West 86<sup>th</sup> Avenue, West 85<sup>th</sup> Place, King Street, Julian Court, and Julian Street
- Adding internal sidewalk connections:
  - Looped networks within the publicly accessible private parks and around the detention pond
  - Minor internal circulation routes connecting residents to the publicly accessible private parks and perimeter circulation routes

The proposed pedestrian circulation network provides missing or improved perimeter improvements (along Lowell Boulevard) and internal improvements connecting existing and future residents to the public land dedication, the publicly accessible private parks, the regional sidewalk network as well as the balance of the Uplands mixed-use community.



16. Section 11-5-15(A)(16), W.M.C. provides the following condition of approval: *“Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.”*

The proposed Official Development Plan meets this standard because it is consistent with the PDP, MODP, Uplands Master Utility Study, and Phase III Drainage Report.

- PDP Phasing Plan, MODP Phase Plan, Master Utility Study, Phase I Drainage Report, and Parcel A Phase II Drainage Report
  - Water – the proposed water improvements strengthen and enhance the existing water network. These improvements complete the water network for the area and bring it up to the latest standards and specifications. Sufficient water infrastructure and fire hydrants are provided throughout the proposed neighborhood to service and meet the required fire flow demands of the site and comply with the Master Utility Study. Multiple points of water connection to the “backbone infrastructure” are provided for the neighborhood to facilitate water circulation. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
  - Sanitary Sewer – the proposed sanitary improvements strengthen and enhance the existing sanitary sewer network. These improvements complete the sanitary sewer network for the ODP, accommodate upstream development of future planning areas and comply with the Master Utility Study. The sanitary sewer systems outfall into designed “backbone infrastructure”. The onsite and “backbone” infrastructure is designed to the latest standards and specifications. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.
  - Stormwater Management / Drainage – the proposed ODP modifies the site’s grading/terrain to keep developed runoff onsite, then utilizes swales, curb and gutter, inlets, and underground infrastructure to convey runoff to a detention pond to treat and attenuate stormwater runoff from the property. The detention pond and its outfall are part of the master “backbone infrastructure”. The detention pond and its underground outfall within Shaw Boulevard will improve the conditions downstream by reducing the flow rate and conveying the attenuate runoff underground, as opposed to the existing conditions where the higher flow rate is conveyed overland within Shaw Boulevard. The proposed ODP assumes the construction of the “backbone infrastructure” outlined in the approved PDP and MODP, which is currently underway.

**17.** Section 11-5-15(A)(17), W.M.C. provides the following condition of approval: *“The applicant is not in default or does not have any outstanding obligations to the City.”*

The proposed ODP meets this standard because the applicant is neither in default nor has any outstanding obligations to the City.

Attachment 5  
Public Comments  
Received as of  
January 5, 2024

## Kasza, Jacob

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**From:** Kathy <kathy@elkco.net>  
**Sent:** Monday, July 1, 2024 11:37 AM  
**To:** Kasza, Jacob  
**Subject:** [EXTERNAL] Question regarding Uplands A3 & D1

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon

Will this development be made up of homes for sale or rent?  
Thank you in advance for your assistance and have a great day!

*Kathy Bagby*  
*Office Manager/Executive Assistant*



Elkco Properties  
999 S Logan St Suite 300  
Denver, CO 80209

W 303 778-0380  
F 303 778-0299





## WESTMINSTER

Agenda Memorandum

Agenda Item 3c

### Planning Commission Meeting January 14, 2024



**Access to Opportunity:** Advance access to opportunity and prosperity for all in Westminster through diverse housing choices, increased mobility options, safe and walkable neighborhoods, and strong social networks.



**Economic Vitality:** Promote and support a resilient economy that attracts and retains a diversity of businesses, workers, and industries, expands living wage jobs, and diversifies the City's tax base.

**SUBJECT:** Public Hearing and Recommendation: Clean-up amendments to the 2040 Comprehensive Plan

**PREPARED BY:** Andrew Spurgin, AICP; Principal Planner

#### **RECOMMENDED ACTION:**

1. Hold a public hearing.
2. Recommend that City Council approve an ordinance amending the 2040 Comprehensive Plan.

#### **SUMMARY STATEMENT:**

- The 2040 Comprehensive Plan (the Plan) was adopted on March 27, 2023.
- The Plan is meant to be “a living document” that is updated to remain relevant and realistic to guide the community’s physical development.
- This package of amendments is intended to function as a “clean-up” to the Plan document with minor updates and corrections identified during the first two years since Plan adoption.
- The minor updates and corrections include the addition of recent annexations to the Plan’s map products, corrections and additions to defined terms, and other modifications to senior

housing provisions to accommodate the findings and recommendations of the recent Housing Needs Assessment.

**FISCAL IMPACT:**

\$0 in expenditures.

**SOURCE OF FUNDS:**

Not applicable.

**POLICY ISSUE(S):**

Should Planning Commission recommend approval of the clean-up amendments presented to the 2040 Comprehensive Plan?

**ALTERNATIVE(S):**

Planning Commission could choose to not recommend the clean-up amendments. Staff do not recommend this option because these strategic and targeted amendments will ease usability of the Plan document and ensure transparency between Staff's interpretations of the Plan and how it will be used moving forward.

**BACKGROUND INFORMATION:**

The 2040 Comprehensive Plan (the Plan) was adopted on March 27, 2023 organized around four Plan Cornerstones: Thriving City, Healthy Places, Great Neighborhoods, and Managed Growth. The Plan responds to challenges facing the community, identifies solutions, and provides guidance on planning-related decisions. The goal and policy framework of the Plan is housed in Chapters 2 through 8.

Chapter 1 of the Plan, titled Introduction and Vision, states *"The Plan is intended to be a living document that City Staff, elected officials, and community partners use to drive the City towards its vision."* Chapter 9 of the Plan, titled Plan Administration, states *"City Council and [the] Planning Commission may review, identify, and adopt amendments to the Comprehensive Plan throughout its planning horizon so that current issues continue to be addressed and to ensure that the Plan provides a realistic guide for the community's future growth."* W.M.C. 11-3-2 (A) establishes procedures for City-initiated amendments to the Comprehensive Plan, to include a referral to the Planning Commission for public hearing prior to consideration by City Council in a public hearing.

In the two years since adoption of the Plan, Staff have identified minor corrections needed to support interpretation of the Plan document, align technical provisions with City business practices, and the need to update maps within the Plan reflecting previously approved annexations and Open Space designations. The only annexations and land use amendments approved by City Council in these first

two years were for Open Space properties. Other amendments include corrections to definitions and additional definitions in the Plan Glossary in Appendix B.

Several of the amendments address senior housing provisions, which is a need identified in the recent Housing Needs Assessment. Chapter 7, Goal HN-4 states “*Continue Westminster’s tradition as a caring community by ensuring housing options for seniors and residents with special needs.*” Of importance to the Plan and land use decisions is Policy 4.4, which states “*Locate senior housing within residential areas to provide proximity to generations to support seniors and at locations with close proximity to senior services, medical facilities, and public facilities such as libraries.*” Strict application of the Plan’s land use designations, however, may make senior housing challenging to develop at the locations supported by Policy 4.4. For this reason, several amendments are proposed to remove locational limitations on placement of senior housing. Note these amendments change text within the Plan document to enable more efficient review of future senior housing proposals, however no land use map changes are proposed through this action.

Regarding the Plan’s map products, updates are needed to reflect expansion of the City’s Open Space system. City Council previously approved the annexations and Plan designation of Open Space through individual ordinances on April 24, 2023, for the Brauch, Bushnell, Diekmann, Federal Boulevard South, and Mosko Court properties, cumulatively 23.45 acres. From a legal standpoint these ordinances have already amended the Plan to reflect this action, however the clean-up amendments presented herein will formally display those previously approved actions within the published Plan document. No other map changes are proposed with these amendments.

All amendments are shown in Attachment 1 in markup form on the existing Plan document. Substantive amendments to the Plan may be necessary in the future, but the intention of these clean-up amendments is to focus on minor operational provisions to ensure transparency in the administration of the Plan.

Notice of public hearings scheduled before the Planning Commission was published and posted at least ten days prior to such hearing. Notice of public hearing was published in the *Westminster Window* by the required deadline.

### **STRATEGIC PLAN PRIORITIES:**

The City’s Strategic Plan priority of Access to Opportunity is met by clarifying the Plan’s provisions for senior housing. The priority of Economic Vitality is met by updating the Plan to ensure employment land uses are properly defined.

Respectfully submitted,



John McConnell, AICP

Planning Manager

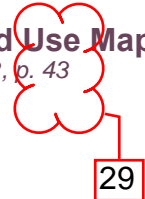
**ATTACHMENTS:**

Attachment 1: Clean-up Amendments



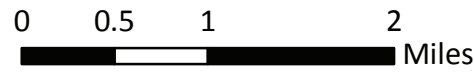
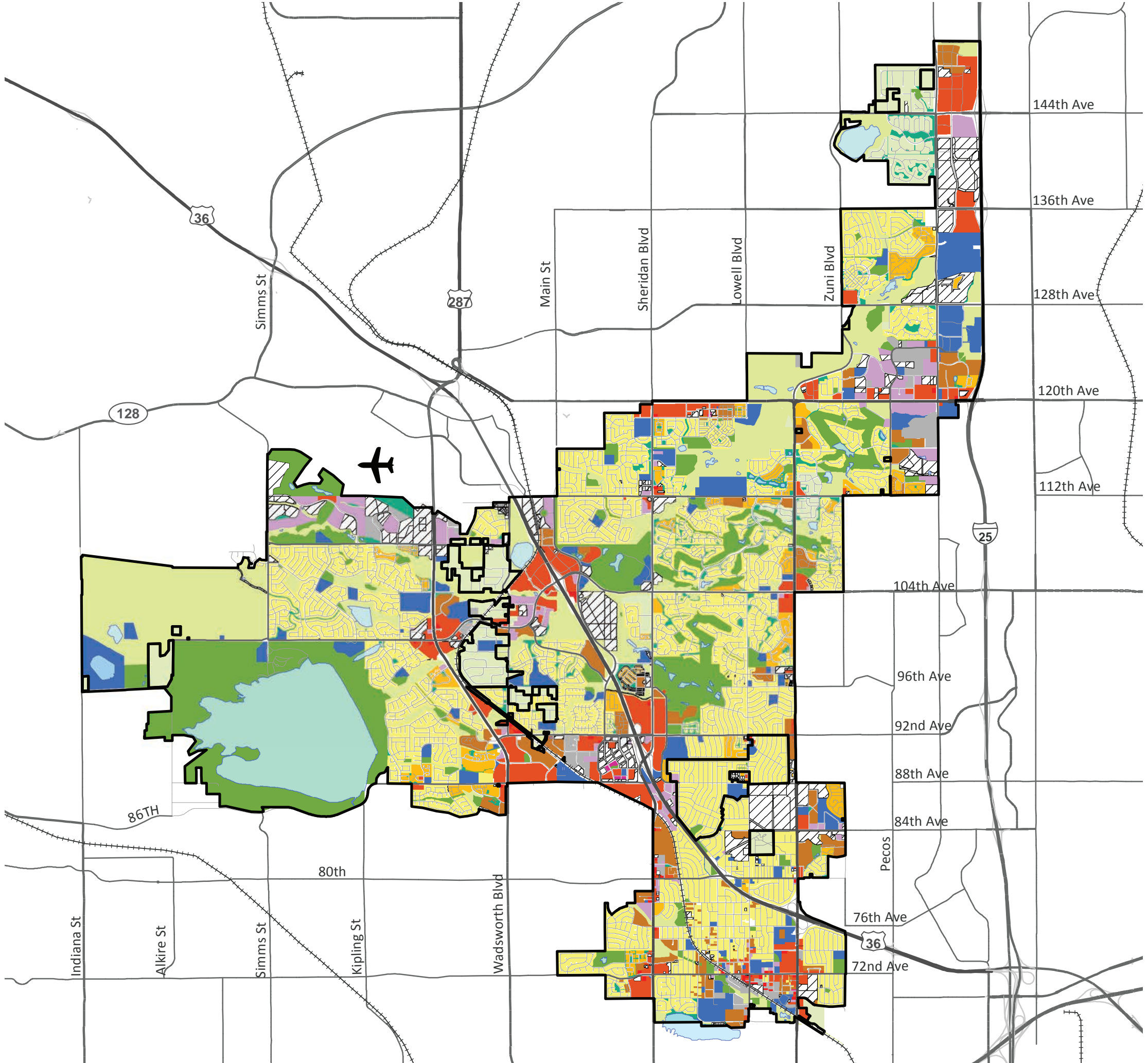
Update boundaries to reflect April 24, 2023 annexations

Map 3-1. Existing Land Use Map  
For future land use see Map 3-2, p. 43



Legend

- Very Low Density Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Mixed-Use
- Office
- Retail Commercial
- Service Commercial
- Industrial
- Public / Institutional
- Open Space
- Parks and Recreation
- Private Park / Private Open Space
- Vacant
- Highway
- Major Roads
- Local Roads
- Railroad
- Water
- Westminster



to be dedicated

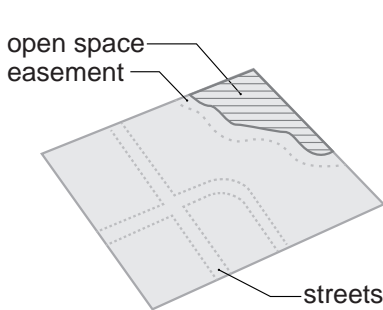
## DENSITY AND INTENSITY

The Comprehensive Plan establishes density and intensity expectations for each land use character type. Residential densities are expressed as dwelling units (DU) per gross acre (DU/AC), including land for public streets, storm drainage, and other rights of way or dedications. This does not include land located within a designated 100-year floodplain. It is noted that while consideration has been given to general known constraints in the Land Use Diagram, the particular uses and densities on a site may be limited due to specific site constraints such as topography, drainage patterns, floodplains, required rights-of-way, water supply, sewer impact, the city’s adopted design standards, public land dedication, or other public improvements.

To address the city’s varied housing needs, three avenues are provided that modify provisions of the land use character types.

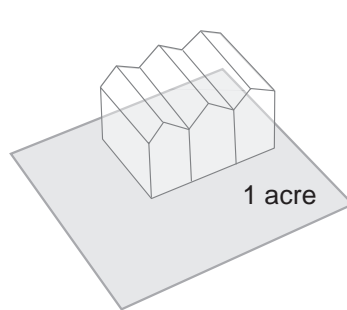
1. Accessory dwelling units (ADU) may be permitted on single-family lots, subject to applicable provisions of the Development Code and PUD for a given location. The ADU shall be considered accessory to the primary dwelling unit and, therefore, will not add to the number of units tabulated for purposes of maximum density.
2. Special needs or congregate senior housing facilities with beds rather than individual housekeeping units with kitchens may calculate density at a ratio of 2.5 beds per one dwelling unit. For example a 4-acre site with a character type that allows 18.0 units per acre could be allowed a congregate care facility with 180 beds or 72 individual housekeeping units. 2.0
3. Employment land uses may include an internally housed caretaker unit when subordinate to the primary employee. 144

A maximum permitted floor area ratio (FAR) is specified for mixed-use and non-residential uses. FAR expresses the ratio of total building square footage to land square footage. For example, an FAR of 2.0 means that for every square foot of land, a developer may build two square feet of building space. Where an FAR is specified for mixed-use classifications, the FAR applies to both residential and non-residential building space, excluding basements, structured or surface parking. Similar to residential densities, maximum FARs may not be achievable due to site constraints. Basement level space is not included in FAR calculations.



### Gross Site Acreage/Area

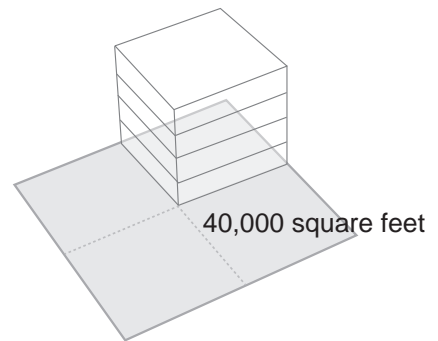
The gross site acreage (or area) encompasses the entire site, including area dedicated for open space, streets, and public easements, as illustrated above. The full acreage of the site (gray area above) is used in the calculation of density or FAR.



### Density

$$\frac{\text{Dwelling Units}}{\text{Total Site Acres}} = \frac{3 \text{ DU}}{1 \text{ acre}}$$

Shown above, 3.0 DU/AC, where 3 dwelling units (DU) sit on one acre of gross site acreage.



### Floor Area Ratio (FAR)

$$\frac{\text{Total Building Area}}{\text{Total Site Area}} = \frac{40,000 \text{ square feet}}{40,000 \text{ square feet}}$$

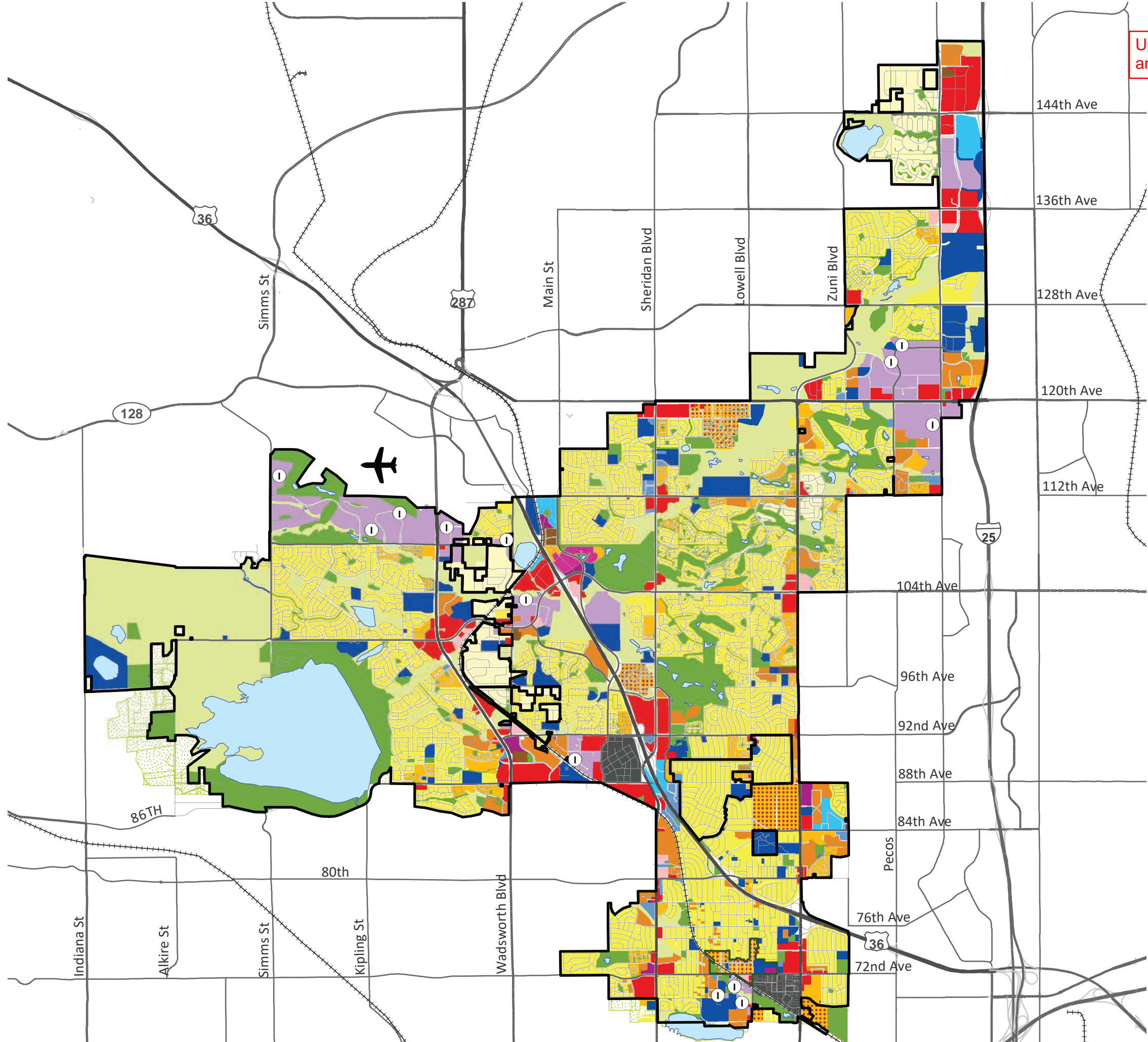
Shown above, an FAR of 1.0 where a building with 4 floors of 10,000 square feet each (40,000 square feet total) sits on a parcel of 40,000 square feet gross site area.

to be

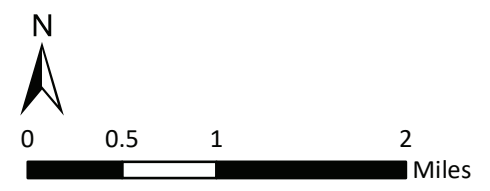


Update boundaries to reflect April 24, 2023 annexations and add open space designations

Map 3-2. Land Use Diagram



- Residential Large Lot
- Residential Low Density
- Residential Medium Density
- Suburban Multi-Family
- Urban Multi-Family
- Mixed-Use Neighborhood
- Specific Area Plan
- Employment-Flex
- Neighborhood Office
- Employment-Office/Institutional Campus
- Public/Quasi Public
- Commercial
- Service Commercial
- Commercial Mixed-Use
- Mixed-Use Activity Center
- Parks/Golf Courses
- Open Space/Creek Corridor
- Agricultural/Conservation Area
- Light Industrial
- Harris Park Community Vision Plan
- Highway
- Major Roads
- Local Roads
- Railroad
- Water
- Westminster





, other than senior housing,

### SUBURBAN MULTI-FAMILY

This character type accommodates a mix of moderate density housing types including townhomes and multi-family housing. Suburban Multi-Family shall be located along arterial streets, adjacent to transit, and within or near activity centers with a mix of supportive uses. Suburban Multi-Family may function as an edge treatment around Focus Areas to provide a transition to lower density development. Suburban Multi-Family shall incorporate pedestrian and bicycle infrastructure with connectivity to adjacent commercial services, parks, open spaces, and trail systems.

*Examples: Arbor Square, Keystone Place, Westcliff Apartments*



**Table 3-4. Suburban Multi-Family Development Standards**

Land Use	
Primary Uses	Multi-Family; Townhomes; Single-Family Attached
Secondary Uses	Non-Commercial Recreational Uses; Child Care Facilities; Congregate Care Facilities; Senior Housing
Development Characteristics	
Form and Guidelines	Buildings 1 to 3 stories but allowed higher along arterial streets or within Focus Areas; Access to community parks, trails and/open space; Engaged street orientation; Network of connected streets
Density	Maximum 18.0 DU/AC
Minimum Lot Size	2.5 gross acres for multi-family uses

Allow Sr Housing as a primary use





## MIXED-USE NEIGHBORHOOD

This character type is intended for inclusive neighborhoods with a mix of residential and supportive non-residential uses in a walkable, pedestrian-oriented, village development pattern. Housing types range from medium and small-lot single-family homes to multi-family housing. Mixed or non-residential uses shall be blended with residential development to include offices, personal/business services, retail, and live/work development. An interconnected grid of streets, pedestrian connections and public parks is emphasized. Mixed-Use Neighborhoods incorporate high quality architecture and design elements such as enhanced streetscapes, parks and plaza spaces, and buildings featuring a street orientation. Single-family homes are expected to be in alley-loaded format. The maximum density and intensity for this designation may be applied to an entire master planned development on contiguous parcels with the Mixed-Use Neighborhood designation as opposed to specific sites.



Examples: Bradburn Village, Hyland Village



**Table 3-6. Mixed-Use Neighborhood Development Standards**

Land Use	
Primary Uses	Single-Family Detached; Single-Family Attached; Townhomes; Professional Offices; Personal Services; Retail Commercial; Live/Work Units
Secondary Uses	Multi-Family; Non-Commercial Recreational Uses; Senior Housing; Child Care Facilities; Live Entertainment; Assembly Uses
Development Characteristics	
Form and Guidelines	<p>Predominantly 1 to 2 stories but up to 4 stories at key edge locations where higher density is compatible;</p> <p>Civic, park and recreation spaces located throughout the neighborhood;</p> <p>Limited use of boundary walls, and internal fencing is predominantly open;</p> <p>Engaged street orientation, including at entrances;</p> <p>Alley-loaded format within a gridded street network;</p> <p>Blocks feature a mix of housing types</p>
Density	Maximum 18.0 DU/AC

; greater densities may be permitted upon City Council approval



### NEIGHBORHOOD OFFICE

This character type accommodates offices for medical, legal, banking, insurance, and similar professional office uses. This designation is intended to be compatible with abutting residential and other sensitive uses. A limited amount of retail uses integrated into the office building is permitted as a portion of the project gross floor area, or GFA.

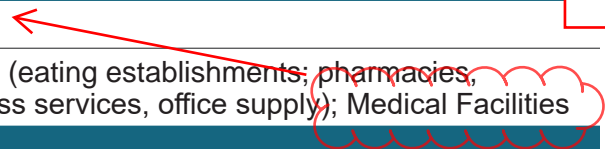
*Examples: Sheridan Park, Westpark Center*



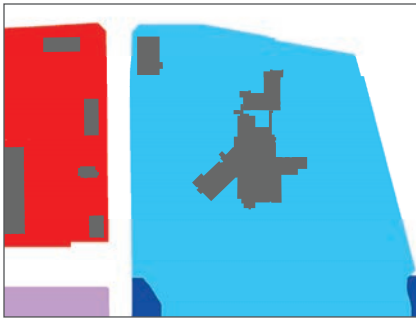
**Table 3-11. Neighborhood Office Development Standards**

Land Use	
Primary Uses	Professional Offices
Secondary Uses <sup>1</sup>	Support Commercial (eating establishments; pharmacies, personal and business services, office supply); Medical Facilities
Development Characteristics	
Form and Guidelines	Buildings 1 to 3 story however certain primary uses may be allowed greater height; Maximum 15% of GFA support commercial uses or 10,000 square feet, whichever is less; Employee and customer amenity spaces
Floor Area Ratio	Maximum 0.35 FAR

*Allow Med Facilities as a primary use*



<sup>1</sup> May be allowed through the city's development review process when developed in conjunction with, and accessory to, office buildings.



### EMPLOYMENT - OFFICE/INSTITUTIONAL CAMPUS

This character type identifies areas where destination employment and institutional uses are appropriate. These areas are located along major transportation corridors with high visibility and accessibility. Employment uses are emphasized, including high-rise or campus-like office developments, medical centers, and supportive research and development uses. Accessory or small-scale supporting retail or personal/business service uses integrated into office buildings are permitted up to 10% of GFA. Hotel uses that support employment uses may be permitted through a master planned development. Strategically located assisted living/long term care facilities may be permitted through a master planned development where a full-service community hospital is established, subject to resource and infrastructure availability, and such residential uses may be limited in consideration of the composition of the employment area and sensitivity of adjacent uses. The desired type of development is multistory buildings served by a mix of structured and surface parking.

*Examples: Circle Point, St. Anthony North*

**Table 3-13. Employment - Office/Institutional Campus Development Standards**

Land Use	
Primary Uses	Professional Offices; Research and Development Labs; Hospitals; Medical Facilities
Secondary Uses	Hotel; Manufacturing <sup>1</sup> ; Warehouse <sup>1</sup> ; Production <sup>1</sup> ; Support Commercial (eating establishments, pharmacies, business services, office supply); Overnight Stays; Rehabilitation Facilities; Hospice; Long-Term Nursing Care Facilities (up to 18.0 DU/AC)
Development Characteristics	
Form and Guidelines	Buildings 2 to 6 stories but may be allowed higher in Focus Areas or adjacent to expressways; Maximum 10% of GFA for support commercial or 15,000 square feet whichever is less; Buildings arranged to create a walkable environment; Limited surface parking; Employee and customer amenity spaces; Loading, service or storage areas screened from view
Floor Area Ratio	Minimum 0.3 FAR Maximum 2.0 FAR

<sup>1</sup> Max 10% of GFA for manufacturing, warehouse, and/or production uses unless otherwise authorized by City Council





## OPEN SPACE/MAJOR CREEK CORRIDOR

This character type identifies publicly-owned and managed areas preserved for passive recreational use and protection of natural habitat. Passive public use includes hiking, biking, nature study, and photography. Open spaces may include scenic vistas, floodplains, trail corridors, farmlands, and highly visible natural areas. These lands are preserved and managed in a natural condition. Major Creek Corridors are locations within the 100-year floodplain located on private land. Flood corridor areas remain undeveloped to protect property from flood damage, and to preserve the riparian habitat and wildlife associated with the area.



## PARKS/GOLF COURSES

This character type applies to public or private parks, golf courses or greenbelts. These lands serve both active and passive recreation needs of the community with play areas, fields, trails and natural features, and amenities.



## PUBLIC/QUASI-PUBLIC

insert "community" in front of "hospitals"

This character type is intended for uses related to general community services, such as public safety facilities, schools and institutions of higher learning, child care facilities, places of worship, community centers, hospitals, municipal facilities, and cemeteries. Future public and quasi-public uses such as private schools, places of worship and recreation facilities, although not shown specifically on the Land Use Diagram, are generally allowed in all residential character types subject to city review and approval.



## AGRICULTURE/CONSERVATION AREA

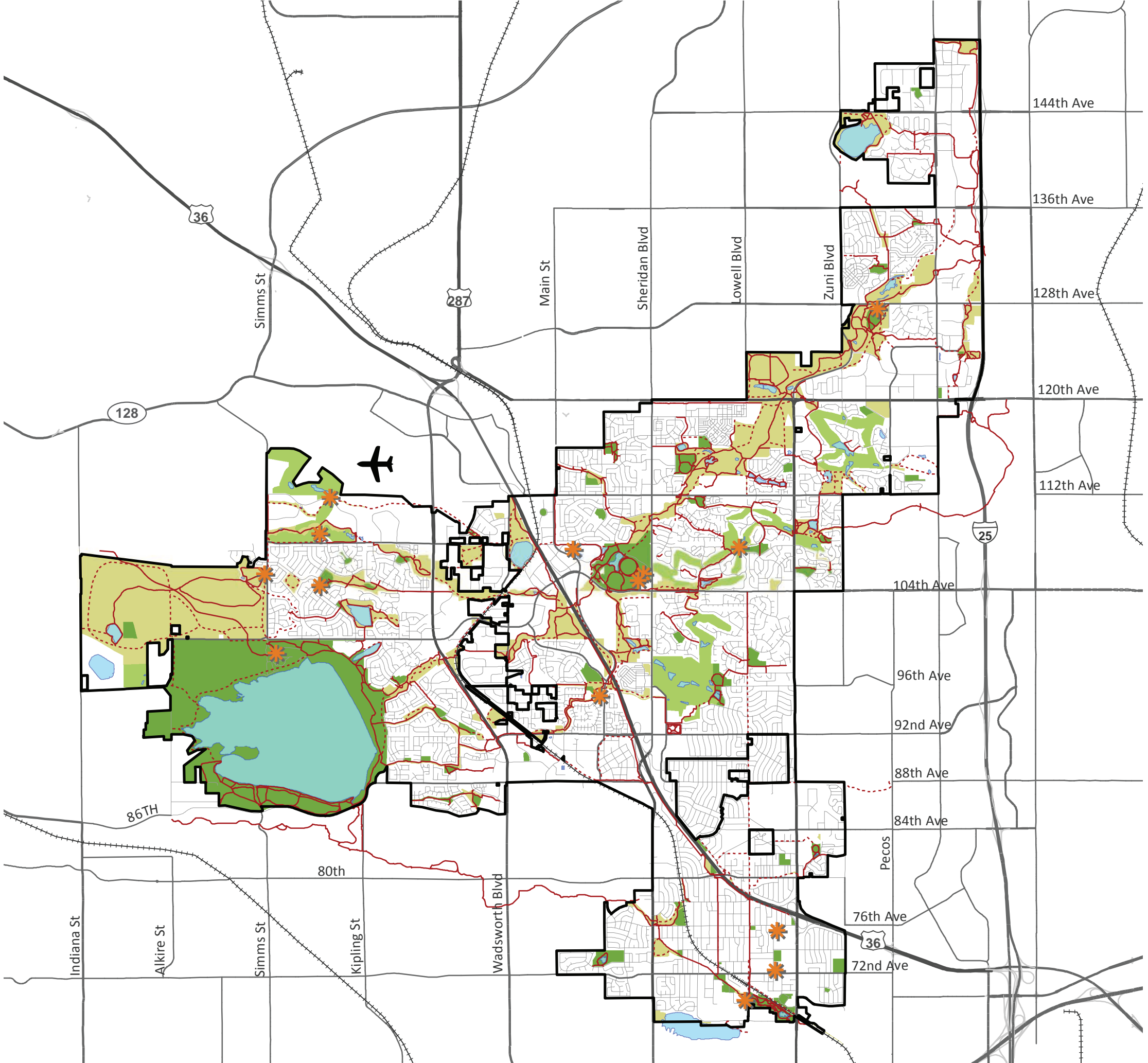
This character type is identified only in locations outside of municipal boundaries to inform consideration of future annexation requests. These areas provide for preservation of crop agriculture, ranching and related agri-business practices. Where residential uses are permitted, densities should be sufficiently low to allow continuation of agricultural uses. Limited commercial uses directly serving agricultural uses such as farmers markets, feed stores, nurseries, and agri-tourism facilities may be permitted.



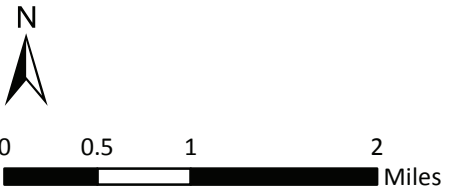


Update boundaries to reflect April 24, 2023 annexations

Map 5-1. Parks, Open Space, and Trails System

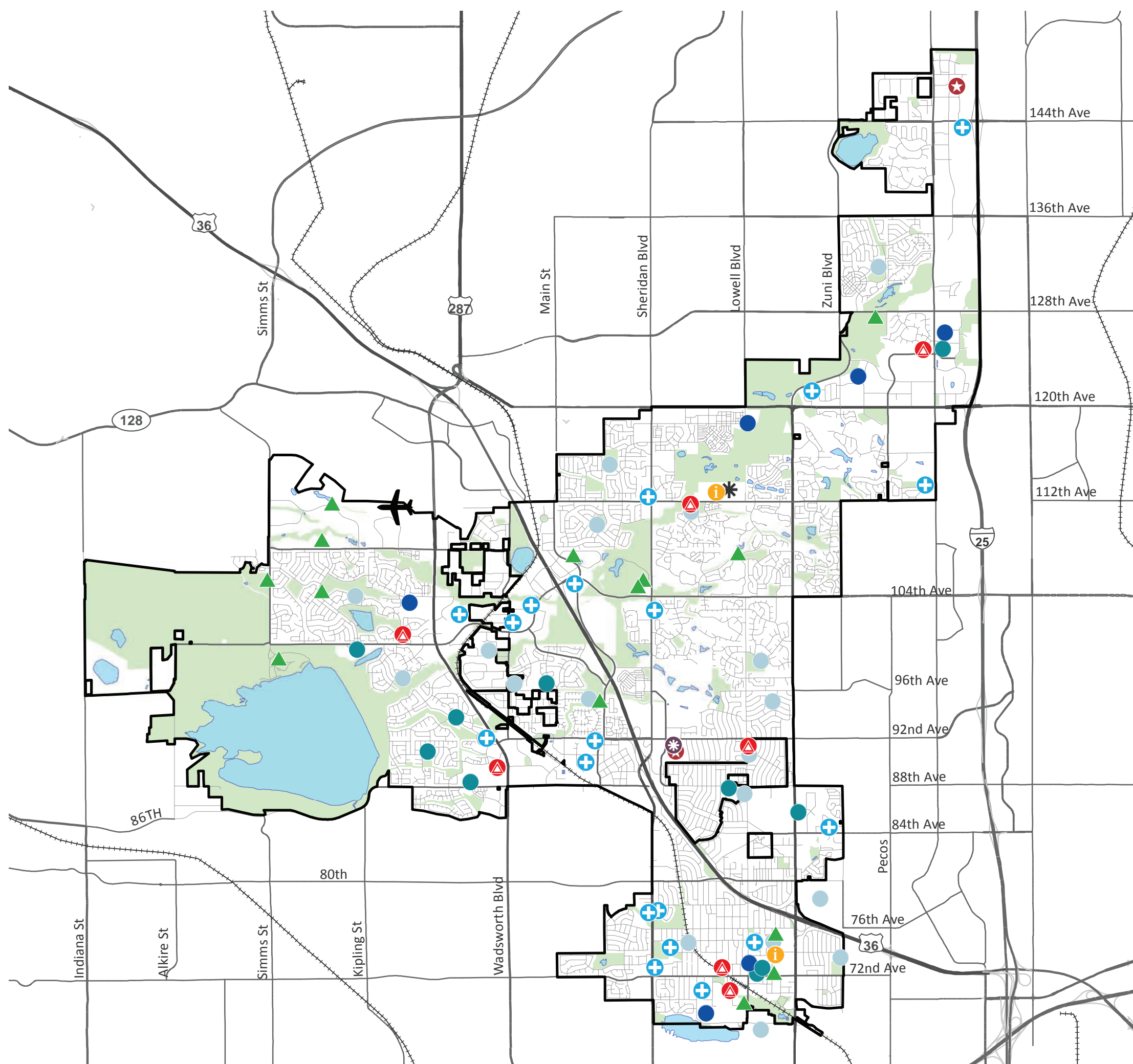


- Legend**
- Parks
  - Open Space
  - Golf Courses
  - Recreation Facilities
  - Existing Trails
  - Proposed Trails
  - Highway
  - Major roads
  - Local roads
  - Railroad
  - Water
  - Westminster



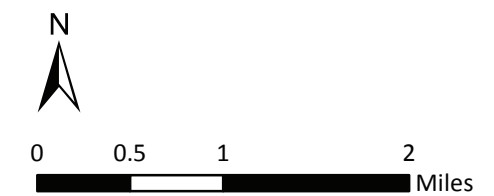
Update boundaries to reflect April 24, 2023 annexations

Map 5-2. Community Facilities



**Legend**

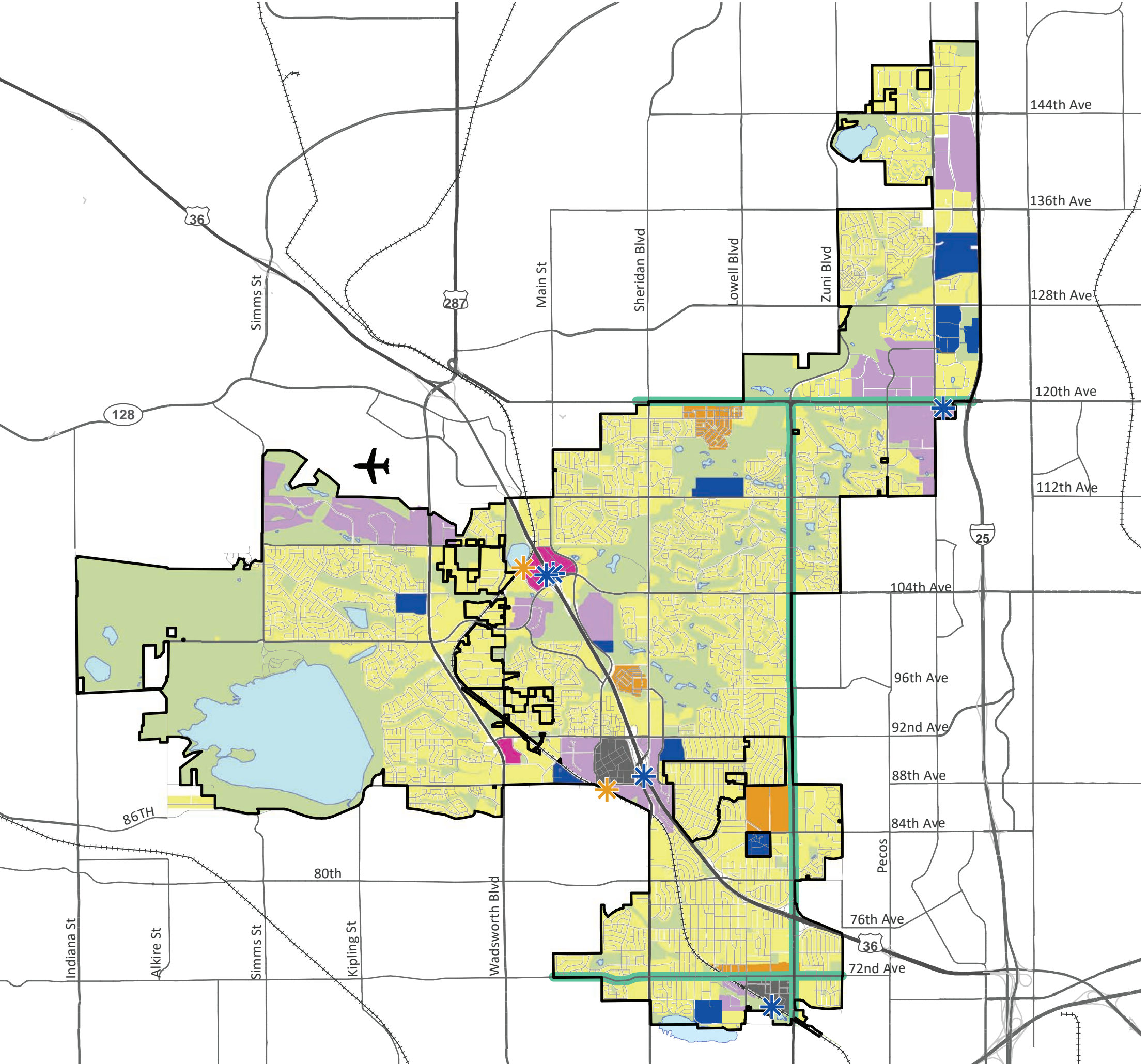
- City Hall**
- Fire Stations**
- Police Facilities**
- Libraries**
- Recreation Facilities**
- Health Facilities**
- Public Schools**
  - Elementary**
  - Middle**
  - High**
  - College**
- Highway**
- Major roads**
- Local roads**
- Railroad**
- Water**
- Parks and Open Space**
- Westminster**





Update boundaries to reflect April 24, 2023 annexations

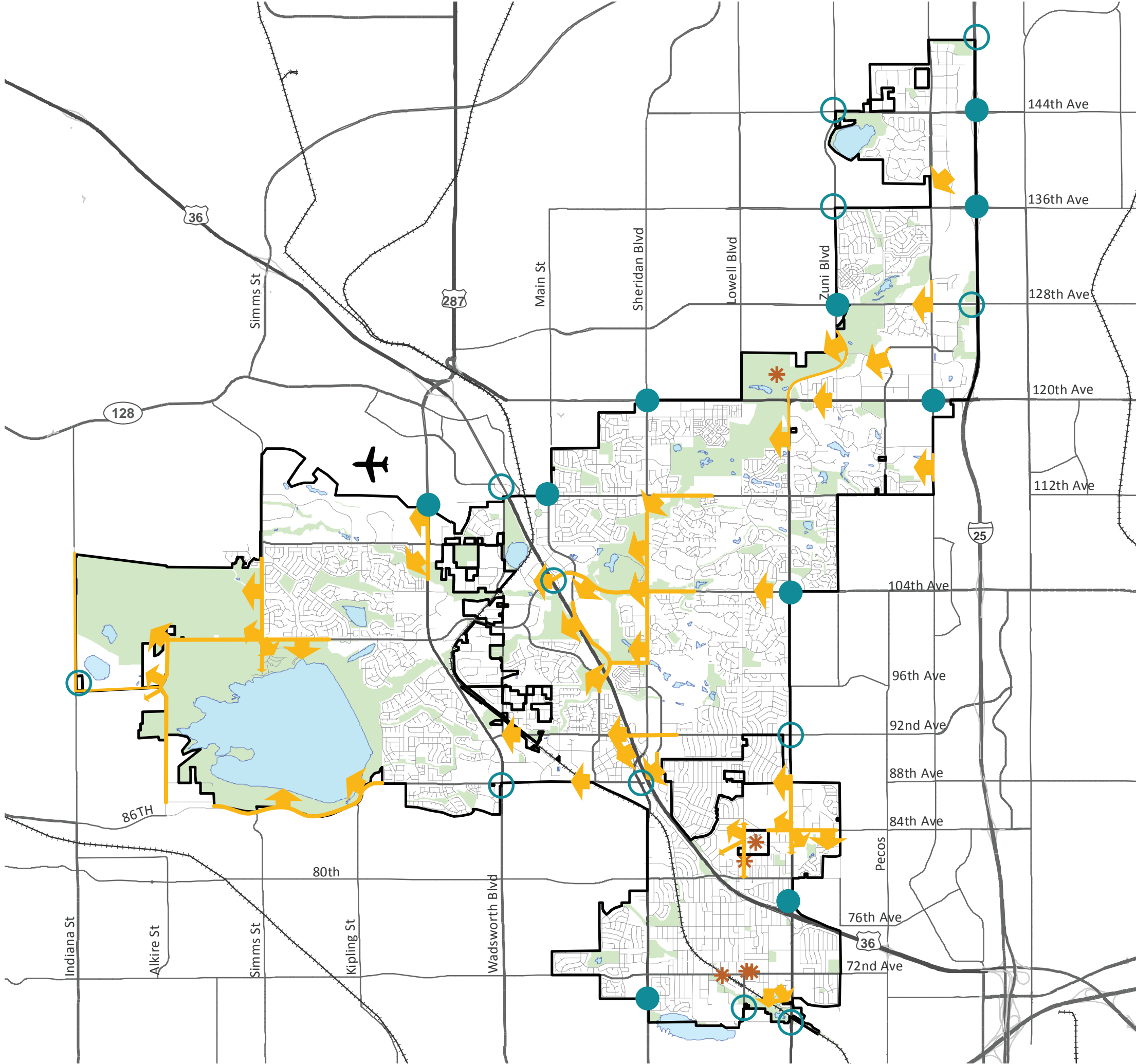
Map 7-1. City Structure

















- Legend**
- Suburban
  - Mixed-Use Neighborhood
  - Mixed-Use Opportunity Area
  - Major Institution
  - Employment
  - Parks and Open Space
  - Specific Area Plan
  - Future Transit Stations
  - Transit Stations
  - Highway
  - Major Roads
  - Local Roads
  - Railroad
  - Multimodal Corridor
  - Water
  - Westminster

Update boundaries to reflect April 24, 2023 annexations

Map 7-2. Viewshed, Gateways, and Historic Context



**Legend**

-  National Register of Historic Places
-  Highway
-  Major roads
-  Local roads
-  Railroad
-  Water
-  Parks and Open Space
-  Westminster
-  Primary View
-  Secondary View
-  Tertiary View
-  View Corridor
-  Existing Gateway
-  Gateway Opportunity







## BROOKHILL FOCUS AREA

**Now:** The Brookhill Focus Area encompasses just over 80 acres of retail development at Wadsworth Boulevard and West 88th Avenue. The area is bounded by West 92nd Avenue to the north, West 88th Avenue to the south, and multi-family residential development to the east. The 3.2-acre Westglenn Park acts as an anchor on the eastern side of the site, adjacent to the residential development. The Towne Center at Brookhill retail shopping center is primarily comprised of mid- and large-box retail storefronts, several of which are anticipated to face challenges from changing retail trends and competing retail areas within Westminster, Broomfield, and Arvada. The recent addition of higher density multi-family development changed the nature the Brookhill Focus Area and further multi-family development should be limited to maintain a balance of uses.

**Vision:** Building on proximity to Downtown Westminster located less than a mile to the east and potential future RTD B Line Station at West 88th Avenue, the area could transition in the future subject



Towne Center at Brookhill

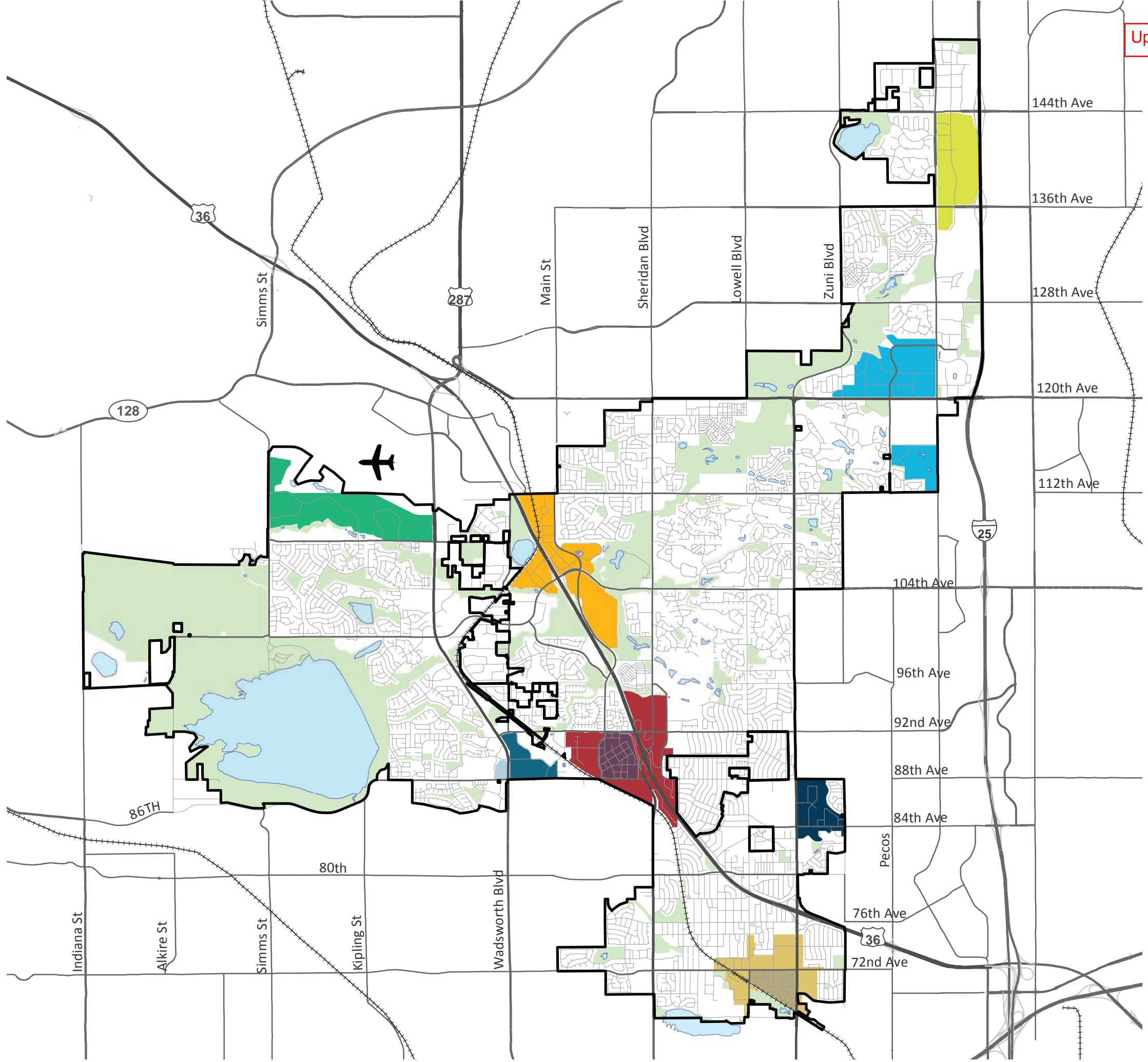


Figure 8-5. Brookhill Focus Area Framework

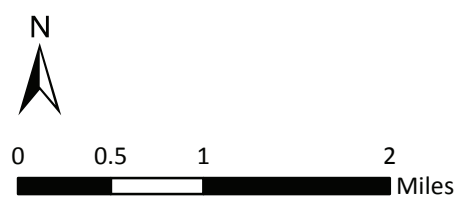
spelling



Update boundaries to reflect April 24, 2023 annexations

Map 8-1. Focus Areas and Transition Areas



- Legend**
- Focus Areas**
- Brookhill
  - Church Ranch
  - Downtown Westminster
  - North I-25
  - Westminster Station
- Transition Areas**
- Brookhill Vicinity
  - Downtown Westminster Vicinity
  - Westminster Station Area Vicinity
  - West 120th Avenue Activity Centers
  - Westminster Heights
  - Westmoor & Vicinity
- Highway
- Major roads
- Local roads
- Railroad
- Water
- Parks and Open Space
- Westminster



Indicator	Baseline Value	Target	Data Source	Tracking Responsibility
 <b>Land Use &amp; Development</b>				
Current population	June 2020 Population, PEPP	Monitor	COW, CD, GIS	COW, CD
Balanced mix of land uses	2022, See Ch. 3, Map 3-1 land uses	Maintain	COW, CD, GIS	COW, CD
Coverage of Specific Plans	2 Specific Plans in place	Complete Specific Plans for remaining Focus Areas	COW, CD, Planning	COW, CD
Number of third-party rated development projects (LEED, Green Globes, etc.)	74	Increase	USGBC	COW, CD
Number of adopted municipal code amendments identified in the Implementation Action Plan	N/A	Increase	COW, CD, Planning	COW, CD
Acreage of strategic annexations to support the city Vision	N/A	Monitor	COW, CD, Planning	COW, CD
 <b>Transportation &amp; Mobility</b>				
Number of TDM programs within Westminster	2	Increase	COW, CD, Transp.	COW, CD
Drive alone modal split	See Existing Conditions report, Chart 3-1	Reduce	US Census Bureau ACS	COW, CD
Inflow/outflow commuter balance	See Existing Conditions Report, Figure 3-1	Improve balance	US Census Bureau ACS	COW, CD
Miles of bike lanes, buffered bike lanes or shared lanes	40 miles	Increase	COW, CD, Transp.	COW, CD
Total crashes	2,485 (2017 last year of data available)	Decrease	COW, Police	COW, CD

replace with 2022, See Ch. 3, Chart 3-2

2022, See Ch. 3, Map 3-1 land uses



Reorder to keep alphabetical

**Commuter Rail:** A rail system that carries passengers within urban areas, or between urban areas and their suburbs, but differs from light rail transit in that the passenger cars are heavier, the average trip lengths are longer, and the operations can be carried out over tracks that are part of the railroad system. In Westminster, the B Line is an example of commuter rail.

**Density:** The ratio of residential units on an acre of land. Thus, a permitted density of eight (8) dwelling units per acre for a property that has an area of two (2) acres would allow up to 16 dwelling units.

**Denver Regional Council of Government (DRCOG):** A nonprofit organization of 52 cities and nine counties around the Denver region. DRCOG functions as the Metropolitan Planning Organization for the Denver region, among other planning responsibilities.

**Design Guidelines:** Written statements, explanatory material, graphic renderings and/or photographs intended to inform property owners and the public of specific examples of techniques and materials appropriate to achieve identified design goals and objectives.

**Design Standards:** Written requirements adopted by the city that set forth criteria, the design of particular areas, buildings or elements related to the physical development of the city.

**Development:** Any man-made change in improved and unimproved real estate outside of public rights-of-way, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation, drilling operations or storage of equipment or materials.

**DRCOG 2040 Metro Vision Plan:** The Metro Vision Plan is the Denver region's plan for future growth and development that integrates growth, development, transportation, and water quality management.

**Dwelling Unit:** A single residential unit providing complete independent living facilities for one or more persons, including permanent provisions for sleeping, eating, cooking, and sanitation.

**Dwelling Units per Acre (DU/AC):** A unit of measurement commonly used to determine the density of a residential development.

**Employment Uses:** Land uses intended to support the six industry clusters that make up Westminster's Industry Base as described in Chapter 6, Economic Resilience. As a place of employment such uses are dominated by professional offices, research and development facilities, laboratories and on a more limited basis manufacturing, fabrication and production facilities. Warehousing and distribution are space intensive and therefore should be very limited within areas designated for employment land uses.

**Enclaves:** Unincorporated areas entirely surrounded by property within the municipal boundaries of the city, as further defined in the Colorado Revised Statutes.

**Experiential Retail:** a type of retail marketing whereby customers coming into a physical retail space are offered experiences beyond the traditional ones (such as in a clothing store: browsing merchandise, advice from live human salespeople, dressing rooms and cashiers). Amenities provided may include art (often interactive art), live music, virtual reality, cafés and lounges, and large video display walls.

**FasTracks:** A voter-approved plan by the Regional Transportation District (RTD) for expanded rail and bus transit throughout the Denver region.

**First and Last Mile Options/Connections:** How a transit user travels to/from transit stops and stations. Travel to/from a transit stop or station is just as important as the transit trip. If transit riders are unable to access a stop or station due to poor infrastructure quality or a missing connection, transit becomes ineffective.

*Add definition*

**Flex Office:** Office space designed to provide employees with a variety of different places and ways to work. Flex offices typically encompass open-plan designs, quiet areas, adaptable workstations and shared amenities. Flex offices may be leased by multiple parties providing space for both small and large firms.



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**Infrastructure:** Facilities and services need to sustain any type of development. Infrastructure includes but is not limited to streets, drainage, water, wastewater, transportation, power, telecommunications and fire and police facilities.

**Intergovernmental Agreement (IGA):** A cooperative agreement between two or more governmental jurisdictions.

**Land Use:** The manner in which land is used.

**Land Use Diagram:** A plan that geographically depicts future land use types. The land use diagram is a guide in preparing zoning documents for individual properties and to coordinate planning for infrastructure and service delivery.

**Leadership in Energy and Environmental Design (LEED):** A voluntary, consensus-based national standard for developing high-performance, sustainable buildings.

**Live Entertainment:** A use that includes any or all of the following activities, either principal or accessory: performance by musicians, dancers, stand-up comedians or other performance artists; karaoke; live bands or musical acts; the amplification of recorded music/entertainment by disc jockeys; or the use of a cover charge for admission.

**Live/Work:** a residential dwelling unit in which a residence is combined with an office, studio or other commercial use. As compared to a home office, a live/work unit is open to customers with a public entrance to a street.

**Master Plan:** (see Comprehensive Plan)

, city-created area or neighborhood plan,

**Master Planned Development:** a development typically over 10 acres in size coordinated within one development plan through Planned Unit Development or Specific Plan District.

**Medical Facilities:** Uses concerned with the diagnosis, treatment, and care of human beings. These include hospitals; dental services; physician offices or clinics; counseling; short term rehabilitation or skilled nursing facilities with stays of 100 days or less; laboratories; behavioral health and substance abuse facilities. Warehousing of medical products and long term residential care facilities are not medical facilities.

**Microbrewery:** A limited production brewery open to the general public with tasting rooms or tap rooms typically producing specialty beers and primarily serving its products locally.

**Missing Middle (Housing):** A range of house-scale buildings with multiple units—compatible in scale and form with detached single-family homes—located in a walkable neighborhood. These building types, such as duplexes, fourplexes, cottage courts, and courtyard buildings, provide diverse housing options and support locally-serving retail and transit options. Referred to as “Missing” because these housing formats have typically been prohibited in many places by zoning ordinances since the mid-twentieth century and “Middle” because they sit in the middle of a spectrum between detached single-family homes and larger apartment buildings, in terms of form and scale, as well as number of units and often, affordability.

**Mixed-Use:** A development type in which various uses, such as office, retail, and residential, are combined to encourage efficiency of development and synergies between uses..

**Multi-Family:** A classification of housing where five or more separate housing units for residential inhabitants are contained within one building. Units can be arranged side-by-side units or stacked on top of each other. A common form is an apartment or condominium building.

**Multimodal Transportation Network:** A multimodal transportation network includes all the ways people move around their community: walking, biking, using a wheelchair, riding the bus or train, driving, or carpooling. It also includes new transportation modes like electric scooters and ride-hailing, as well as future technologies. It is important that modes of transportation within the network are well-connected, accessible, and interact safely. The network not only includes infrastructure and vehicles, but is also supported by education, safety, and maintenance programs.

**Municipal Code:** See Westminster Municipal Code.

**Neighborhood Unit:** A concept generated through the process, as a response to the preference for access from residential areas to amenities, services and transportation. Generally, 40 to 250 acres in size and may extend beyond a particular subdivision or development boundary to incorporate uses and activities to fulfill daily needs of residents, typically within a quarter-mile or 5-minute walk. While primarily composed of lower density housing, neighborhood units may feature mixed-use areas along the edges or at key access points where transportation facilities support higher densities or commercial uses. An interconnected street pattern minimizes distances for pedestrians, cyclists, seniors, and children to access amenities and services in the neighborhood. Access to parks, open spaces, and other areas to gather and play are key attributes, typically with a focal point located near the center of the Neighborhood Unit.

**Neighborhoods:** Geographic sub-areas within the city that contain and derive at least some of their identity from residential land uses, but which also encompass and incorporate a variety of other land uses and facilities. The extent of a neighborhood is variable and may be defined by tradition, period of building and development, subdivision patterns, or formally adopted boundaries.

**Node:** A center of activity or development, often located at a major intersection or transit station.

**Open Space:** Public lands acquired or preserved in the public interest to provide for the conservation and protection of natural resources, physical and aesthetic enjoyment of the out-of-doors and protection of prominent geographical, geological, and cultural features and resources. Vacant private property is not considered open space.

**Opportunity Zones:** A tool enabled as part of the 2017 tax reform package (Tax Cuts and Jobs Act), which is designed to encourage private capital investment in targeted areas of a community.

**Paired Home:** Two homes that share a wall and have opposite side entries. The structure is designed to look like one single larger home. Unlike a front to front duplex, the paired home helps provide more privacy for the homeowners. Unlike a duplex each unit in a paired home has its own lot with associated responsibilities.

**Patio Home:** A single-story home attached to a row of other homes. While townhouses and are typically at least two stories high, patio homes are one-story, though a basement may be included.

**Pedestrian-Oriented:** Form of development that makes the street environment inviting for pedestrians; for commercial areas may be characterized by special sidewalk pavement, zero front and side yard setbacks, buildings of varied architectural styles, street-facing window displays, an absence of front yard parking, benches and other amenities; for residential areas may be characterized by sidewalks, parkways, front porches, low fences, lighting and other amenities.

**Personal Services:** Establishments providing services related to individual needs such as hair salons, laundries, massage studios, and travel agencies.

**Placemaking:** A multi-faceted approach to the planning, design and management of shared spaces. Placemaking capitalizes on the assets of a particular location and its potential, with the intention of creating shared spaces that promote health, happiness, and well-being.